

Design Review Board

Official Agenda



AGENDA

DESIGN REVIEW BOARD – NEIGHBORHOOD DESIGN PANEL AGENDA

Regular Meeting
March 5, 2020
3:00 PM

10th Floor Council Chambers, City Hall

1. Call to Order
2. Roll Call
3. Welcome and Opening Remarks from the Chair
4. Approval of Minutes – February 6, 2020
5. Call for Public Notice Affidavit from Applicants
6. Acceptance of Agenda
7. Conflict of Interest Statement
8. Old Business (Public Hearing)

A. None

9. New Business (Public Hearing)

A. CA 20-65

Application by John Raptis for a CERTIFICATE OF APPROPRIATENESS for window replacement, re-roofing, and new exterior paint on an existing single-family home located at 208 W. PARK AVE. (TM# 000900-02-01300).

Documents:

[CA 20-65 - 208 W. PARK AVE. - AGENDA PACKET.PDF](#)

B. CA 20-70

Application by Brian Lazarus for a CERTIFICATE OF APPROPRIATENESS to construct a new single-family home located at 0 EARLE ST. (TM# 003500-08-02100).

Documents:

[CA 20-70 - 0 E. EARLE ST. - AGENDA PACKET.PDF](#)

. . . . --

10. Other Business (Not a Public Hearing)

A. None

11. Advice and Comment (Not a Public Hearing)

A. None

12. Informal Review (Not a Public Hearing)

A. None

13. Adjournment

City of Greenville Planning and Development | 864-467-4476



**Planning Staff Report to
Design Review Board - Neighborhood
February 28, 2020**
for the March 5, 2020 Public Hearing

Docket Number:	CA 20-65
Applicant:	John Raptis
Property Owner:	208 W. Park, LLC
Property Location:	208 W. Park Ave.
Tax Map Number:	000900-02-01300
Zoning:	RM-2, Single- & Multi-Family Residential District
Proposal:	Replace windows, paint exterior, and re-roof.
Staff Recommendation:	Approve with conditions: 1) Where needed, existing wood window trim shall be replaced in-kind; 2) Historic brick steps shall not be painted.

Staff Analysis:

The subject property at 208 W. Park Ave. is improved with a one-story, single-family residence. The structure was constructed in 1925 and is located within the Heritage Preservation Overlay District. The applicant proposes to replace all of the exterior windows, re-paint the exterior of the house, and re-roof with architectural shingles. Exterior modifications are further detailed below:

Windows

- Applicant proposes to replace existing wood windows with Perma-Shield vinyl-clad wood windows. As noted on the application, the windows will feature 9 over 1 light configuration to match existing windows. Existing wood window trims will remain in place or, where needed, be replaced in-kind.

Paint

- Applicant proposes to re-paint shingle siding with Benjamin Moore “Oxford Gray.” Trim and accents to be painted a soft-white.

Roof

- Applicant proposes to replace current asphalt shingle roof with architectural shingles; proposed color is “Charcoal Black.”

~~While staff has concerns regarding the replacement of wood windows with the vinyl-clad wood windows, the preservation of the existing wood trim should soften the exterior window finish. Staff finds that the proposed modifications are compatible with the character of the neighborhood and~~

consistent with the pertinent design guidelines. Therefore, staff recommends approval, with conditions, of the request as submitted.

Conditions:

1. Where needed, existing wood window trim shall be replaced in-kind.
2. Historic brick steps shall not be painted.

Applicable Design Guidelines:

HR.4 Original building materials should be preserved in place, whenever possible.

- A. Maintain existing wall materials and textures.

HR.5 Deteriorated building materials should be repaired rather than replaced, whenever possible.

- A. Repair deteriorated primary building materials by patching, piecing-in, consolidating or otherwise reinforcing the materials.
- B. Use the gentlest means possible to clean a structure.
- C. Use technical procedures that preserve, clean, refinish or repair historic materials and finishes.

HR.6 Original building materials that have deteriorated beyond repair should be replaced in kind.

- A. Match the original material in composition, scale and finish when replacing it on a primary surface.
- B. Do not use synthetic materials, such as aluminum or vinyl siding or panelized brick, as replacement for primary building materials on an historic structure.

HR.8 Original wood siding should be maintained with a protective coating of paint.

- A. Protect wood features from deterioration.
- B. Plan repainting carefully.
- C. Using the historic color scheme is encouraged.

HR.15 Historic windows and doors significantly affect the character of a structure and should be preserved.

- A. Preserve the position, number, size and arrangement of historic windows and doors in a building wall.
- B. Preserve the functional and decorative features of an historic window or door.
- C. Repair wood features by patching, piecing-in, consolidating or otherwise reinforcing the wood.
- D. Maintain the historic ratio of window opening to solid wall.
- E. Glazing in doors should be retained.
- F. Where existing operable shutters survive, they should be retained and repaired.
- G. Installing window air-conditioners in windows or building fronts is discouraged.
- H. If energy conservation and heat loss are a concern, consider using storm windows and doors instead of replacing an historic window or door.

HR.16 A new or replacement window or door should match the appearance of the original.

- A. When window or door replacement is necessary, match the replacement to the original design as closely as possible.
- B. Maintain the historic ratio of solid-to-void on a primary façade.
- C. A new opening should be similar in location, size and type to those seen traditionally.
- D. On a new or replacement window, wooden snap-in muntins and mullions may be considered.
- E. Windows and doors should be finished with trim elements similar to those used traditionally.

HR.18 Roof materials should be used in a manner similar to that seen historically and chosen based on their compatible appearance with a structure.

- A. Preserve original roof materials.
- B. Replacement roof materials for an historic structure should convey a scale and texture similar to those used traditionally.



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Contact Planning & Development (864) 467-4476

Office Use Only:

Application# _____ Fees Paid _____
Date Received _____ Accepted By _____
Date Complete _____ App Deny Conditions _____

APPLICANT/OWNER INFORMATION

*Indicates Required Field

APPLICANT		PROPERTY OWNER
*Name:	John Raptis	208 W Park Ave
*Title:		
*Address:	208 W Park Ave	PO Box 1522
*State:	SC	SC
*Zip:	29601	29602
*Phone:	917 - 710 - 3407	
*Email:	John.Raptis@gmail.com	

PROPERTY INFORMATION

*STREET ADDRESS 208 W. Park Ave.
*TAX MAP #(S) 0009000201300
*PRESERVATION DISTRICT/SPECIAL DISTRICT Heritage Historic District
*ARE THERE EXISTING STRUCTURES ON THE PROPERTY? ☒ Yes ☐ No

DESCRIPTION OF REQUEST

*SELECT APPLICATION TYPE: ☐ CA Neighborhood New ☐ CA Neighborhood Modification (☐ Major/ ☐ Minor)
☐ CA Urban New ☐ CA Urban Modification (☐ Major/ ☐ Minor)
☐ CAS Staff New (☐ Major/ ☐ Minor) *please see item D. for description
☐ CAS Staff Modification
☐ Informal Review

*ORIGINAL APPLICATION # (put N/A if new application) N/A

To include: scope of project and response to specific guidelines and special conditions.

Re-Roof House
PAINT EXTERIOR OF ENTIRE HOUSE
REPLACE ALL WINDOWS

INSTRUCTIONS

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A. URBAN DESIGN PANEL	\$300.00, <i>site plan review</i>
	\$300.00, <i>architectural review</i>
B. SIGNS	\$150.00
C. NEIGHBORHOOD DESIGN PANEL	\$150.00
D. APPLICATION FOR STAFF REVIEW	
<u>Major:</u> All site development activity, roof gardens, decks, or accessory structures; or any project that requires consultation with a member of the DRB.	\$100.00
<u>Minor:</u> Color change; replacement of windows/doors; additions, deletions or replacement of awnings; re-roofing; and projects that do not involve structural alterations, increase/decrease in window/door area or removal of architectural features. Also, parking lots, service enclosures, exterior lighting and additions to building that do not exceed 25% of existing building footprint, except the West End Preservation Overlay District.	\$50.00
E. MODIFICATION TO AN APPROVED PROJECT	
Major (requires review by DRB)	½ Original Fee
Minor (requires review by staff)	\$50.00
F. INFORMAL REVIEW	\$50.00

2. The staff will review the application for "sufficiency" pursuant to Section 19-2.2.6, Determination of Sufficiency and will contact the applicant to correct any deficiencies which must be corrected prior to placing the application on the Design Review Board agenda.
3. **Public Notice Requirements.** Certificate of Appropriateness applications require a design review board public hearing. The applicant is responsible for sign posting the subject property at least 15 days (but no more than 18 days) prior to the scheduled design review board hearing date.

(To be filled out at time of application submittal)

_____ Public Hearing signs are acknowledged as received by the applicant

*APPLICANT SIGNATURE _____



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ARCHITECTURAL REVIEW

- Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, landscape drawings, design and location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- Detail Drawings (include material and methods of each type of construction affecting the exterior appearance of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and signage).
- Renderings (include perspective drawings, including views from pedestrian and public realm).
- Model (physical or digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed signage).

For more detail on these submittal requirements, please refer to the **Greenville Downtown Design Guidelines**, adopted May 2017.

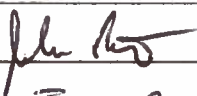
Please verify that all required information is reflected on the plan(s). Please submit one (1) paper copy and one (1) electronic version of the plan(s).

4. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is ___ or is not ___ restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

*Signatures	
Applicant	
Date	Jan 30, 2020
Property Owner/Authorized Agent	
Date	
Public Hearing information	
Public Hearing signs	

CA 20-65 • 208 W. PARK AVE.

AERIAL VIEW



CURRENT ZONING



FUTURE LAND USE

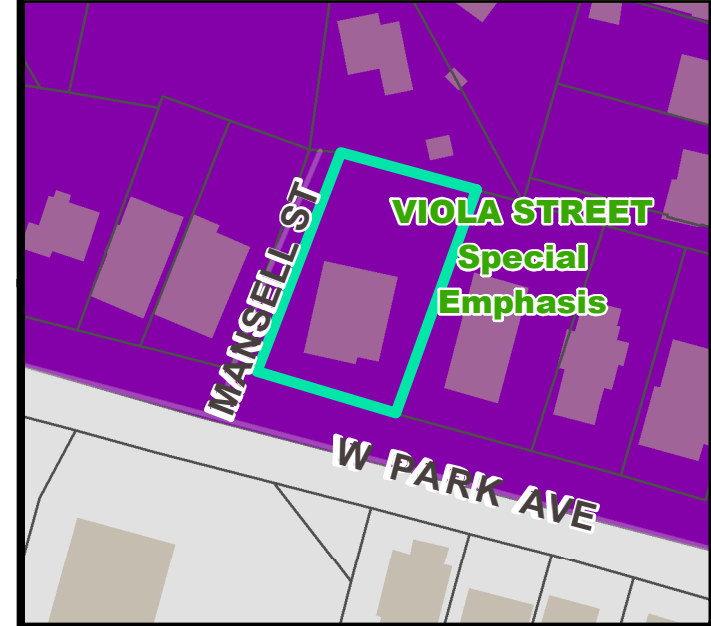


CA 20-65 • 208 W. PARK AVE.

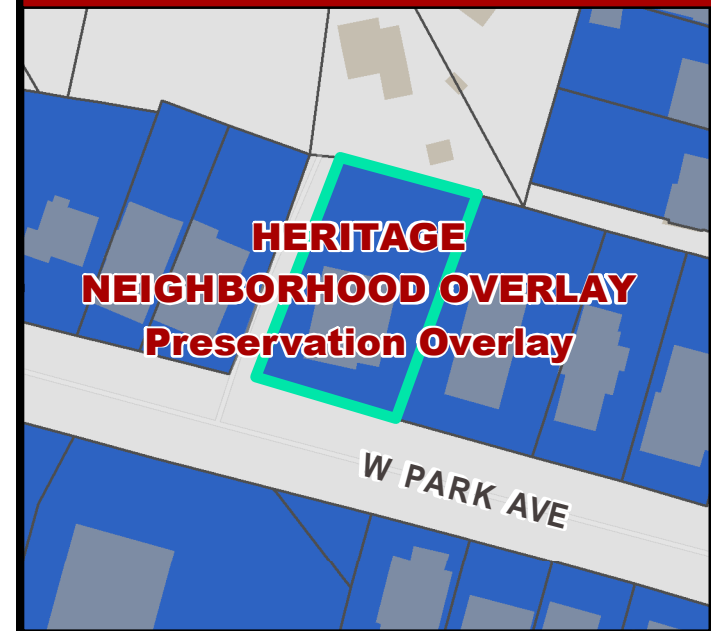
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS









DESIGNER SHINGLES

COLOR AVAILABILITY



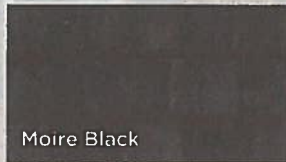
Atlantic Blue



Hunter Green



Burnt Sienna



Moire Black



Charcoal Black



Mojave Tan



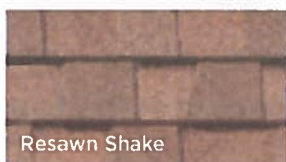
Cobblestone Gray



Pewter



Colonial Slate



Resawn Shake



Cottage Red



Silver Birch



Driftwood



Sunrise Cedar



Georgetown Gray



Weathered Wood



Heather Blend

Landmark, shown in Georgetown

LANDMARK®

- Two-piece laminated fiberglass-based construction
- Classic shades and dimensional appearance of natural wood or slate
- Lifetime limited transferable warranty*
- 10-year StreakFighter® algae-resistance warranty
- NailTrak® extra-wide nailing area for accurate installation
- 10-year SureStart™ protection
- 15-year 110 mph wind-resistance warranty
- Wind warranty upgrade to 130 mph available. CertainTeed starter and CertainTeed hip and ridge required
- CertainTeed Starter and hip and ridge accessory available (see details in back of brochure)

* See warranty for specific details and limitations.

CertainTeed products are tested to ensure the highest quality and comply with the following industry standards:

Fire Resistance:

- UL Class A
- UL certified to meet ASTM D3018 Type 1

Wind Resistance:

- UL certified to meet ASTM D3018 Type 1
- ASTM D3161 Class F

Tear Resistance:

- UL certified to meet ASTM D3462
- CSA standard A123.5

Wind Driven Rain Resistance:

• Miami-Dade Product Control Acceptance: Please reference www.certainteed.com to determine approved products by manufacturing location.

Quality Standards:

- ICC-ES-ESR-1389 & ESR-3537



EXTERIOR



MAIN SIDING

TRIM

ACCENT

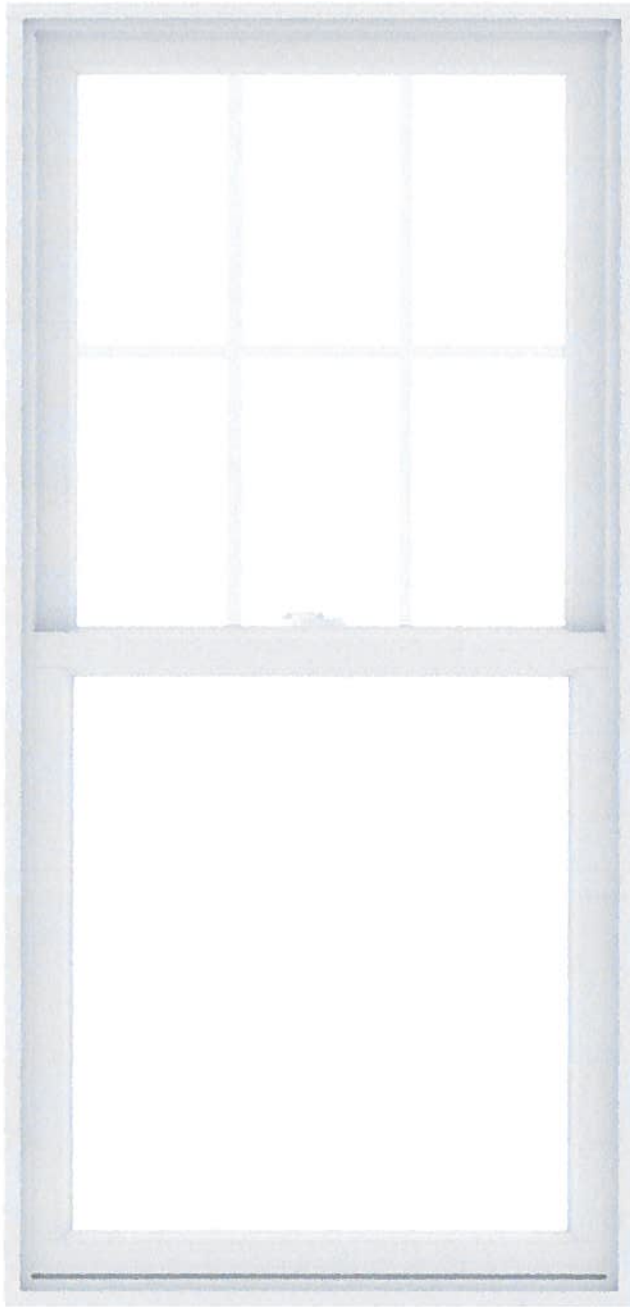
DOOR

Benjamin Moore

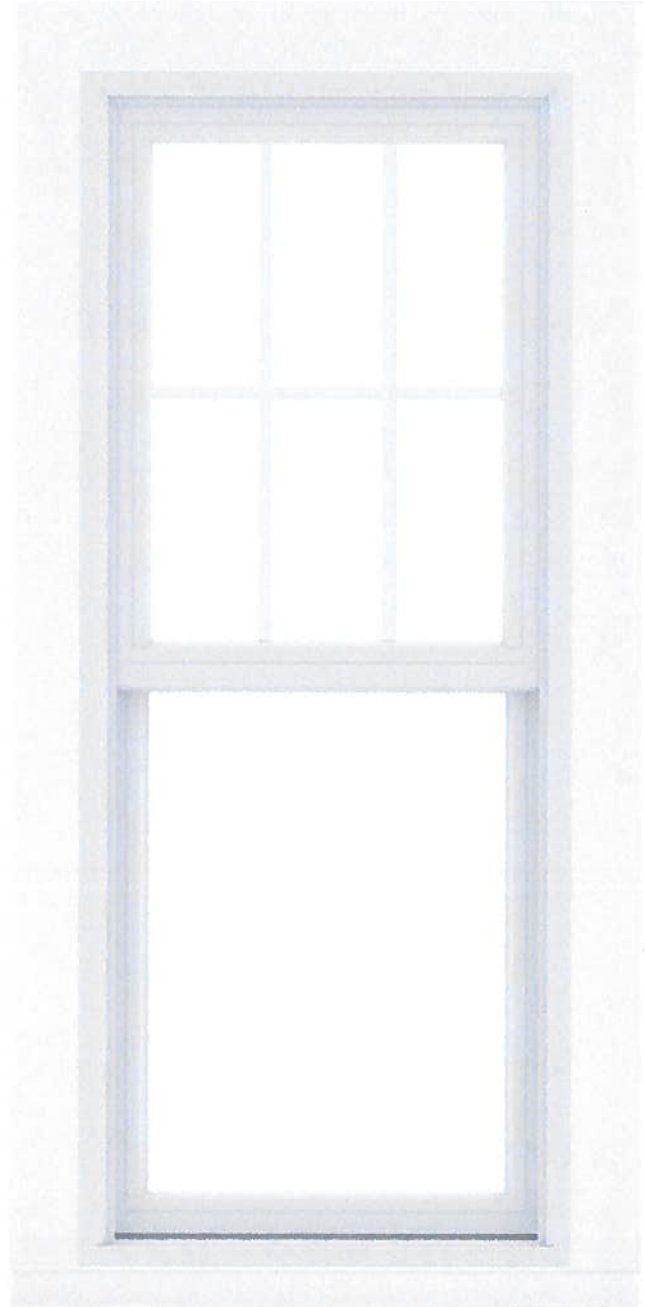
Oxford Gray
2128-70

Special order 9 light Top Sash

200 Series Double-Hung Window



Interior



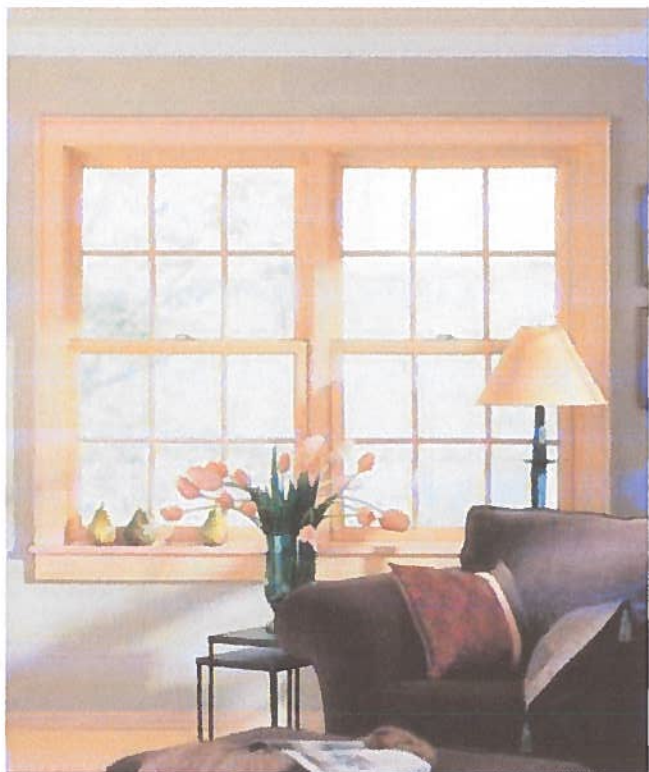
Exterior

SUMMARY

To purchase this product or customize it further, take this summary to your Andersen dealer.

Product ID#	244DH2856
Unit Width	31 1/2"
Unit Height	65 1/2"
Interior Color	White
Glass	Low-E Glass
Hardware	Lock and Keeper, White
Optional Hardware	None, White
Grille Pattern	Colonial - Top Sash Only
Grille Width	3/4"
Exterior Color	White
Exterior Trim Profile	3.5" Flat
Exterior Trim Color	White

* Options shown are not available for all products within the series. Computer monitor limitations prevent exact color duplication. For an accurate representation of color options please view actual color samples available at your Andersen window & patio door supplier.



TILT-WASH DOUBLE-HUNG WINDOWS

Andersen® 200 Series tilt-wash double-hung windows feature a tilt-in sash for easy cleaning. They have low-maintenance Perma-Shield® exteriors along with clear pine interiors to bring the warmth of natural wood into your home. Or, if you prefer, choose a factory-painted white interior with an ultra-smooth low-maintenance finish. Either way, they come in our most popular sizes and give you our most requested options, along with our renowned Owner-2-Owner® warranty.

DURABLE

- Virtually maintenance-free
- Perma-Shield® exteriors never need painting and won't peel, blister, flake or corrode*
- Frame exterior is protected by a tough vinyl cover that resists dents and repels water and provides long-lasting protection
- Wood sash members are treated with a water-repellent preservative and coated on the exterior with a Flexacron® finish
- The frame members are covered with seamless rigid vinyl cover to eliminate corner joints/welds that adds rigidity and provides an attractive appearance

ENERGY EFFICIENT

- Weather-resistant construction for greater comfort and energy efficiency
- Weatherstripping is designed to seal out drafts, wind and water
- A variety of Low-E glass options are available to control heating and cooling costs in any climate
- Many 200 Series tilt-wash double-hung windows have options that achieve ENERGY STAR® version 6.0 certifications in all 50 states**



BEAUTIFUL

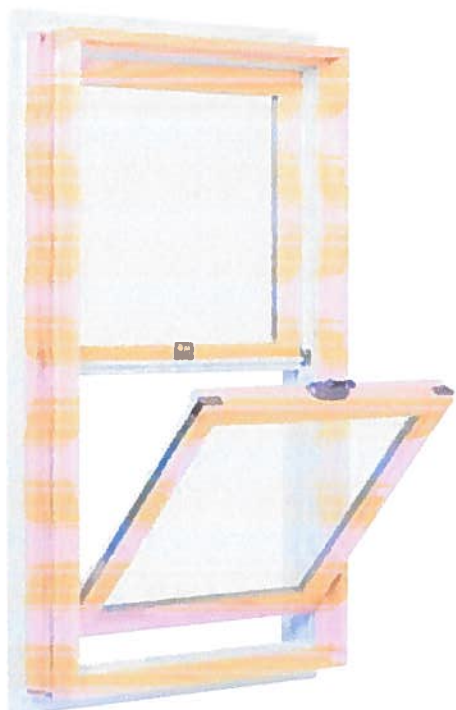
- Two exterior color options
- Natural pine or white interiors
- Add style with grilles, exterior trim or patterned glass

EXTERIOR COLORS



White

Sandtone



*Visit andersenwindows.com/warranty for details.

**Visit andersenwindows.com to verify that the product and glass type are ENERGY STAR certified in your area.

"ENERGY STAR" is a registered trademark of the U.S. Environmental Protection Agency.



**Planning Staff Report to
Design Review Board - Neighborhood
February 28, 2020**
for the March 5, 2020 Public Hearing

Docket Number:	CA 20-70
Applicant:	Brian Lazarus
Property Owner:	Brian Lazarus
Property Location:	0 E. Earle St.
Tax Map Number:	003500-08-02100
Acreage:	0.16
Zoning:	R-6, Single-Family Residential District
Proposal:	Construction of a new single-family detached home
Staff Recommendation:	Approval, with condition: Provide garage door, front door and window shutter details to staff, including materials and color selection.

Staff Analysis:

The applicant proposes to construct a new two-story single-family home in the Col. Elias Earle Preservation Overlay district. The vacant subject property is located on the north side of E. Earle St., just west of Wade-Hampton Blvd. The proposed house features a craftsman-style design and appears to draw inspiration from existing craftsman bungalow styles along the street. An attached, side-entry garage is proposed toward the rear of the home.

Placement

The subject parcel is approximately 0.16 acres in area and is smaller than many of the adjacent parcels along E. Earle St. However, the proposed front building setback is consistent with the existing pattern along the street, which typically ranges from 20 to 25 ft. The applicant proposes an attached side-entry garage toward the rear of the house, accessed via a ribbon-strip driveway along the western property line.

Foundation and Siding

The applicant proposes a brick base (color “Savannah Moss”) and brick stairs leading up to the porch. Hardie-board horizontal siding is proposed for the main body of the house (color “Light Mist”), while Hardie-board board & batten siding is proposed on the upper front-gable (color “Gray Slate”). The garage door features upper window panels; the garage door material has not been

indicated. Staff recommends utilization of a wood or wood-style material for the garage door to complement the Craftsman-style architecture.

Roof

The applicant proposes Owens-Corning architectural shingles (color “Onyx Black”) for the roof. The proposed home features a combination cross-gabled/cross-hipped design. The primary roof pitch is 9/12.

Porch

The front porch features wrought-iron railing (black) and columns (white).

Windows and Doors

Windows are proposed as aluminum-clad wood, double-hung with 4 over 1 lighting (simulated-divided lights). The windows will be painted black with white wood trim. The color and material of the front door have not been provided. Staff recommends utilization of a wood or wood-style material for the door to complement the Craftsman-style architecture. The window on the upper gable (front façade) features decorative shutters which appear proportional to the window opening. The color of the shutters has not been provided.

Summary

The form and materials of the proposed house are consistent with the historic fabric along this portion of E. Earle St. The house takes inspiration and context from existing craftsman-style homes along the street. Therefore, staff recommends approval of the new house as submitted, with the following condition:

- Provide garage door, front door and window shutter details to staff, including materials and color selection.

Applicable Design Guidelines:

AR.6 A new building should appear similar in scale to traditional single family houses.

- A. New construction should appear similar in mass and scale to nearby historic structures.
- B. New construction should be within five feet of the average height of historic structures within the immediate neighborhood.
- C. On larger structures, subdivide larger masses into smaller “modules” that are similar in size to single-family residences seen traditionally.

AR.7 The form of a new building should be similar to those seen traditionally in the historic district.

- A. Use building forms similar to those found traditionally in a district.
- B. Use traditional roof forms.
- C. The number and size of dormers should be limited on a roof, such that the primary roof form remains prominent.
- D. Roofs should be similar in scale to those used historically on comparable buildings.

AR.8 Building materials for new construction should be similar to materials seen historically.

- A. Maintain the existing range of exterior wall materials found in the historic district.
- B. Exterior wood finishes should appear similar to those used historically.
- C. Masonry should appear similar to that used historically.
- D. Materials should be applied in a manner similar to that used historically.
- E. Newer, synthetic materials may be considered for a new structure, if they appear similar in character and detailing to traditional building materials.
- F. Roof materials should be composite shingles and convey a scale and texture similar to that used traditionally.

AR.9 A new building should be visually compatible with historic structures in the area.

- A. A new building should not be designed to look old.
- B. Using contemporary interpretations of historic styles is encouraged for new buildings.
- C. New architectural details should relate to comparable historic elements in general size, shape, scale and finish.
- D. Where a deck is used, it should be unobtrusive, as seen from the street.
- E. Use contemporary interpretations of architectural features that are common to traditional buildings in the neighborhood.
- F. If they are to be used, design ornamental elements, such as brackets and porches, to be in scale with similar historic features.

AR.15 Use colors to create a coordinated color scheme for a building.

- A. The facade should “read” as a single composition.
- B. Employ color schemes that are simple in character.
- C. Base or background colors should be muted.
- D. Reserve the use of bright colors for accents only.
- E. Consider the architectural period when choosing paint colors for a building based on the date of construction.
- F. Consider the architectural style when choosing paint colors for a building.

EE Design Guidelines for the Elias Earle Historic District

- 1. Maintain the line of building fronts in the block.
- 2. Orient the front of a building to the street.
- 3. Maintain the traditional character of a front yard.
- 4. A new building should appear similar in scale to traditional single family houses in the area.
- 5. The form of a new building should be similar to those seen traditionally in the historic district.
- 6. Building materials for new construction should be similar to materials seen historically.
- 7. A new building should be visually compatible with historic structures.



city of greenville

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Contact Planning & Development (864) 467-4476

Office Use Only:

Application# CA 20-70 Fees Paid \$ 150
Date Received 1-31-20 Accepted By MDL
Date Complete _____ App Deny Conditions _____

APPLICANT/OWNER INFORMATION

*Indicates Required Field

	APPLICANT	PROPERTY OWNER
*Name:	BRIAN LAZARUS	BRIAN LAZARUS
*Title:	INDIVIDUAL	INDIVIDUAL
*Address:	18 E. MONTCLAIR AVE	18 E. MONTCLAIR AVE.
*State:	Greenville, SC.	Greenville, SC 29609
*Zip:	29609	29609
*Phone:	864-303-0347	864-303-0347
*Email:	BLazarus@Lshomes.com	BLazarus@Lshomes.com

PROPERTY INFORMATION

*STREET ADDRESS 1 East Earl Street
*TAX MAP #(S) 0035000802100
*PRESERVATION DISTRICT/SPECIAL DISTRICT Colonel Elias Earle Historic District
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☐ Informal Review

*ORIGINAL APPLICATION # (put N/A if new application) N/A

To include: scope of project and response to specific guidelines and special conditions.

Applicant is requesting design approval for house to be constructed on vacant lot within the Colonel Elias Earle Historic District.

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Data is updated monthly.

ARCHITECTURAL REVIEW

- Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, landscape drawings, design and location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- Detail Drawings (include material and methods of each type of construction affecting the exterior appearance of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and signage).
- Renderings (include perspective drawings, including views from pedestrian and public realm).
- Model (physical or digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed signage).

For more detail on these submittal requirements, please refer to the **Greenville Downtown Design Guidelines**, adopted May 2017.

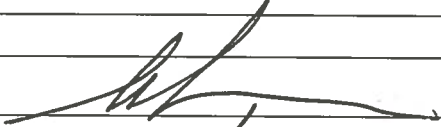
Please verify that all required information is reflected on the plan(s). Please submit one (1) paper copy and one (1) electronic version of the plan(s).

4. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is ___ or is not X restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

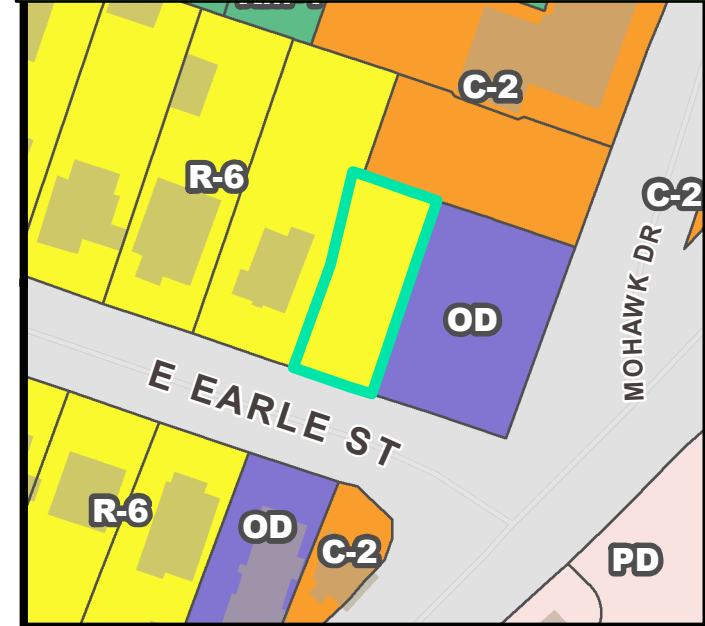
*Signatures	
Applicant	BRIAN LAZARUS 
Date	1/30/20
Property Owner/Authorized Agent	BRIAN LAZARUS 
Date	1/30/20
Public Hearing information	
Public Hearing signs	

CA 20-70 • 0 E. EARLE ST.

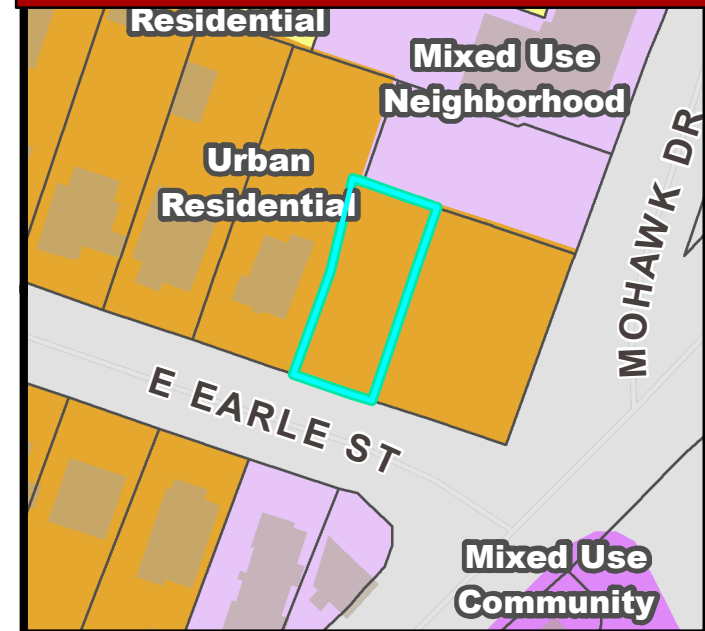
AERIAL VIEW



CURRENT ZONING



FUTURE LAND USE

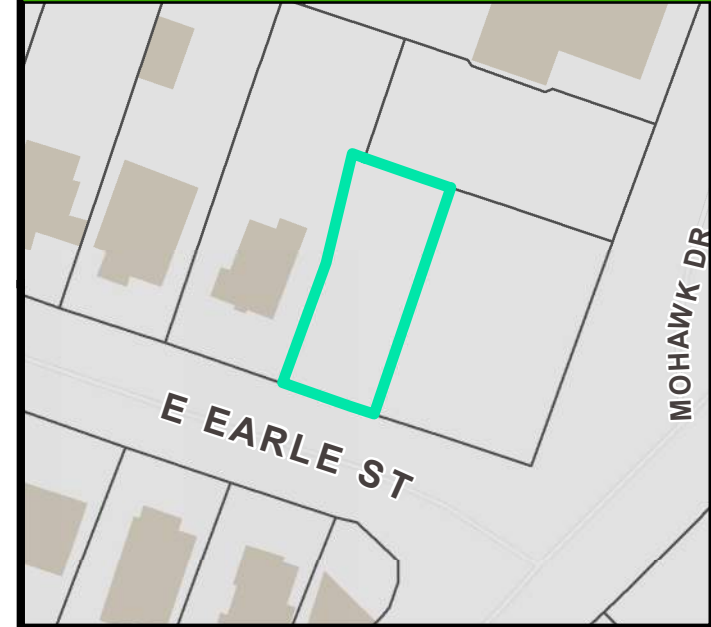


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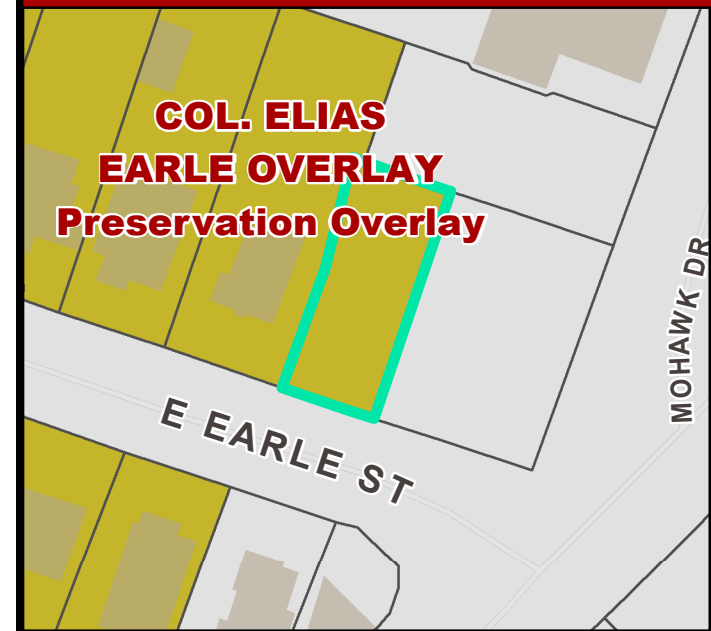
NATURAL / ENVIRONMENTAL FEATURES

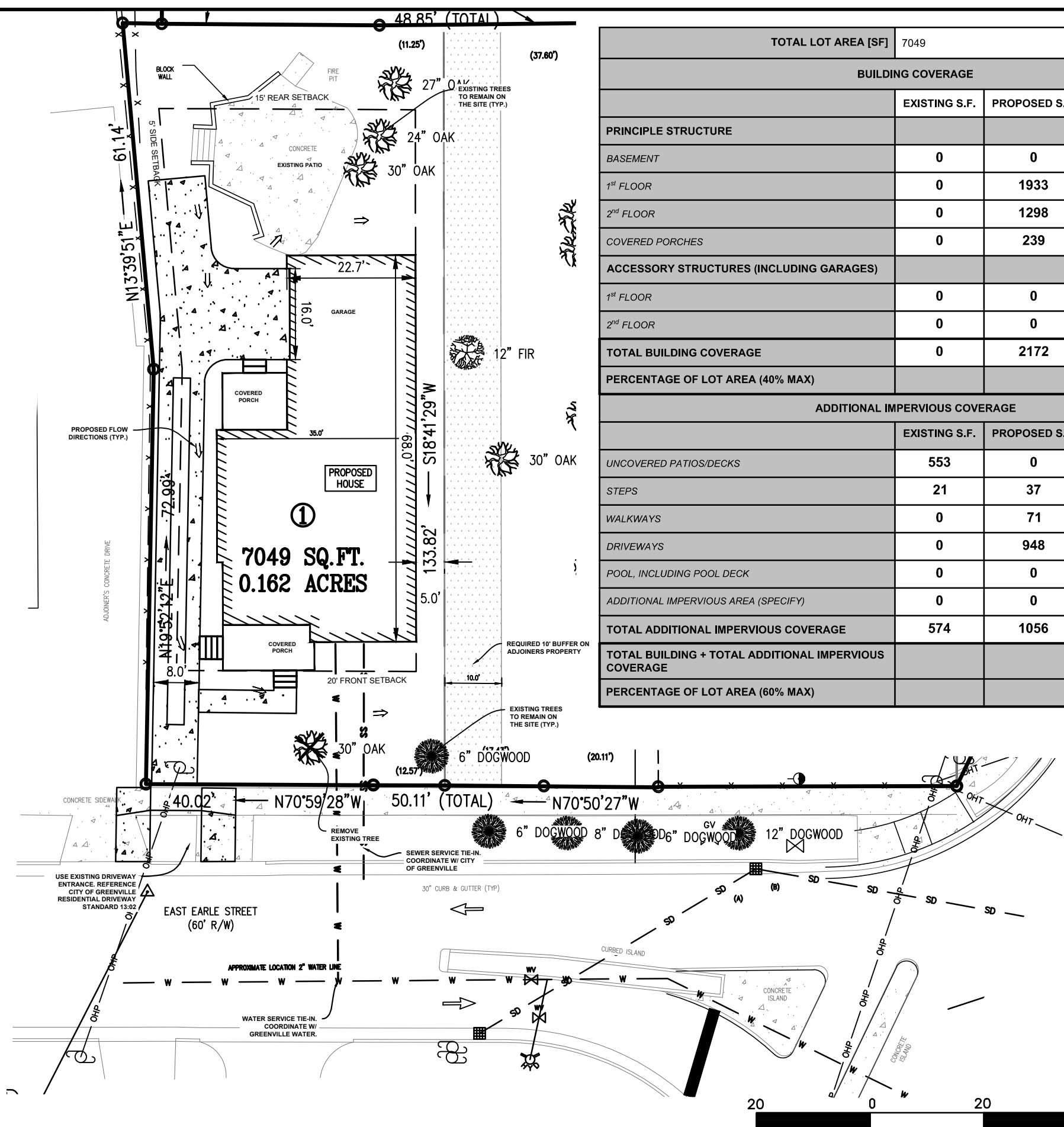


SPECIAL EMPHASIS NEIGHBORHOODS

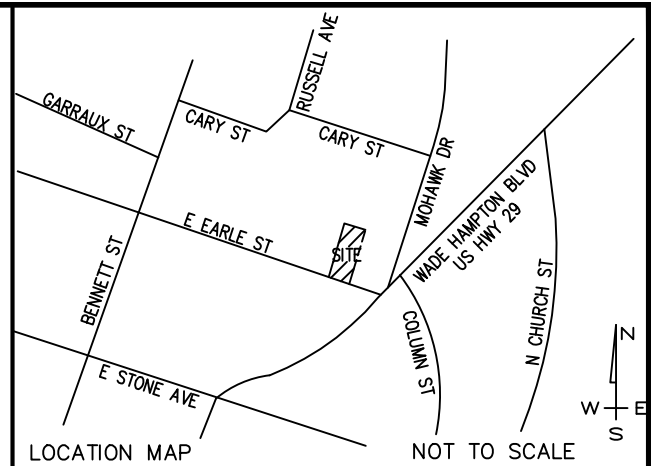


PRESERVATION OVERLAYS





TOTAL LOT AREA [SF]	7049			
BUILDING COVERAGE				
	EXISTING S.F.	PROPOSED S.F.	DEMO S.F.	TOTAL S.F.
PRINCIPLE STRUCTURE				
BASEMENT	0	0	0	0
1 st FLOOR	0	1933	0	1933
2 nd FLOOR	0	1298	0	1298
COVERED PORCHES	0	239	0	239
ACCESSORY STRUCTURES (INCLUDING GARAGES)				
1 st FLOOR	0	0	0	0
2 nd FLOOR	0	0	0	0
TOTAL BUILDING COVERAGE	0	2172	0	2172
PERCENTAGE OF LOT AREA (40% MAX)				30.8%
ADDITIONAL IMPERVIOUS COVERAGE				
	EXISTING S.F.	PROPOSED S.F.	DEMO S.F.	TOTAL S.F.
UNCOVERED PATIOS/DECKS	553	0	0	553
STEPS	21	37	0	58
WALKWAYS	0	71	0	71
DRIVEWAYS	0	948	0	948
POOL, INCLUDING POOL DECK	0	0	0	0
ADDITIONAL IMPERVIOUS AREA (SPECIFY)	0	0	0	0
TOTAL ADDITIONAL IMPERVIOUS COVERAGE	574	1056	0	1630
TOTAL BUILDING + TOTAL ADDITIONAL IMPERVIOUS COVERAGE				3802
PERCENTAGE OF LOT AREA (60% MAX)				53.9%



PARCEL INFORMATION	
TAX MAP NO.	ADDRESS
0035000802100	225 EARLE ST

PRELIMINARY SITE PLAN 225 EARLE STREET

DRAWING PREPARED BY:

SITE DESIGN, INC.
CIVIL ENGINEERS - SURVEYORS - LANDSCAPE ARCHITECTS
800 EAST WASHINGTON ST, SUITE B
GREENVILLE, SC 29601
PH: (864)271-0496 FAX: (864)271-0402
<http://www.sitedesign-inc.com/>

SCALE: 1" = 20'

DRAWN: SPG

CHECKED: MRB

DATE: 01-31-20



Plan 2802 - Lot 1 Earle Street Greenville, South Carolina



GENERAL NOTES

- These documents are the property of the architect, and shall not be copied, duplicated, altered, modified or revised in any way without the expressed written approval of the architect.
- To the best of the architects' knowledge these construction documents are in conformance with the requirements of the building authorities having jurisdiction over this type of construction and occupancy.
- It is the intent of the architect to delineate these documents as accurate as possible for the purpose of graphic representation. Do not "scale" these documents. The dimensions shown are to take precedence over scaling the documents. The general contractor shall take full responsibility for any incorrect work and any repair of said work as a result of scaling the documents.
- All work performed by the general contractor shall comply and conform with local and state building codes, ordinances and regulations, along with all other authorities having jurisdiction. The general contractor is responsible to be aware of these requirements and governing regulations.
- The general contractor shall thoroughly review and become familiar with these documents. Upon review, the general contractor shall document and notify the architect of any errors, omissions, discrepancies and / or inconsistencies prior to the start of any portion of the proposed work. The architect shall review the proposed corrections after the receipt of notification. The discovery of discrepancies and / or conflicts after the start of work shall be the full responsibility of the general contractor to repair or replace.
- The general contractor shall be responsible for the correction of any errors, omissions, discrepancies and / or inconsistencies which have not been brought to the architects' attention.
- The general contractor shall accept the premises as is, in its current state. The owner shall assume no responsibility for the condition of the existing site, and its contents, at the time of bidding or thereafter.
- The general contractor shall field verify all existing site conditions, along with dimensions, prior to the start of any portion of the work. All findings, discrepancies and concerns shall be brought to the owners' attention in written format.
- The general contractor shall be responsible for all work and materials represented on these documents including the work and materials furnished by subcontractors and vendors.
- Deviations from these documents in the construction phase shall be reviewed by the architect and the owner prior to the start of work in question. Any deviations from these documents without prior review, shall be the sole responsibility of the general contractor.
- It is the sole responsibility of the general contractor to determine erection procedure, means and methods and sequence of construction.
- The general contractor is responsible to produce and comply with an approved construction schedule acceptable to the owner's expectations.
- The owner shall furnish any and all reports received from the geotechnical engineer (soil reports), on the study of the proposed site, to the architect, structural engineer and general contractor. In the event the geotechnical reports do not exist, the soil condition shall be assumed to be a minimum design soil pressure stated by the structural engineer of record for the purpose of structural design. General contractor shall assure the soil conditions meet or exceed this criteria.
- Shop drawing review and distribution, along with product submittals, requested in the construction documents, shall be the sole responsibility of the general contractor, unless directed otherwise under a separate agreement.
- The architect shall not accept, or review any request for shop drawing review and / or stamp without the review and stamp of the general contractor clearly shown on the documents.

PROJECT INFORMATION

PROJECT DESCRIPTION	NEW SINGLE FAMILY DETACHED
LOCATION	GREENVILLE, SC
APPLICABLE CODES	2015 SOUTH CAROLINA RESIDENTIAL CODE
CONSTRUCTION TYPE	WOOD FRAME UNPROTECTED
OCCUPANCY CLASSIFICATION	SINGLE FAMILY RESIDENTIAL
FIRE PROTECTION	NOT APPLICABLE
BUILDING HEIGHT	LESS THAN 35'

INDEX

ARCHITECTURE

A000	COVER SHEET & INDEX
A1.0	CRAWLSPACE PLAN
A2.1	MAIN FLOOR PLAN
A2.2	UPPER FLOOR PLAN
A3.1	EXTERIOR ELEVATIONS & ROOF PLAN
A4.1	BUILDING SECTIONS
E2.1	MAIN FLOOR ELECTRICAL PLAN
E2.2	UPPER FLOOR ELECTRICAL PLAN
AD.1	DETAILS
AD.2	DETAILS
AD.3	DETAILS



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L O T 1 E A R L E S T R E E T
G R E E N V I L L E , S O U T H C A R O L I N A

02-11-20 - PERMIT SET

PROJECT :	19117
DRAWN BY:	SP, JWC
DATE:	11-15-2019

COVER SHEET & INDEX

PLAN 2802

A000



USING DESIGN MATTE

PLANS HOME STREET
LOT 1 EARLE STREET
GREENVILLE, SOUTH CAROLINA

WL SPACE PLAN

A1.0

TYPICAL CRAWL LEVEL SLAB:

- GENERAL:

- PROVIDE CIRCULAR BOXOUTS AT STEEL COLUMN LOCATIONS.
 CONTROL JOINTS TO CONSIST OF "ZIP STRIP" OR TOOLED JOINTS AS SHOWN WITH MINIMUM DEPTH OF 1/4 OF SLAB THICKNESS.
 ALL ANGLED WALLS AND FOOTINGS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
 MECH. TRADES RESPONSIBLE FOR PROVIDING AND LOCATING FOUNDATION SLEEVES. LOCATION OF SLEEVES FOR UTILITIES SHALL BE DETERMINED BY OWNER OR OWNER'S AGENT PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES.
 ALL CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POSTS AND/ OR SOLID BLOCKING.
 TOP OF FOUNDATION VARIES, REFER TO FOUNDATION SECTIONS AND PLANS.
 PROVIDE STEEL PLATE ANCHOR BOLTS IN FOUNDATION WALL WITH SILL PLATE.
 SEE STRUCTURAL DRAWINGS FOR SIZE AND SPACING PROVIDE MIN. 4" CONCRETE COVER AT BELOW SLAB UTILITY LOCATIONS. WHEN CONCRETE ENCASEMENT OF UTILITY LINES IS REQUIRED, UTILITIES SHALL BE PLACED SUFFICIENTLY BELOW SLAB TO MAINTAIN PROPER CONCRETE COVERAGE.
 PROVIDE ALL MECH. ROUGH-INS WHEN A/C PAD LOCATION WARRANTS PENETRATION OF POURED CONCRETE SLAB FOR HOOK-UPS TO HVAC EQUIPMENT.
 FIELD VERIFY LOCATIONS OF ALL METERS, PLUMBING FIXTURES, ELECTRICAL PANEL, SERVICE LINES, SUMP PITS AND APPLIANCES PRIOR TO PLACING CONC POURED SLAB.
 THE CONCRETE AND ELECTRICAL CONTRACTORS SHALL COORDINATE AND PROVIDE GROUNDING ELECTRODES PER CODE.
 ALL DESIGN, REVISIONS, ENGINEERING, INSTALLATION AND LIABILITY OF SOIL CONDITIONS AND STRUCTURAL DESIGNS DUE TO INADEQUATE SOILS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTORS SHALL BE INVOLVED WITH DESIGN AND INSTALLATION OF SUCH; AND THE ARCHITECT SHALL NOT BE HELD LIABLE OR RESPONSIBLE FOR THEIR IMPLEMENTATIONS.
 LOCATION OF AIR CONDITIONER SHALL BE DETERMINED BY OWNER OR OWNER'S AGENT PRIOR TO CONSTRUCTION IN ACCORDANCE WITH LOCAL CODES.
 WASTE PIPE SHALL BE HEAVY WALL CAST IRON AT POINT OF ENTRY INTO BASEMENT.
 BACKFILL SHALL NOT BE PLACED AGAINST FOUNDATION WALL UNTIL WALL HAS SUFFICIENT STRENGTH AND HAS BEEN SUFFICIENTLY BRACED AS TO PREVENT DAMAGE BY THE BACKFILL.
 ALL FORM TIES SHALL BE REMOVED FROM THE INSIDE AND OUTSIDE OF ALL FOUNDATION WALLS AND VOIDS SHALL BE FILLED WITH SUITABLE CONCRETE MORTAR MATERIAL.



CRAWL SPACE VENTILATION SCHEDULE		
AREA	ATTIC AREA (SQ FT)	TOTAL NET FREE AREA OF REQUIRED (1 SQ FT PER 1500 SQ FT)
HOUSE	1394	0.93

NOTE:
 * REQUIRED NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQ FT FOR EACH 1500 SQ FT OF UNDER FLOOR SPACE AREA. ONE SUCH VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.



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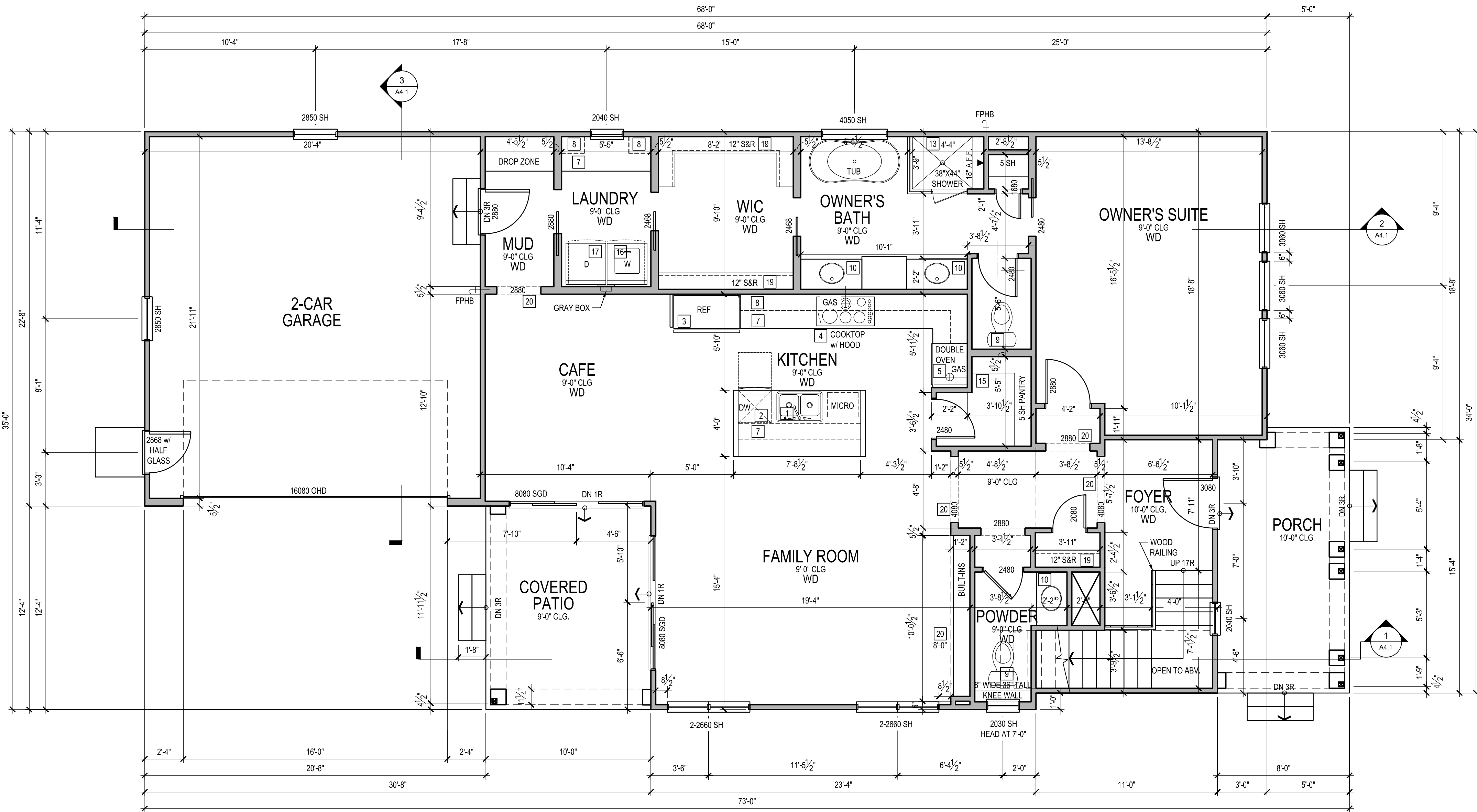
FLOOR PLAN NOTES

- ALL UNDIMENSIONED PARTITIONS ARE 3 1/2" ROUGH.
- ALL ANGLED PARTITIONS ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- ALL STUD WALLS SHALL HAVE DOUBLE TOP PLATES.
- ALL CONCENTRATED LOADS SHALL BE TRANSFERRED TO FOUNDATION VIA BEAMS, POSTS AND/ OR SOLID BLOCKING.
- ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- FLOOR TRUSSES SHALL MEET ALL DESIGN CRITERIA AND FLOOR TRUSS SUPPLIER SHALL MEET ALL LOADINGS REQUIRED BY CODE.
- ALL ROOF TRUSSES TO BEAR ON EXTERIOR WALLS AND/ OR GIRDER TRUSSES UNLESS NOTED OTHERWISE ON TRUSS DIAGRAMS.
- ROOF TRUSS MFR. TO SIZE MEMBERS, FASTENERS, HANGERS & SET SPACING FOR ALL TRUSSES.
- WINDOW SUPPLIER TO VERIFY AT LEAST ONE WINDOW IN EACH SLEEPING ROOM MEETS THE NET CLEAR OPENING REQUIREMENTS FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.
- BALLOON FRAME ALL VOLUME CEILING EXTERIOR WALLS WITH CONTINUOUS STUDS TO UNDERSIDE OF UPPER FLOOR PLATE.
- ALL HANDRAIL BALUSTERS TO BE SPACED SUCH THAT A 4" SPHERE CANNOT PASS BETWEEN.
- ALL ELECTRICAL AND MECHANICAL EQUIPMENT ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS. CONTRACTOR TO VERIFY.
- ALL FRAMED CORNERS SHALL HAVE A MINIMUM OF THREE STUDS.
- ALL MULTIPLE FRAMING TO BE SECURED W/ 2 ROWS OF 16d NAILS @ 16" o.c. TOP AND BOTTOM.
- WHERE TOP PLATE IS CUT BY 50% OR MORE, A 1.5" WIDE 16-GAGE GALVANIZED METAL TIE SHALL BE FASTENED TO EACH PLATE ACROSS AND TO EACH SIDE OF THE OPENING W/ NOT LESS THAN SIX 16d NAILS.
- * PROVIDE FIRE BLOCKING AND DRAFT STOPPING AT ALL LOCATIONS REQUIRED BY THE RESIDENTIAL BUILDING CODE REFERENCED.

FLOOR PLAN KEYNOTES

- X** THE FOLLOWING KEYNOTES
REFERENCE THE SYMBOLS AS SHOWN ON
PLANS:

- SINK w/ GARBAGE DISPOSAL
- DISHWASHER
- SIDE-BY-SIDE REFRIGERATOR
- RANGE w/ VENTED HOOD
- DOUBLE OVEN
- PANTRY SHELVES
- BASE CABINETS
- UPPER CABINETS
- WATER CLOSET
- LAV. SINK
- PED. SINK
- SHOWER
- SHOWER SEAT 18" A.F.F
- TUB/SHOWER
- LINEN SHELVES
- WASHER
- DRYER
- LAUNDRY SINK
- ROD & SHELF
- GYPSON BOARD SOFFIT
- HALF WALL @ 36" A.F.F (OR LANDING) W/ WOOD CAP.
- HALF WALL @ 48" A.F.F. WITH TEMPERED GLASS ENCLOSURE
- 12" SOFFIT/TRAY AT CEILING
- 20 MINUTE DOOR w/CLOSER
- OPTIONAL BENCH
- OPTIONAL CABINETS
- OPTIONAL BAR/SINK
- OPTIONAL FIREPLACE (SEE AF.1)
- 22x30 ATTIC ACCESS



1 MAIN FLOOR PLAN
1/4" = 1'-0"

SQUARE FOOTAGES	
MAIN FLOOR	1481
UPPER FLOOR	1370
SUBTOTAL	2851
2 CAR GARAGE	461
COVERED PORCH	113
FRONT PORCH	126
TOTAL	3551

LS HOMES
PLAN 2802
LOT 1 EARLE STREET
GREENVILLE, SOUTH CAROLINA

PROJECT :	19117
DRAWN BY :	SP, JWC
DATE:	11-15-2019

MAIN FLOOR PLAN

PLAN 2802

A2.1

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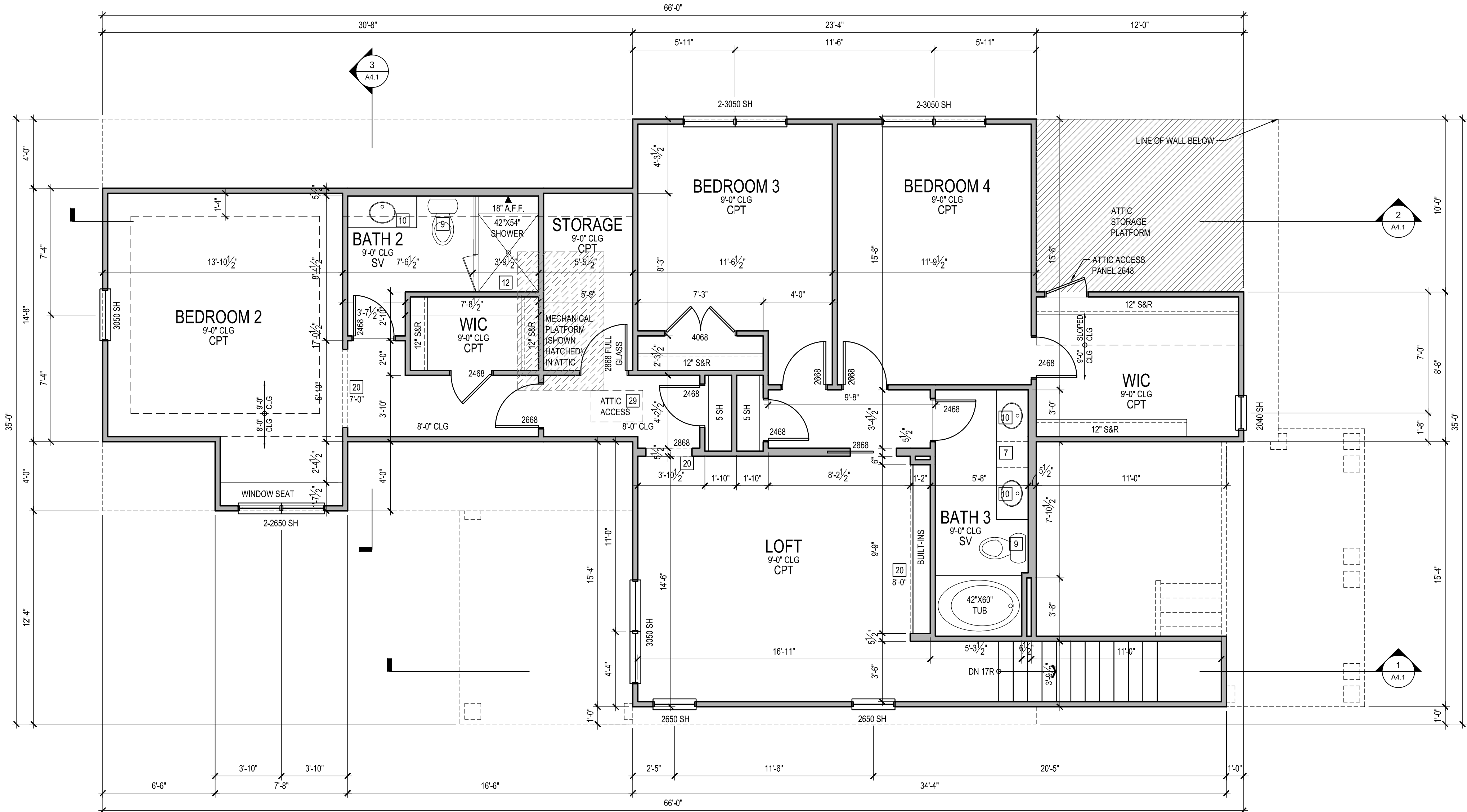
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FLOOR PLAN KEYNOTES

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REFERENCE THE SYMBOLS AS SHOWN ON
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- DISHWASHER
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- OPTIONAL BENCH
- OPTIONAL CABINETS
- OPTIONAL BAR/SINK
- OPTIONAL FIREPLACE (SEE AF.1)
- 22x30 ATTIC ACCESS



1 UPPER FLOOR PLAN
1/4" = 1'-0"

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LS HOMES
P L A N 2 8 0 2
L O T 1 E A R L E S T R E E T
GREENVILLE, SOUTH CAROLINA

PROJECT :	19117
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DATE:	11-15-2019

UPPER FLOOR PLAN

PLAN 2802

A2.2



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PLANS HOME STREET
LOT 1 EARLE STREET
GREENVILLE, SOUTH CAROLINA

PLAN 2802

A3.1

- PROVIDE DRIP CAPS AT ALL WINDOWS & DOORS.
- ROOF SADDLES TO BE PLYWOOD SHEATHED w/ BUILDING PAPER AND SHINGLES.
- ALL EXTERIOR CORNER BOARDS SHALL MATCH EXISTING.
- REFER TO FLOOR PLANS FOR DOOR AND WINDOW SIZES.
- PROVIDE FLASHING AND HOUSE WRAP AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
- MAINTAIN OPENING IN ROOF SHEATHING AT OVERHANGING TO PROVIDE VENTILATION.
- PROVIDE DOWN SPOUTS TO CONCRETE SPLASH BLOCKS AT ALL GUTTERS.

X THE FOLLOWING KEYNOTES
REFERENCE THE SYMBOLS AS
SHOWN ON PLANS:

1. ARCHITECTURAL SHINGLES
2. HORIZONTAL SIDING
3. BOARD & BATTEN SIDING
4. BRICK VENEER
5. BRICK ROWLOCK VENEER
6. NOMINAL 2" TRIM OVER 6" TRIM
7. NOMINAL 2" TRIM OVER 8" TRIM
8. NOMINAL 6" TRIM
9. NOMINAL 9" COLUMN
10. DECORATIVE LOUVER VENT
11. DECORATIVE SHUTTERS
12. DECORATIVE BRACKETS
13. WROUGHT IRON RAIL
14. NOMINAL 8" TRIM

ATTIC VENTILATION SCHEDULE

AREA	ATTIC AREA (SQ FT)	TOTAL NET FREE VENTED AREA REQ. (17000) (SQ IN)	LOWER - SOFFIT (SQ IN / LF)			UPPER - RIDGE & POD (SQ IN / LF)						
			REQ ¹	PROVIDED ²	LINEAR FT	REQ ³	PROVIDED ⁴	LINEAR FT	PROVIDED ⁴	COUNT		
			REMAINING REQUIRED			40% (MIN)	50% (MAX)					
UPPER	2205	1002	541	649	420	42	433	541	0	0	500	10
LOWER 1	211		51	61	40	4	41	51	0	0	50	1

NOTE:

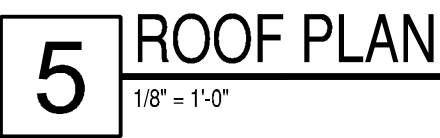
¹ REQUIRED NET FREE VENTED AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL ATTIC AREA (SQ FT) IN COLUMN 1 BY .51000 AND MULTIPLYING SUM BY 14.50 IN SQ FT 40%-50% OF TOTAL NET FREE VENTED AREA IS REQUIRED AT THE RIDGE (HIGH) AND THE REMAINING IS REQUIRED AT THE LOWER VENTING IF PROVIDED. THE REQUIRED NET FREE AREA IS 1150 OF THE ACTUAL AREA AND 100% OF THE VENTED AREA SHALL BE PROVIDED AT THE SOFFIT.

² ACTUAL NET FREE VENTED SOFFIT AREAS ARE CALCULATED BY DIVIDING THE REQUIRED NET FREE VENTED SOFFIT AREA (FT²) BY THE MANUFACTURERS STATED ACTUAL VENTED NET FREE AREA PER VENT. MANUFACTURER TO VERIFY THE SOFFIT NET FREE VENT AREA MIN 12.0 SQ IN/VENT. WHEN APPLICABLE, THE ACTUAL TOTAL NUMBER OF SOFFIT VENTS SHALL BE DIVIDED EQUALLY BETWEEN EACH GABLE AND SPACED AN EQUAL DISTANCE APART FROM ONE ANOTHER.

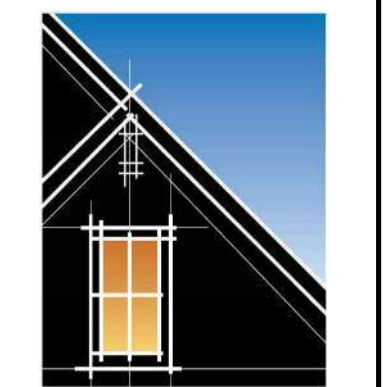
ACTUAL NET FREE VENTED RIDGE AREAS ARE CALCULATED BY DIVIDING THE REQUIRED NET FREE VENTED RIDGE AREA (FT²) BY THE MANUFACTURERS STATED ACTUAL VENTED NET FREE AREA PER VENT.

³ MANUFACTURER TO VERIFY THE RIDGE VENT NET FREE AREA MIN 12.0 SQ IN/VENT.

⁴ MANUFACTURER TO VERIFY THE POD (ROOF) NET FREE AREA MIN 5.0 SQ IN/VENT.



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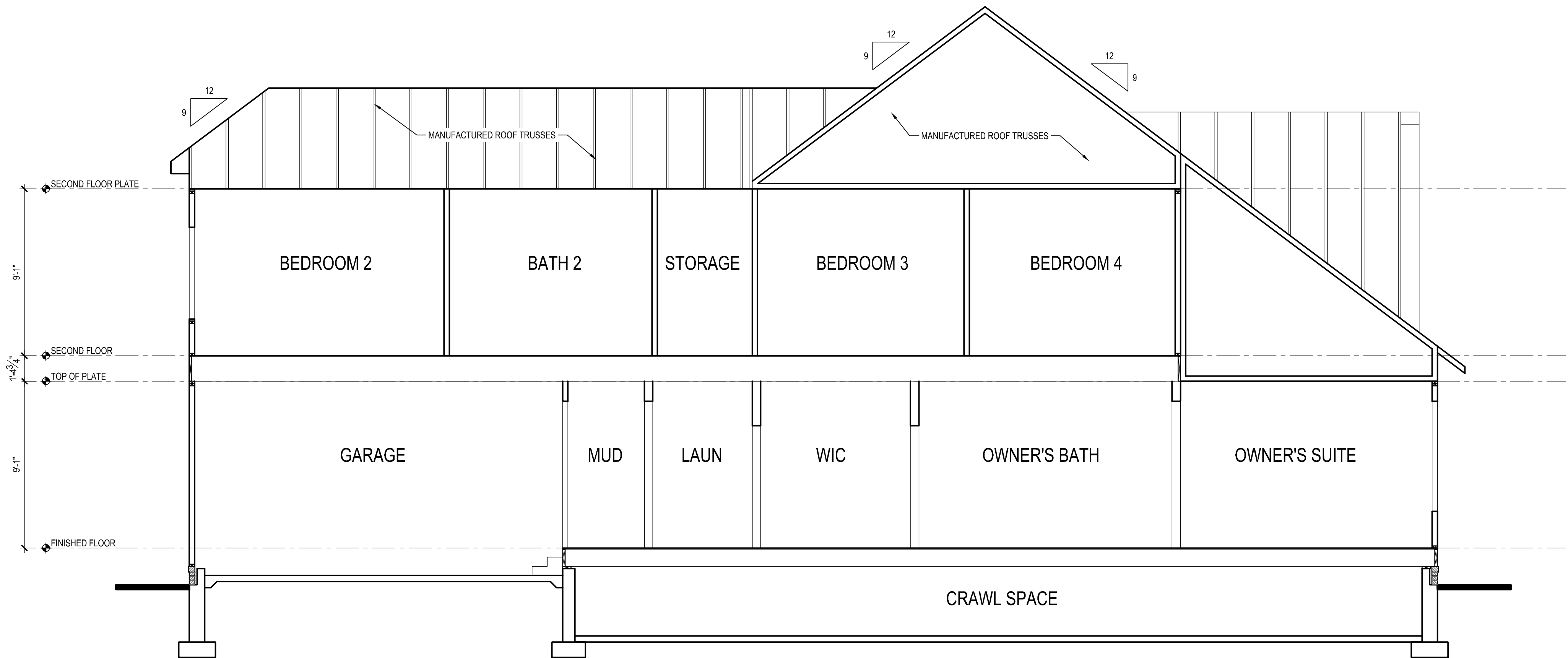
PROJECT: 19117
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BUILDING SECTIONS

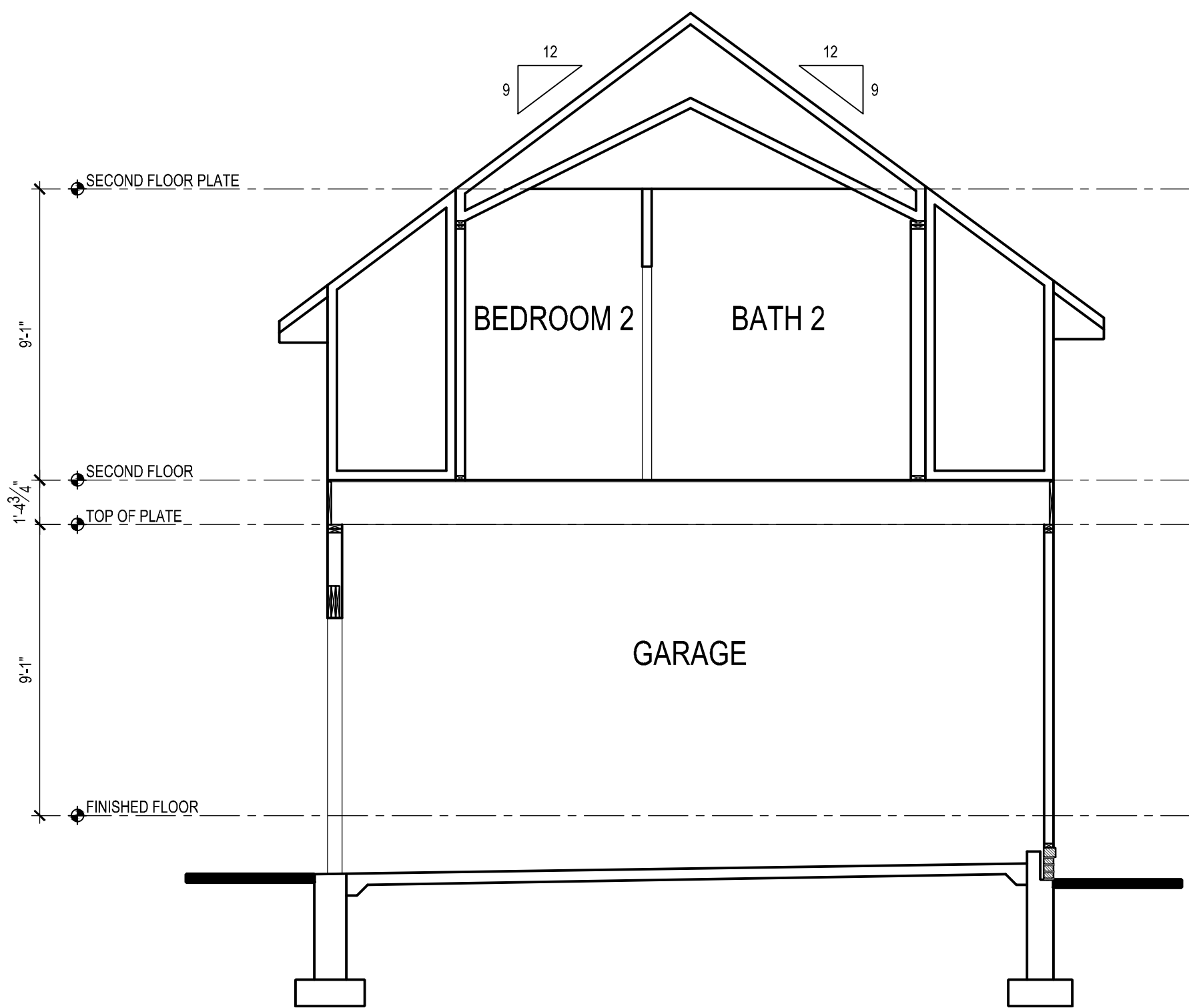
PLAN 2802

A4.1

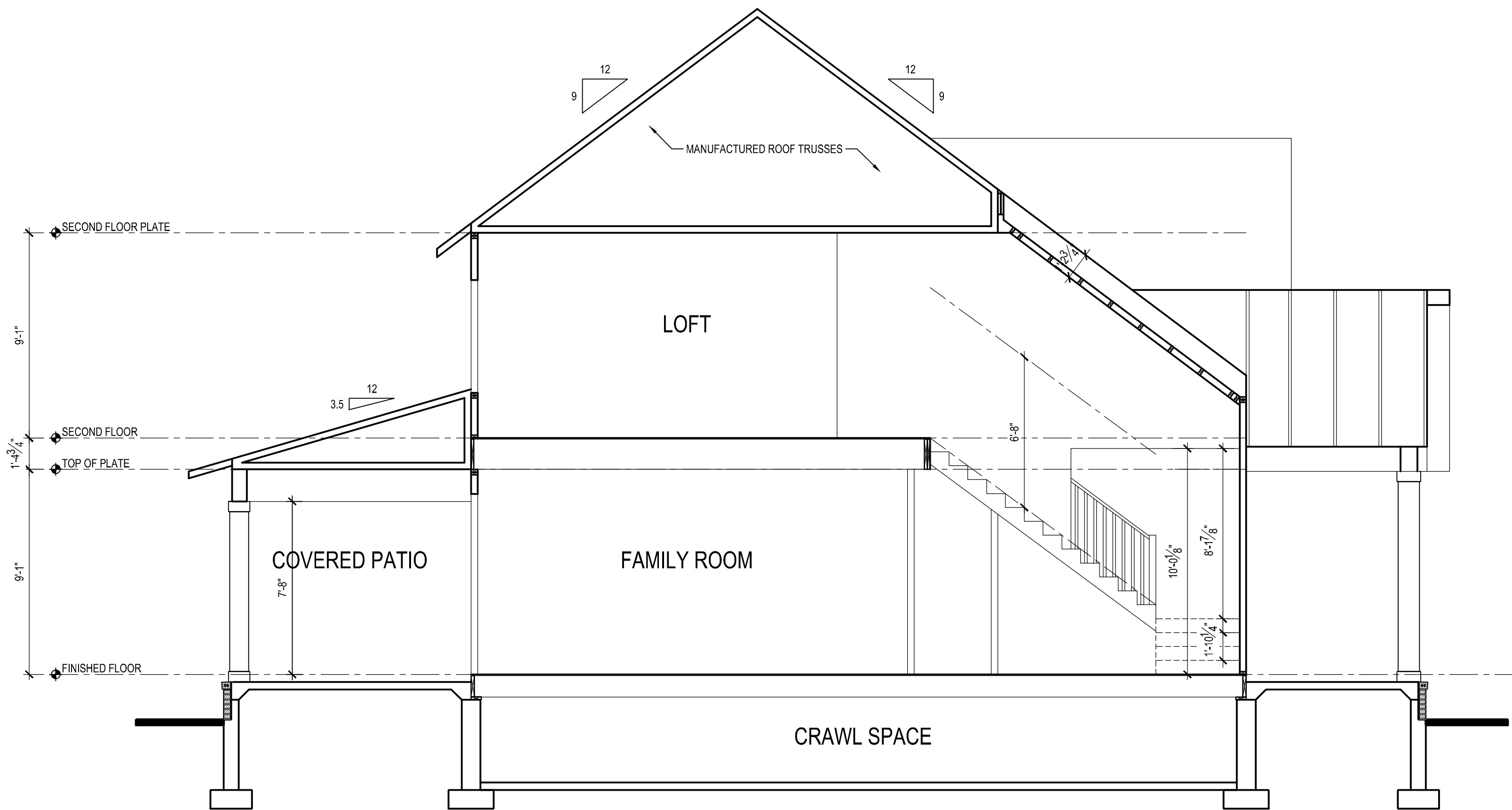
02-11-20 - PERMIT SET



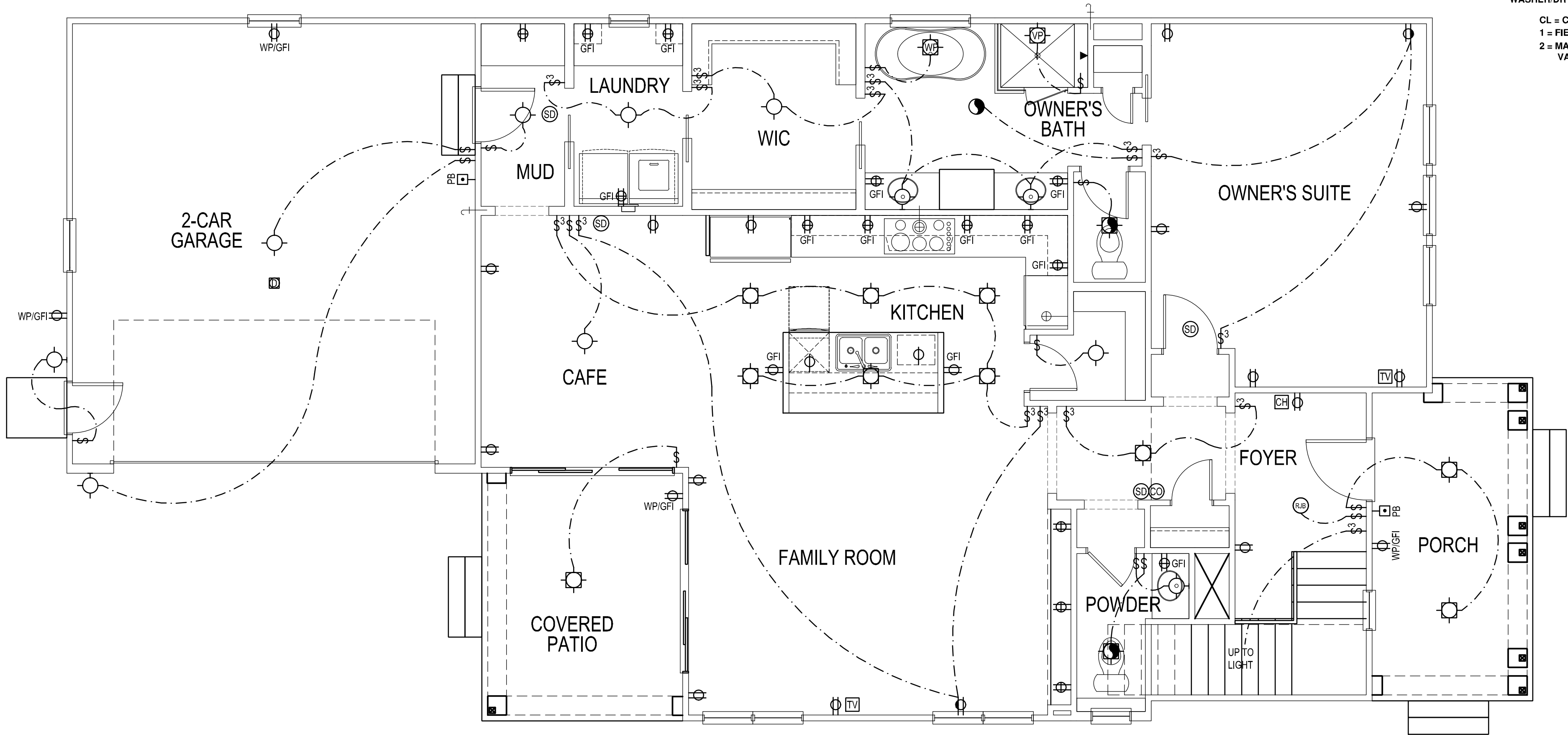
2 BUILDING SECTION
1/4" = 1'-0"



3 BUILDING SECTION
1/4" = 1'-0"



1 BUILDING SECTION
1/4" = 1'-0"



ELECTRICAL NOTES:

1. PROVIDE AND INSTALL LOCALLY CERTIFIED SMOKE AND CARBON MONOXIDE DETECTORS AS REQUIRED BY NATIONAL FIRE PROTECTION ASSOCIATION (NPA) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES
2. PROVIDE AND INSTALL GROUND FAULT CIRCUIT-INTERRUPTERS (GFI) AS REQUIRED BY NATIONAL ELECTRIC CODE (NEC) AND MEETING THE REQUIREMENTS OF ALL GOVERNING CODES.
3. ELECTRICAL CONTRACTOR TO PROVIDE REQUIRED DIRECT HOOK-UPS/CUTOFFS.
4. HVAC CONTRACTOR TO VERIFY THERMOSTAT LOCATIONS.
5. ALL ELECTRICAL AND MECHANICAL EQUIPMENT (I.E. FURNACES, A/C UNITS, ELECTRICAL PANELS, SANITARY SUMP PITS, DRAIN TILE SUMP, AND WATER HEATERS) ARE SUBJECT TO RELOCATION DUE TO FIELD CONDITIONS.
6. ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT 15 & 20 AMP RECEPTACLE OUTLETS INSTALLED IN ANY HABITATL SPACE SHALL BE PROTECTED BY AN ARC FAULT CIRCUIT INTERRUPTER PER N.E.C. 210-12(A) & (B).

ELECTRICAL DEVICES: ABOVE FINISHED FLOOR:

- SWITCHES OVER COUNTER..... 48" TO CL
WALL OUTLETS OVER COUNTER..... 48" TO CL
REMAINING SWITCHES 48" TO CL
WALL OUTLETS 12" TO CL
BATH VANITY BRACKET OUTLET
(1" ABOVE TOP OF MIRROR)..... 80" TO CL^{1,2}
WATER SOFTENER AND SUMP OUTLET^{88"} TO CL
TELEPHONE OUTLETS 12" TO CL
TELEVISION OUTLETS 12" TO CL
EXTERIOR GFI OUTLETS..... 12" TO CL
GARAGE GFI (ABOVE GARAGE FLOOR)48" TO CL
BASEMENT WALL OUTLETS..... 48" TO CL
FRONT DOOR COACH LIGHT 72" TO CL
GARAGE DOOR COACH LIGHT,
(ABOVE GARAGE FLOOR) 84" TO CL
64" TO BTM
DINING AND BREAKFAST FIXTURE..... OF FIXTURE
96" TO BTM
FOYER AND STAIRWAY FIXTURE..... OF FIXTURE
THERMOSTAT 54" TO CL
DOORBELL CHIMES 84" TO CL
LEVEL W/
DOORBELL BUTTON DR HANDLE
KITCHEN HOOD FAN "WHIP"..... 66" TO CL
KITCHEN WALL HUNG MICROWAVE
OUTLET 76" TO CL
KITCHEN DISHWASHER RECEPTACLE. UNDER SINK
KITCHEN RANGE 24" TO CL
KITCHEN REFRIGERATOR 48" TO CL
WASHER/DRYER OUTLET..... 48" TO CL

CL = CENTER LINE
1 = FIELD VERIFY
2 = MASTER BATH STANDARD 30" HIGH
VANITY TO BE RAISED 4"

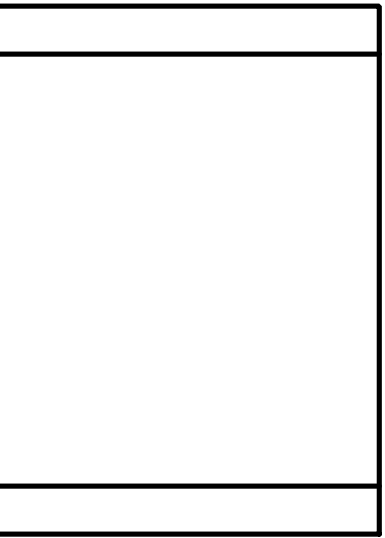
ELECTRICAL LEGEND

- SINGLE POLE OUTLET
- DUPLEX CONVENIENCE OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- WEATHERPROOF DUPLEX OUTLET
- GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET
- HALF-SWITCHED DUPLEX OUTLET
- SPECIAL PURPOSE OUTLET/JUNCTION BOX
- USB CHARGER/TAMPER-RESISTANT DUPLEX OUTLET
- DUPLEX OUTLET IN FLOOR
- 220 VOLT OUTLET
- OVERHEAD DUPLEX
- WALL SWITCH
- THREE-WAY SWITCH
- FOUR-WAY SWITCH
- RHEOSTAT SWITCH
- DIMMER SWITCH
- REINFORCED JUNCTION BOX
- CEILING MOUNTED INCANDESCENT LIGHT FIXTURE
- WALL MOUNTED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE
- RECESSED INCANDESCENT LIGHT FIXTURE (WEATHERPROOF)
- RECESSED FLUORESCENT LIGHT FIXTURE (WEATHERPROOF)
- RECESSED INCANDESCENT LIGHT FIXTURE (VAPOR-PROOF)
- RECESSED FLUORESCENT LIGHT FIXTURE (VAPOR-PROOF)
- CEILING MOUNTED PENDANT LIGHT FIXTURE
- CEILING MOUNTED MINI-PENDANT LIGHT FIXTURE
- CEILING MOUNTED LED LIGHT FIXTURE
- WALL MOUNTED LED LIGHT FIXTURE
- RECESSED LED LIGHT FIXTURE
- RECESSED ADJUSTABLE EVERALL INCANDESCENT LIGHT FIXTURE
- INCANDESCENT LIGHT FIXTURE WITH PULL CHAIN
- EXIT LIGHT
- EMERGENCY LIGHT
- FLUORESCENT LIGHT FIXTURE WITH PULL CHAIN
- FLUORESCENT LIGHT FIXTURE WITH PULL CHAIN
- TRACK LIGHT
- EXHAUST FAN (VENT TO EXTERIOR)
- EXHAUST FAN/LIGHT COMBINATION (VENT TO EXTERIOR)
- EXHAUST FAN WITH HEAT LAMP (VENT TO EXTERIOR)
- CHIMES
- PUSHBUTTON SWITCH
- KEYPAD
- KEYPAD
- SMOKE DETECTOR
- HEAT DETECTOR
- CO DETECTOR
- THERMOSTAT
- SPEAKER (PROVIDE ADEQUATE SUPPORT)
- TELEVISION
- ELECTRIC METER
- ELECTRIC PANEL
- TELEPHONE
- COMPUTER
- CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
- CEILING FAN



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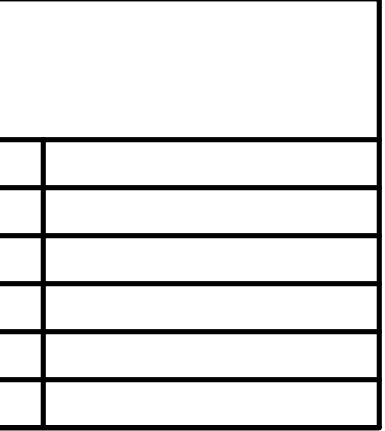
HOUSING DESIGN MATTERS
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BARRINGTON, IL 60010
TEL. 904-236-4559



LS HOMES

PLAN 2802

LOT 1 EARLE STREET
GREENVILLE, SOUTH CAROLINA



PROJECT :	19117
DRAWN BY:	SP, JWC
DATE:	11-15-2019

MAIN FLOOR ELECTRICAL PLAN

PLAN 2802

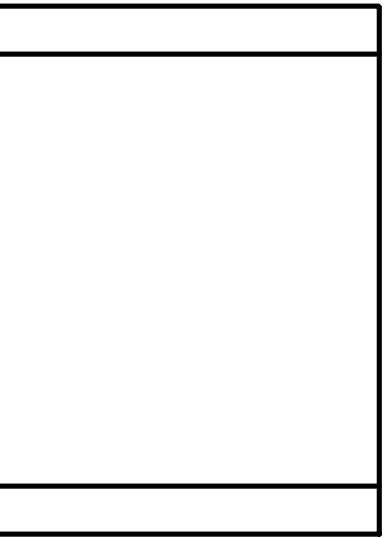
E2.1

02-11-20 - PERMIT SET

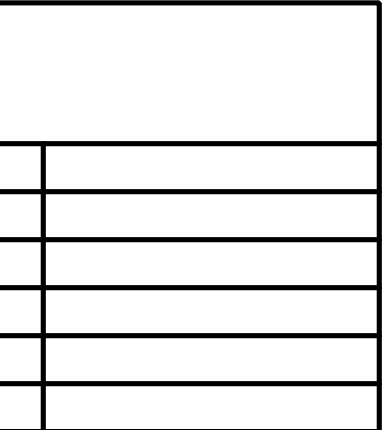


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DRAWN BY:	SP, JWC
DATE:	11-15-2019

UPPER FLOOR ELECTRICAL PLAN

PLAN 2802

E2.2

ELECTRICAL NOTES:

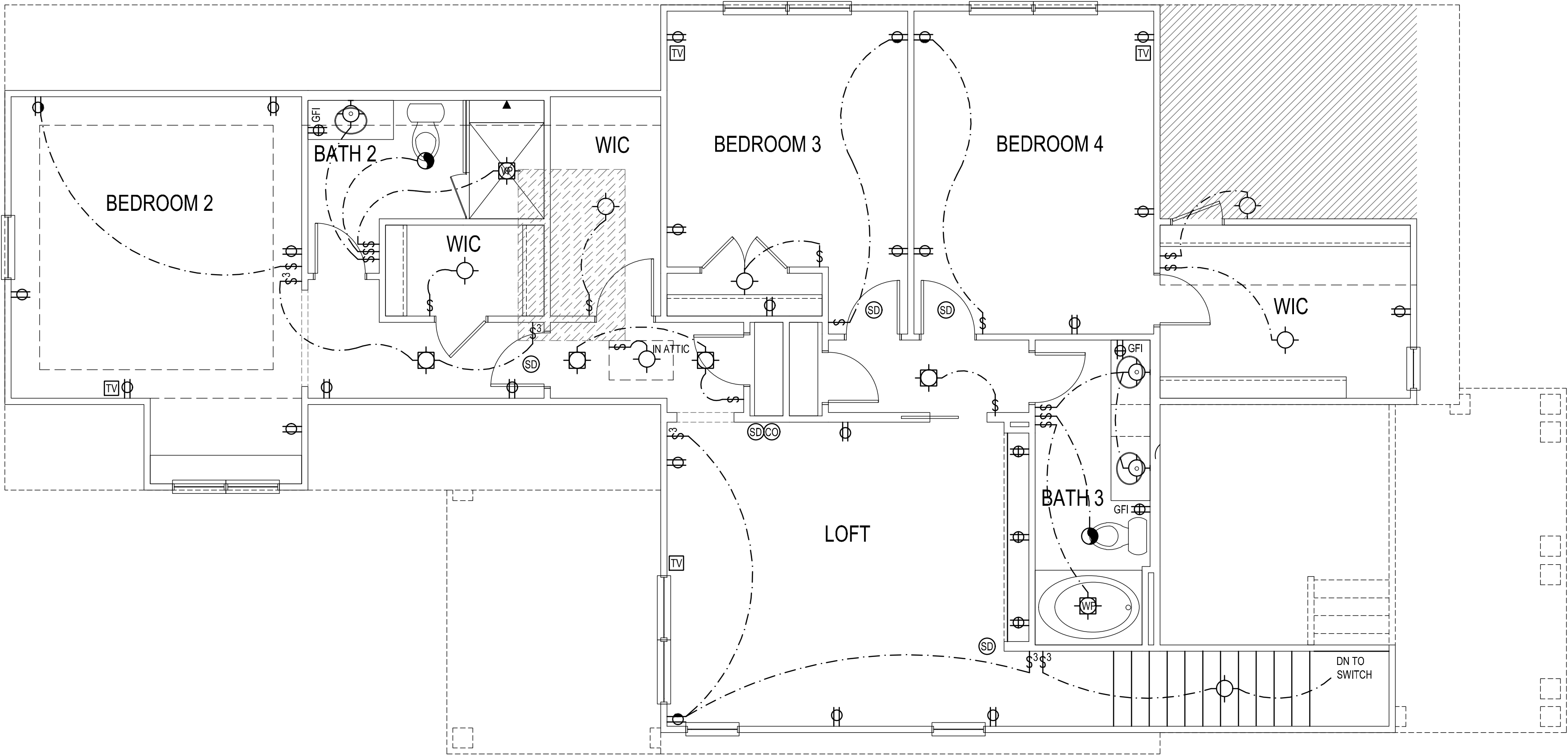
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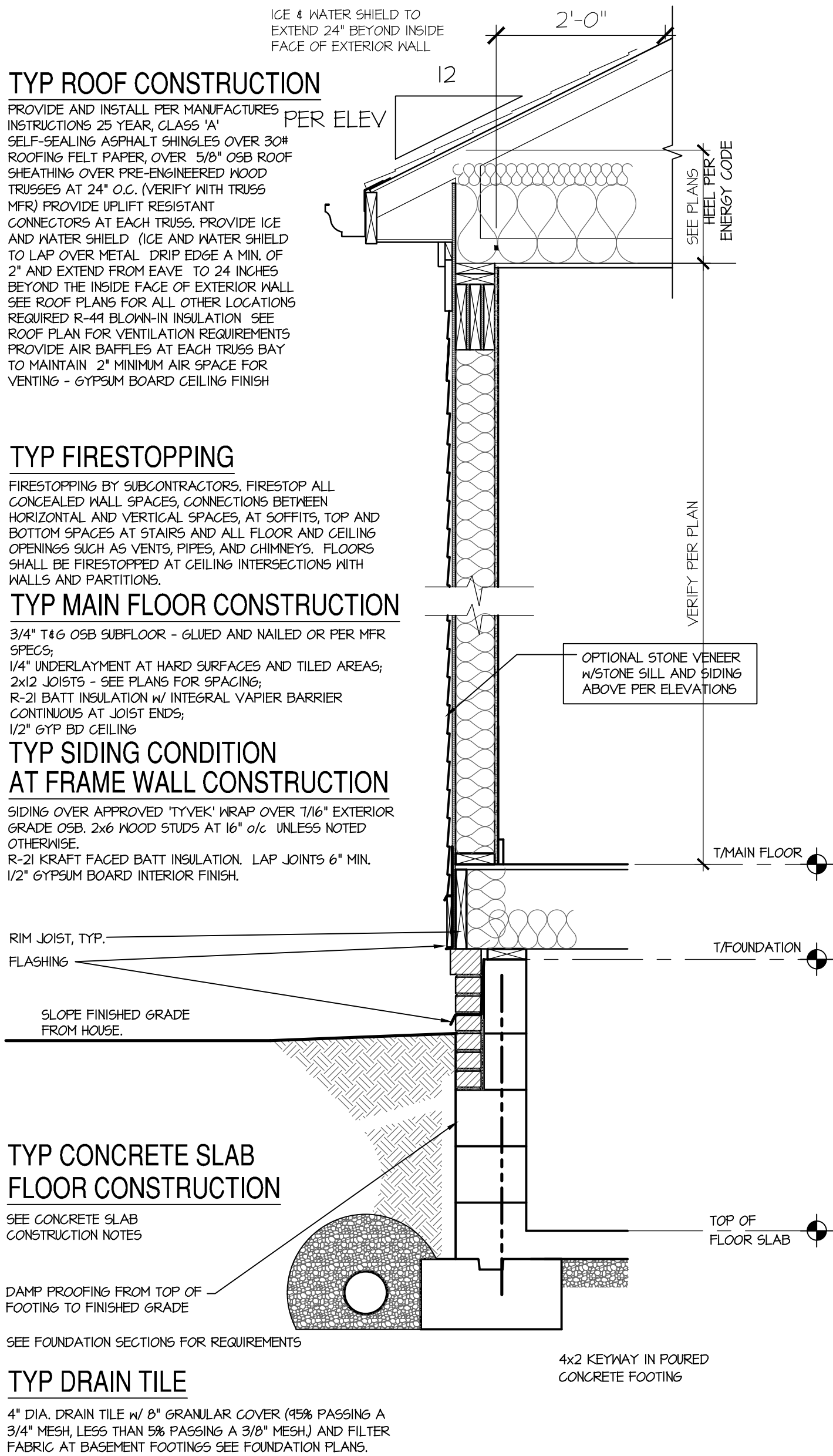
ELECTRICAL DEVICES:	ABOVE FINISHED FLOOR:
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WALL OUTLETS OVER COUNTER.....	48" TO CL
REMAINING SWITCHES.....	48" TO CL
WALL OUTLETS.....	12" TO CL
BATH VANITY BRACKET OUTLET (1" ABOVE TOP OF MIRROR).....	80" TO CL ^{1,2}
WATER SOFTENER AND SUMP OUTLET.....	88" TO CL
TELEPHONE OUTLETS.....	12" TO CL
TELEVISION OUTLETS.....	12" TO CL
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THERMOSTAT.....	54" TO CL
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DOORBELL BUTTON.....	LEVEL W/ DR HANDLE
KITCHEN HOOD FAN "WHIP".....	66" TO CL
KITCHEN WALL HUNG MICROWAVE OUTLET.....	76" TO CL
KITCHEN DISHWASHER RECEPTACLE. UNDER SINK	
KITCHEN RANGE.....	24" TO CL
KITCHEN REFRIGERATOR.....	48" TO CL
WASHER/DRYER OUTLET.....	48" TO CL

CL = CENTER LINE
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VANITY TO BE RAISED 4"

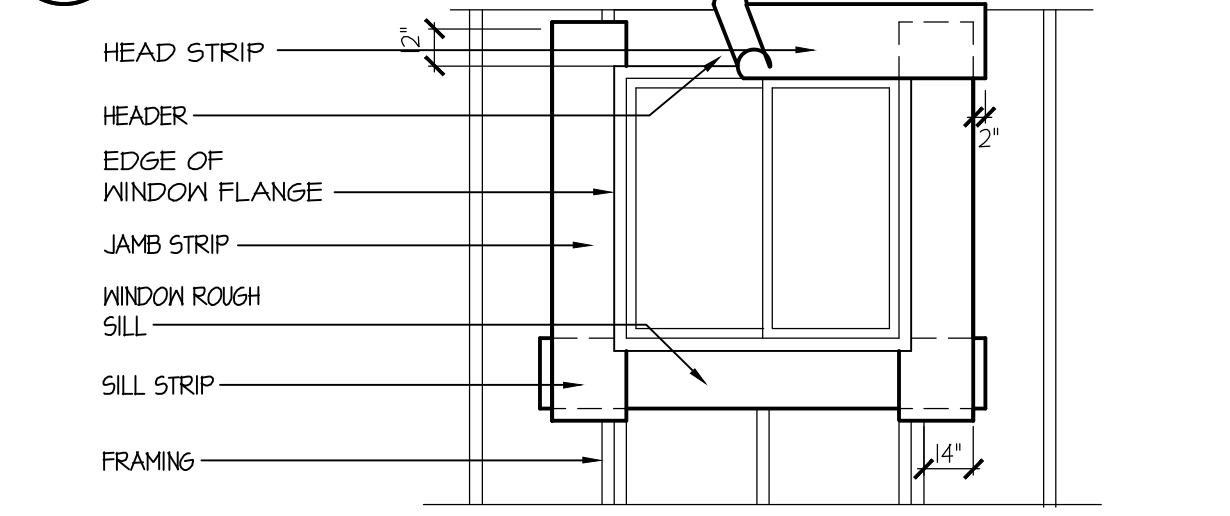
ELECTRICAL LEGEND

	SINGLE POLE OUTLET
	DUPLEX CONVENIENCE OUTLET
	DUPLEX OUTLET ABOVE COUNTER
	WEATHERPROOF DUPLEX OUTLET
	GROUND-FAULT CIRCUIT-INTERRUPTER DUPLEX OUTLET
	HALF-SWITCHED DUPLEX OUTLET
	SPECIAL PURPOSE OUTLET/JUNCTION BOX
	USB CHARGER/TAMPER-RESISTANT DUPLEX OUTLET
	DUPLEX OUTLET IN FLOOR
	220 VOLT OUTLET
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	WALL SWITCH
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	RECESSED INCANDESCENT LIGHT FIXTURE
	RECESSED INCANDESCENT LIGHT FIXTURE (WEATHERPROOF)
	RECESSED INCANDESCENT LIGHT FIXTURE (WEATHERPROOF)
	RECESSED INCANDESCENT LIGHT FIXTURE (VAPOR-PROOF)
	RECESSED FLUORESCENT LIGHT FIXTURE (VAPOR-PROOF)
	CEILING MOUNTED PENDANT LIGHT FIXTURE
	CEILING MOUNTED MINI-PENDANT LIGHT FIXTURE
	CEILING MOUNTED LED LIGHT FIXTURE
	WALL MOUNTED LED LIGHT FIXTURE
	RECESSED LED LIGHT FIXTURE
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	CHIMES
	PUSHBUTTON SWITCH
	KEYPAD
	SMOKE DETECTOR
	HEAT DETECTOR
	CO DETECTOR
	THERMOSTAT
	SPEAKER (PROVIDE ADEQUATE SUPPORT)
	TELEVISION
	ELECTRIC METER
	ELECTRIC PANEL
	TELEPHONE
	COMPUTER
	CEILING FAN WITH INCANDESCENT LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT)
	CEILING FAN





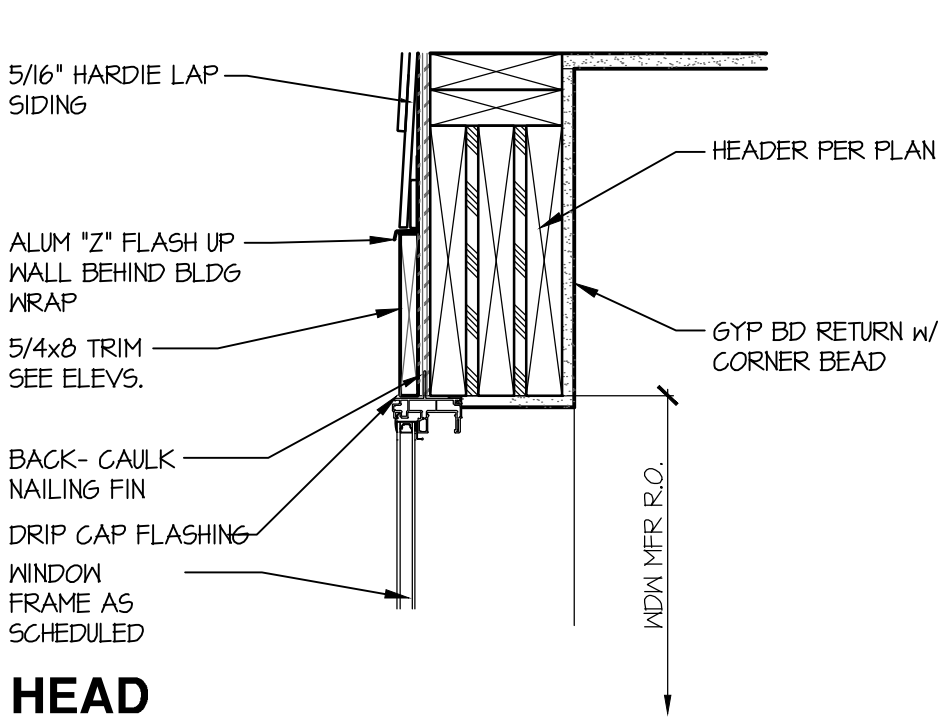
10 Wall Section



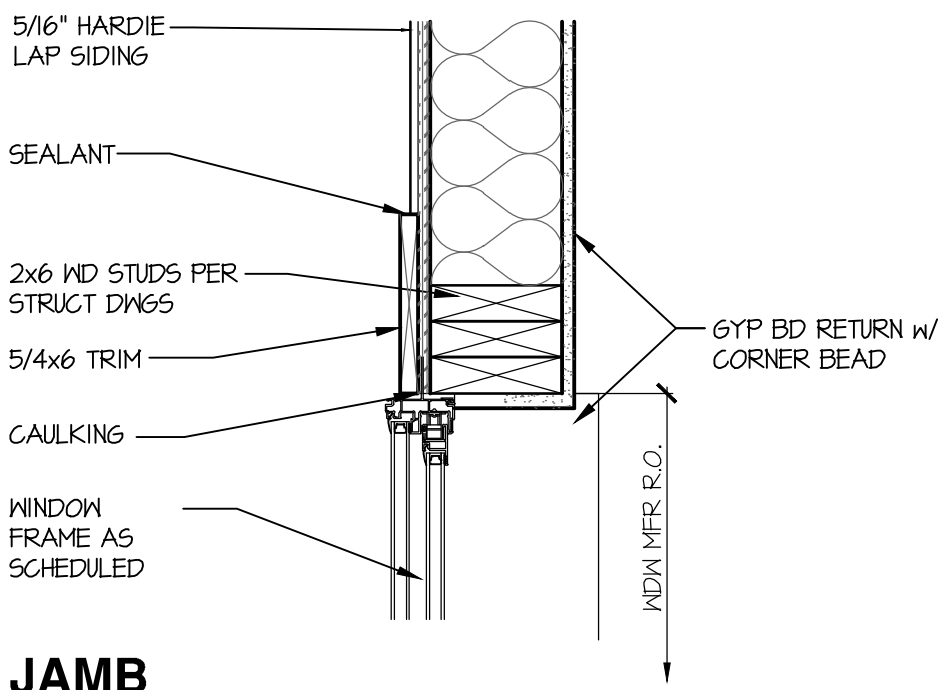
- ATTACH SILL STRIP OF FLASHING MATERIAL AT LEAST 12" WIDE WITH THE TOP EDGE ALIGNED WITH THE TOP EDGE OF THE ROUGH SILL. EXTEND THIS SILL STRIP AT LEAST 14" BEYOND THE EDGE OF THE ROUGH OPENING FOR WINDOW. 2" BEYOND THE JAMB STRIP. ATTACH FLASHING WITH CORROSION RESISTANT NAILS.
- AFTER SILL STRIP IS IN PLACE, ATTACH JAMB STRIP AT LEAST 12" WIDE WITH INSIDE EDGE OF FLASHING ALIGNED WITH EDGE OF WINDOW OPENING. START JAMB STRIPS 2" BELOW THE SILL STRIP AND EXTEND JAMB STRIPS 12" ABOVE THE LOWER EDGE OF THE HEADER, TOP OF WINDOW OPENING.
- APPLY A CONTINUOUS BEAD OF SEALANT TO THE BACK SURFACE OF THE WINDOW FLANGE. INSTALL WINDOW INTO ROUGH OPENING OVER SILL AND JAMB FLASHING STRIPS PER MANUFACTURER'S REQUIREMENTS. APPLY CONTINUOUS BEAD OF SEALANT TO THE FACE OF THE WINDOW TOP FLANGE. ATTACH THE HEAD FLASHING OVER THE WINDOW FLANGE. THIS IS ANOTHER STRIP 12" WIDE WITH A 2" MINIMUM LAP BEYOND THE JAMB STRIPS.
IN WOOD FRAMED EXTERIOR WALLS WHERE THE EXTERIOR WALL FINISH IS APPLIED OVER BUILDING PAPER OR FELT, USE "MOISTOP" FLASHING OR EQUAL WHENEVER POSSIBLE FOR FLASHING MATERIAL. CAULK BACK OF WINDOW FRAMES BEFORE SETTING. USE WINDOWS THAT ARE WATERTIGHT.
LINE-WIRE, WHEN USE AS BACKING TO SUPPORT BUILDING PAPER BENEATH WIRE LATH FOR STUCCO, SHOULD BE INSTALLED ACCORDING TO INDUSTRY STANDARDS AND PRACTICE. NO ATTACHMENT DEVICE NOR THE WIRE BACKING SHOULD COVER OR PENETRATE FLASHING MATERIAL. PERIPHERAL FLASHING AT ALL EDGES OF WALL OPENING MUST COVER THE WIRE BACKING.

9 Window Installation Detail

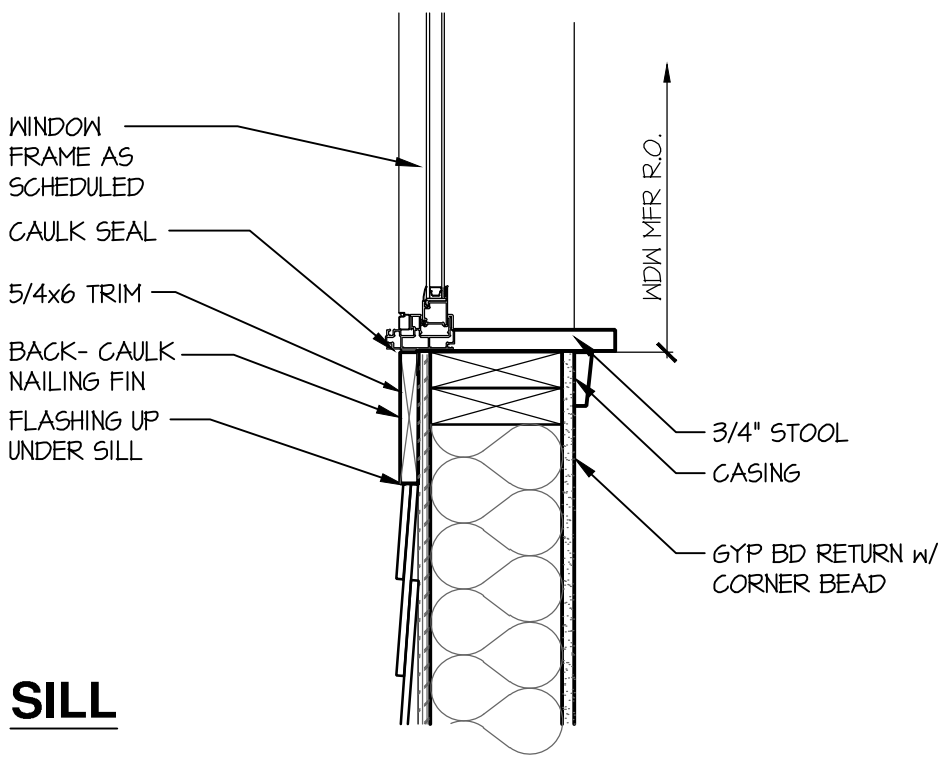
SCALE: N.T.S. WIN 01



HEAD



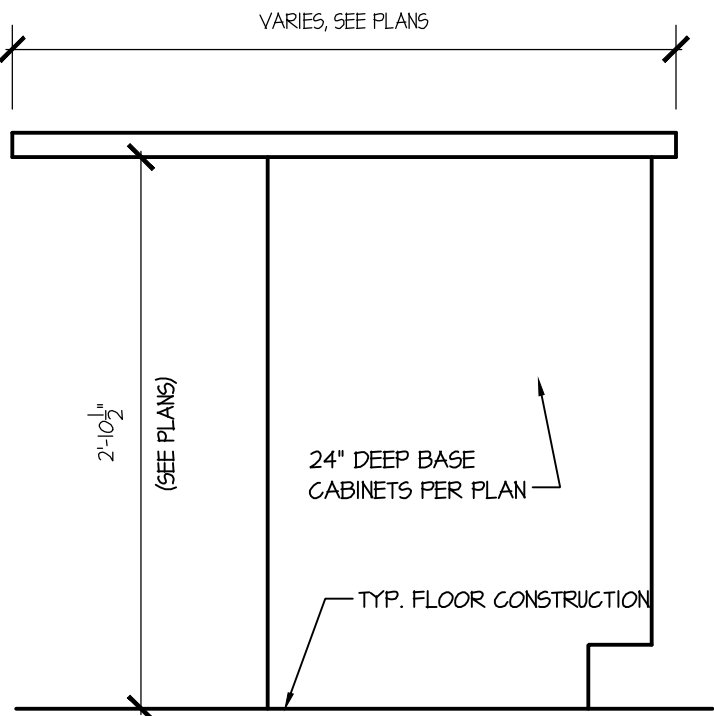
JAMB



SILL

8 Siding Window Detail

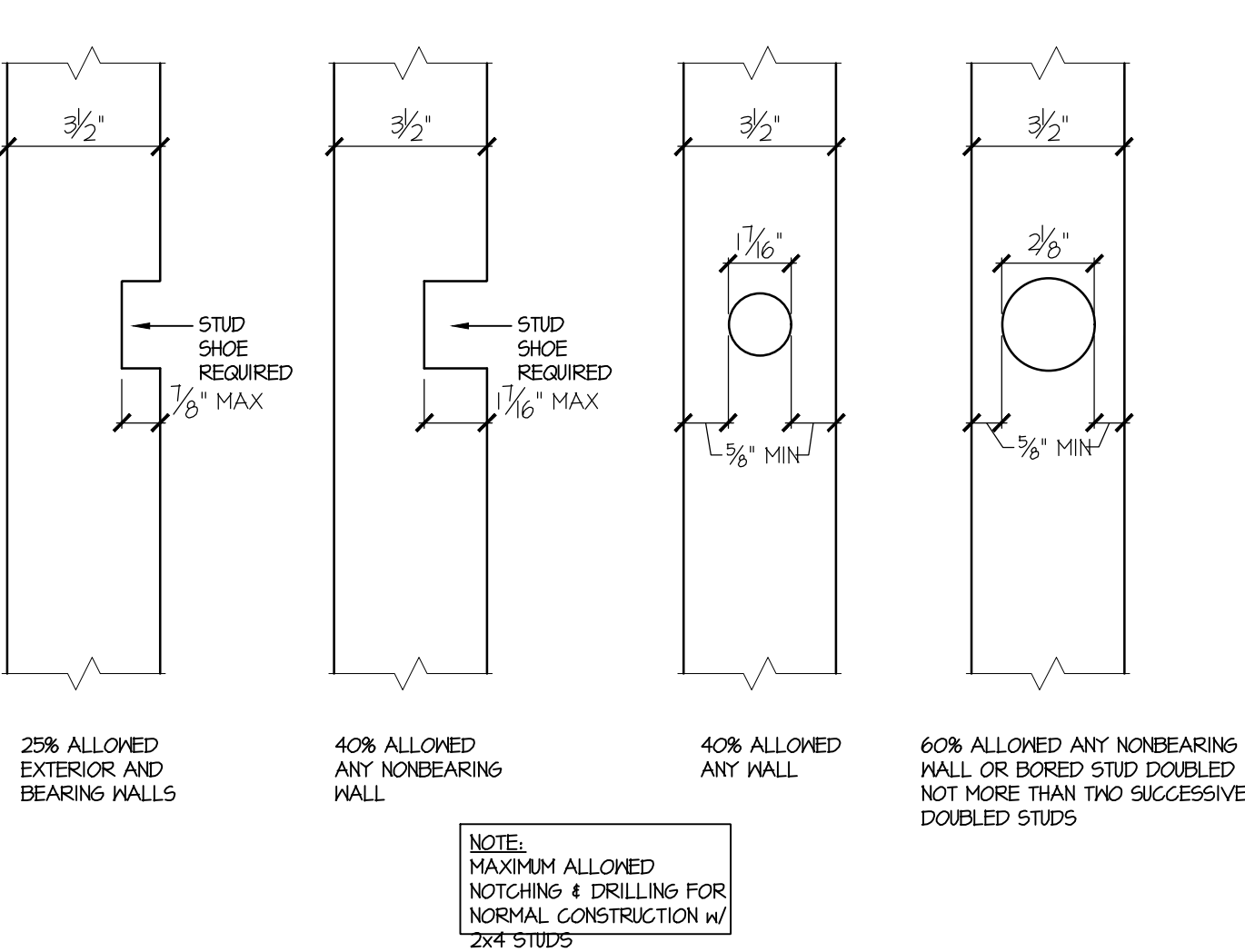
SCALE: 1 1/2"=1'-0" WIN 01



7 Kitchen Counter Detail

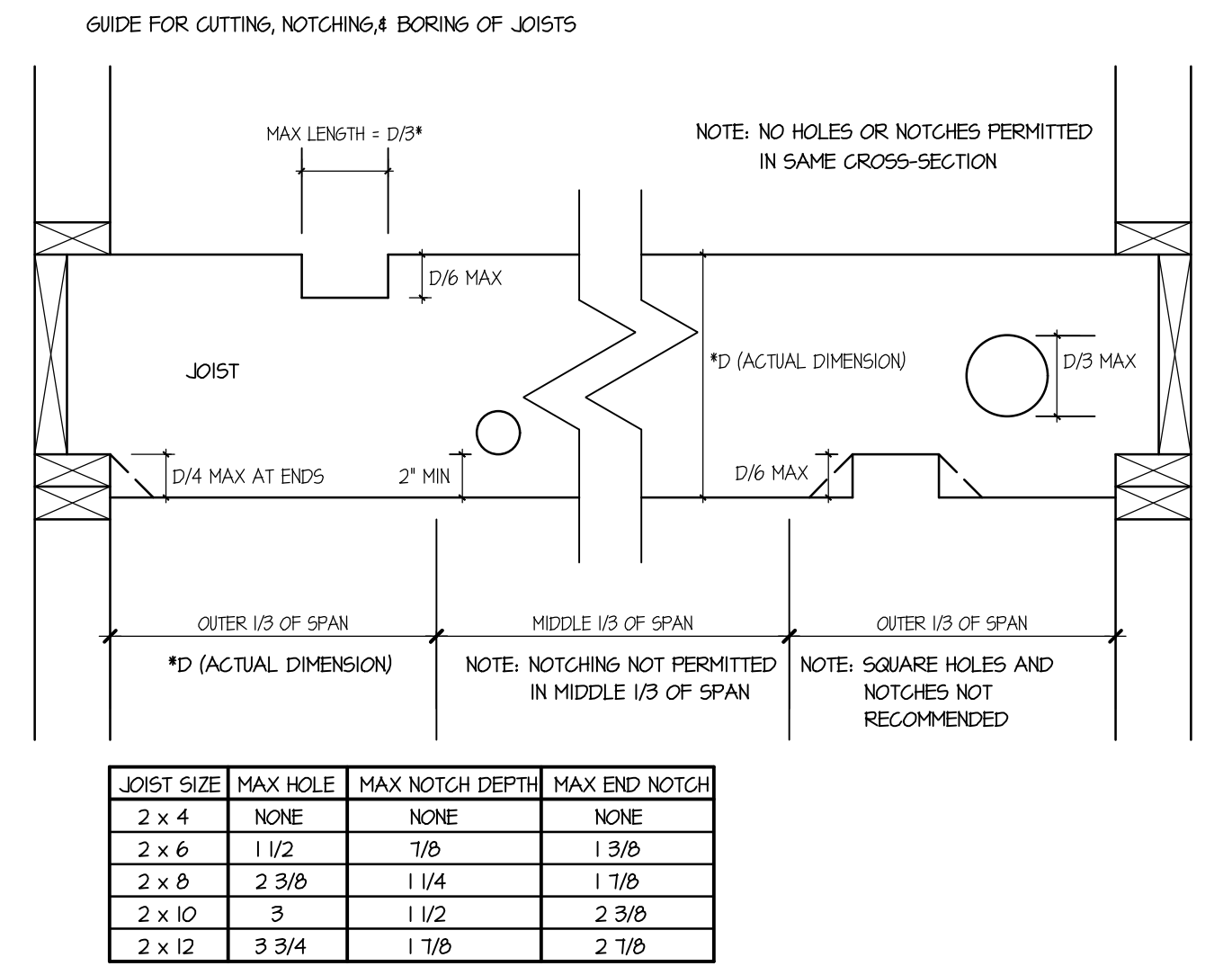
SCALE: 1"=1'-0" DET 18

CUTTING & NOTCHING



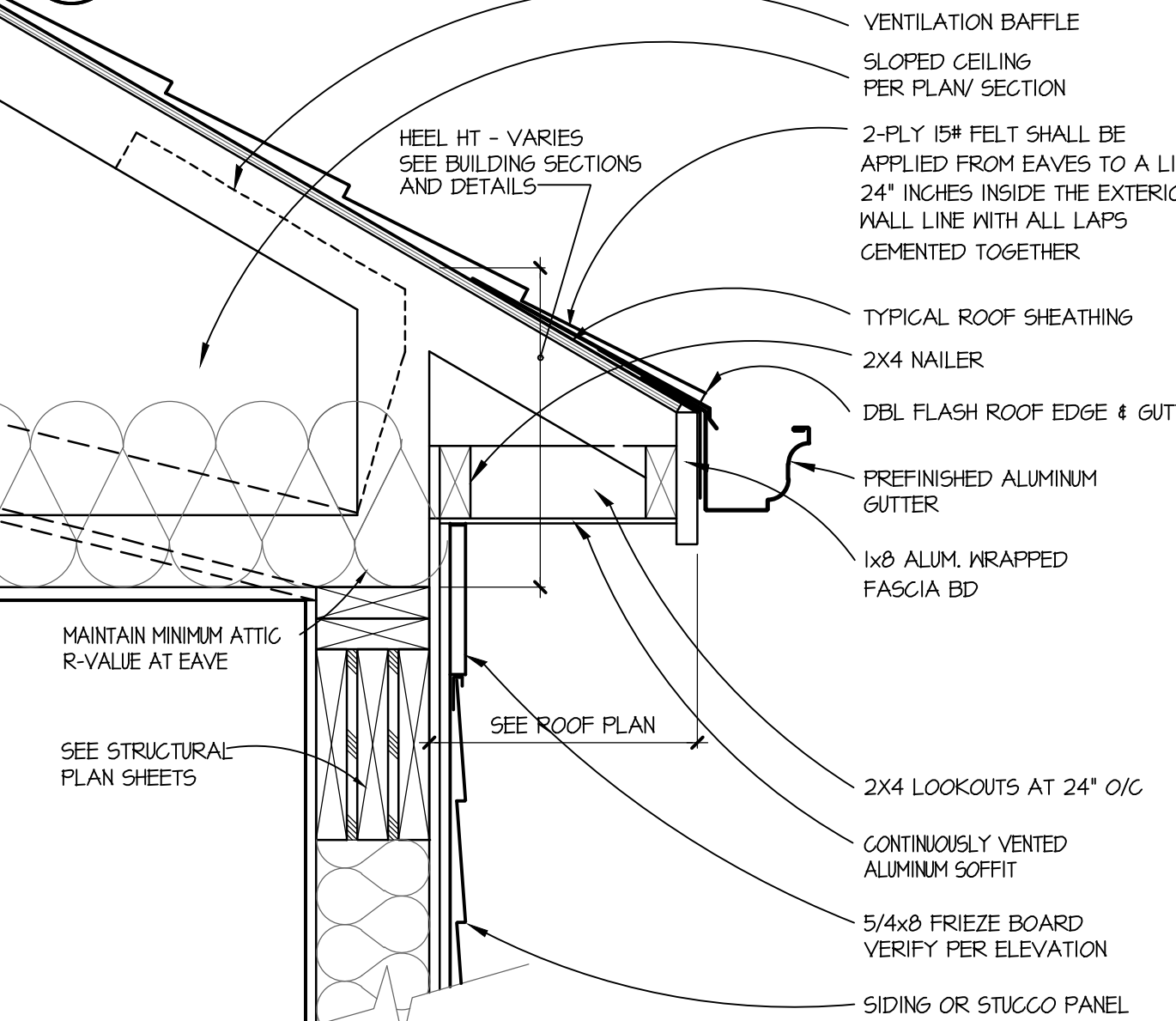
6 Notching & Drilling Wall Detail

SCALE: N.T.S. WAL 03



5 Joist Detail

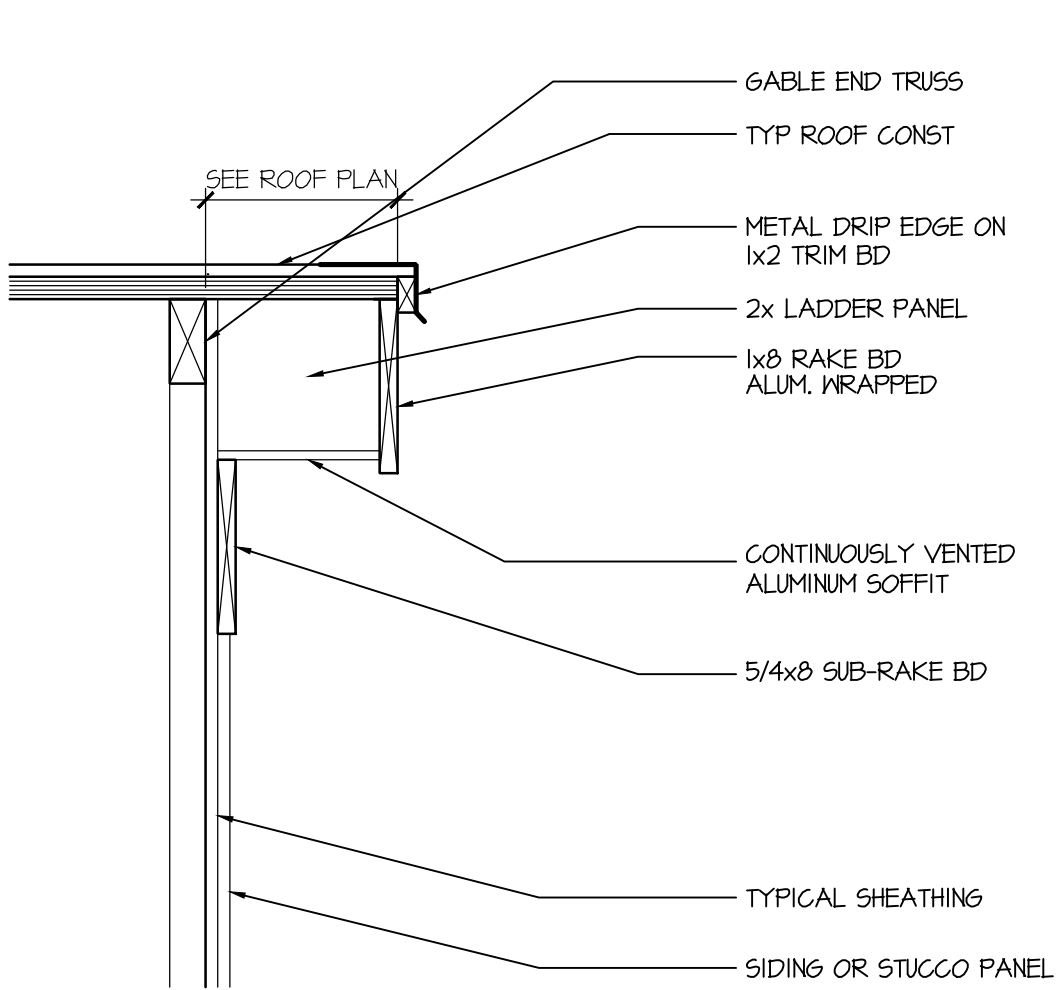
SCALE: 1 1/2"=1'-0" Joist-Detail



4 Siding Eave Detail

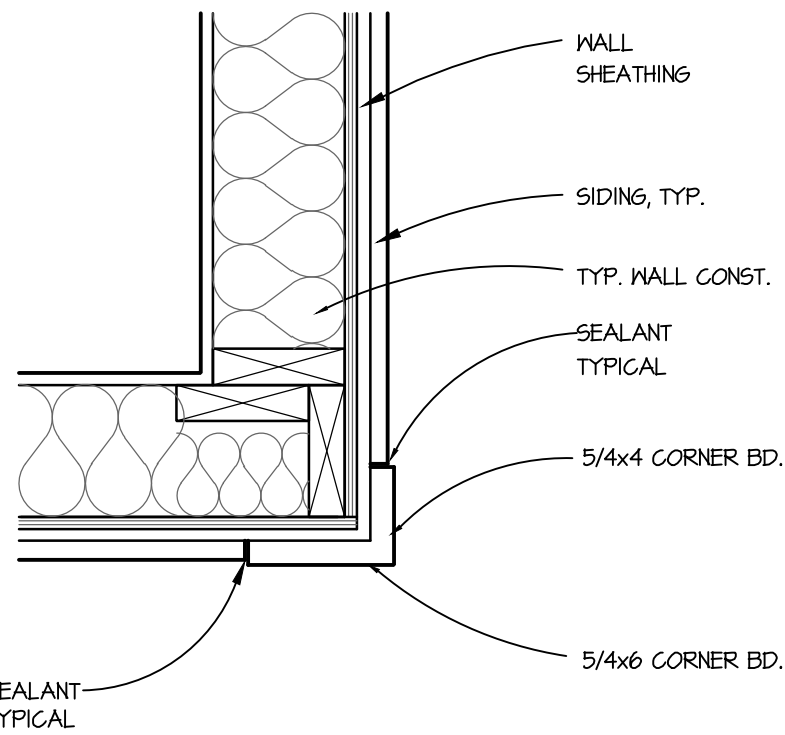
SCALE: 1 1/2"=1'-0" DET 32

BORED HOLES



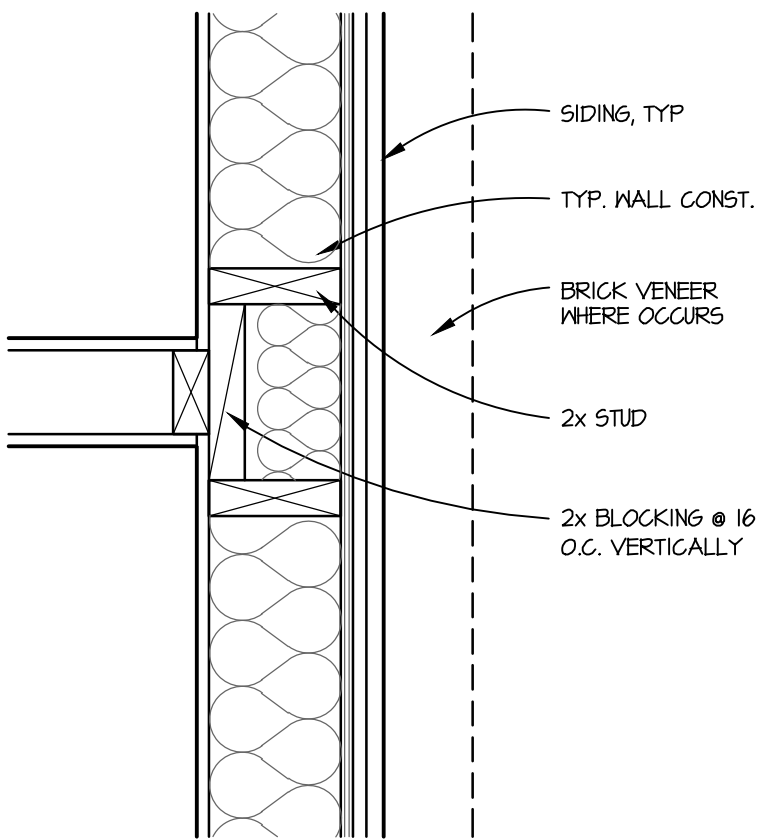
3 Siding Condition Rake Detail

SCALE: 1 1/2"=1'-0"



2 Energy Efficient Exterior Corner Detail

SCALE: 1 1/2"=1'-0" DET 28



1 Energy Efficient Exterior Wall Intersection

SCALE: 1 1/2"=1'-0" DET 29



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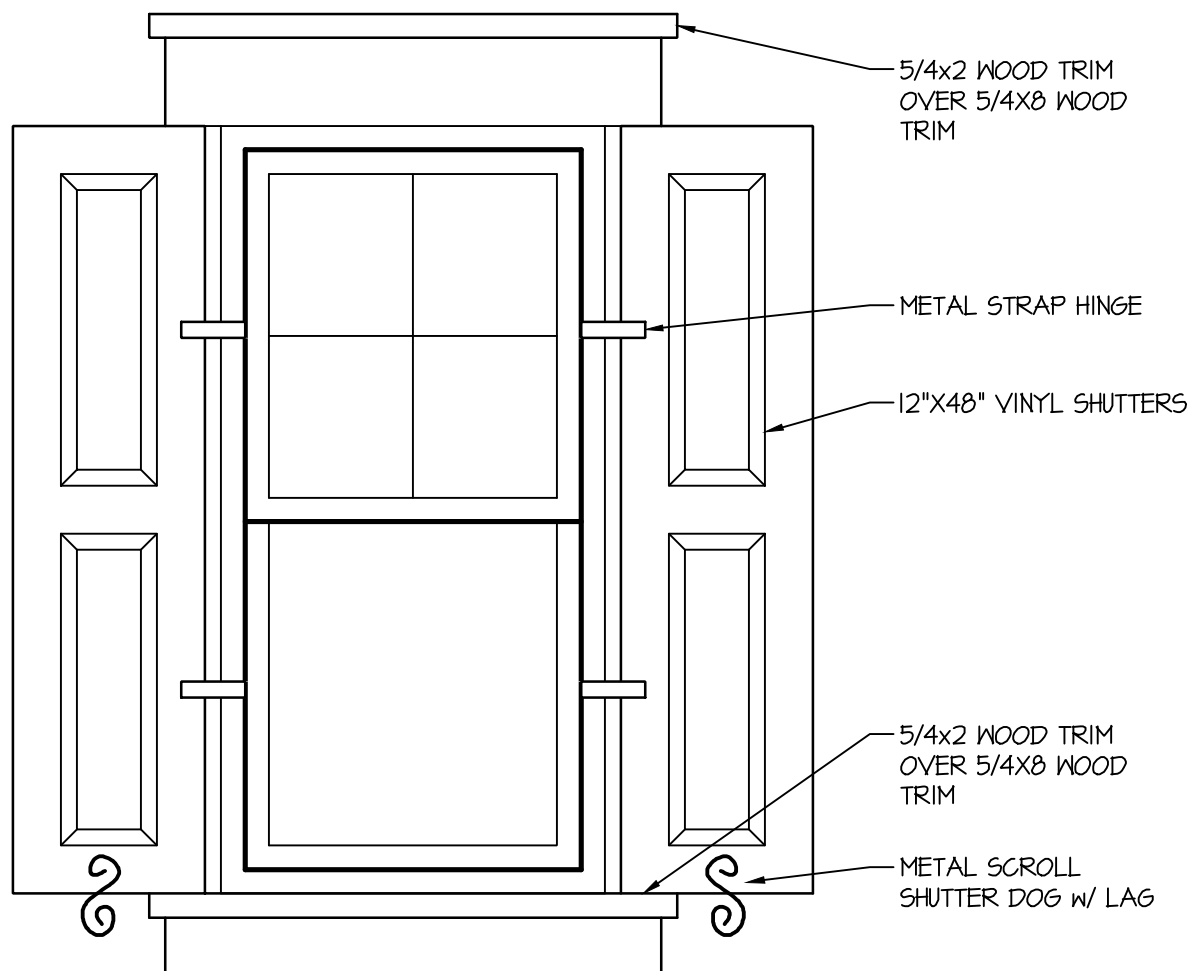
LS HOMES
PLAN 2802
LOT 1 EARLE STREET
GREENVILLE, SOUTH CAROLINA

PROJECT:	19117
DRAWN BY:	SP, JWC
DATE:	11-15-2019
DETAILS	

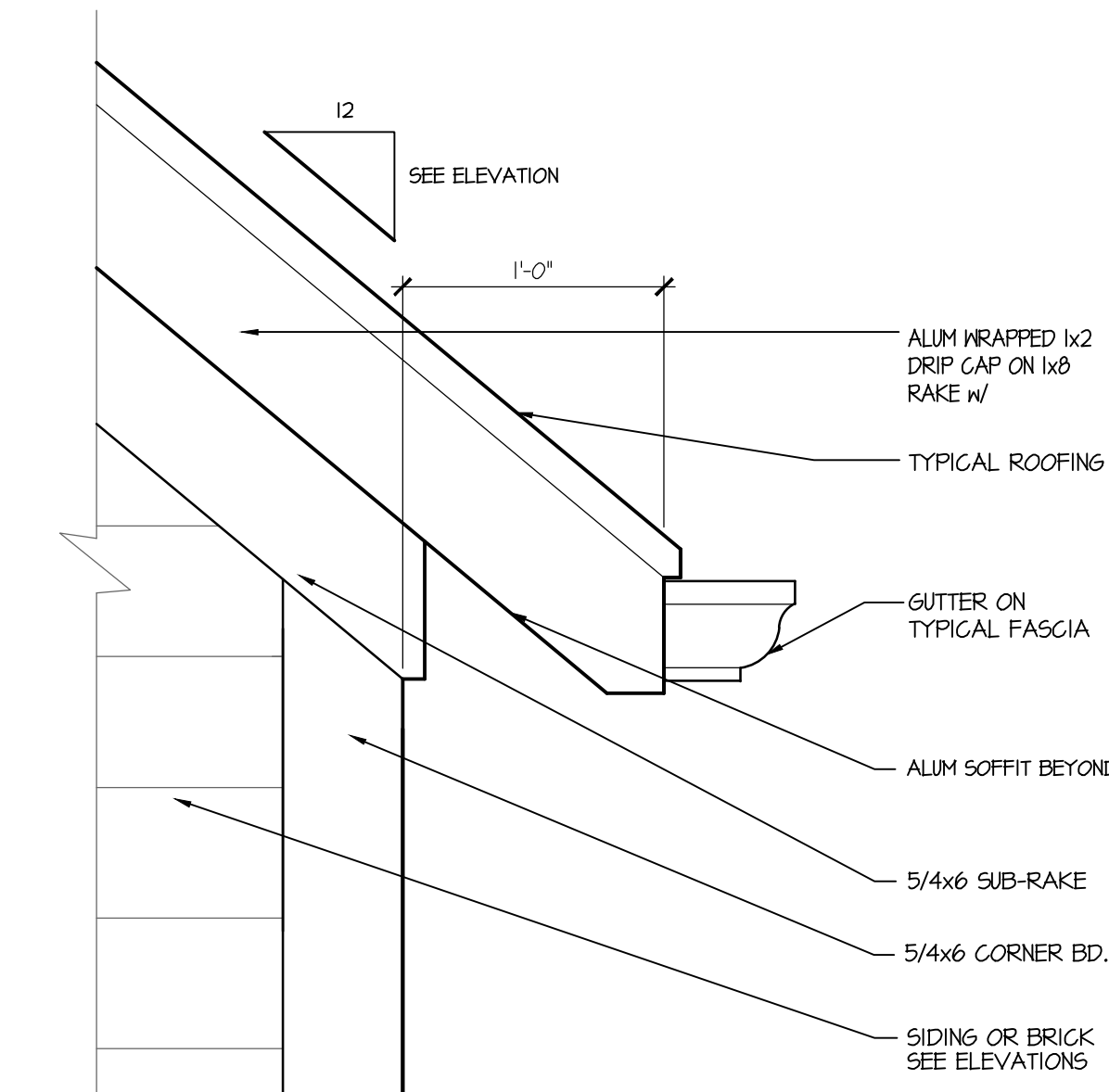
PLAN 2802

AD.1

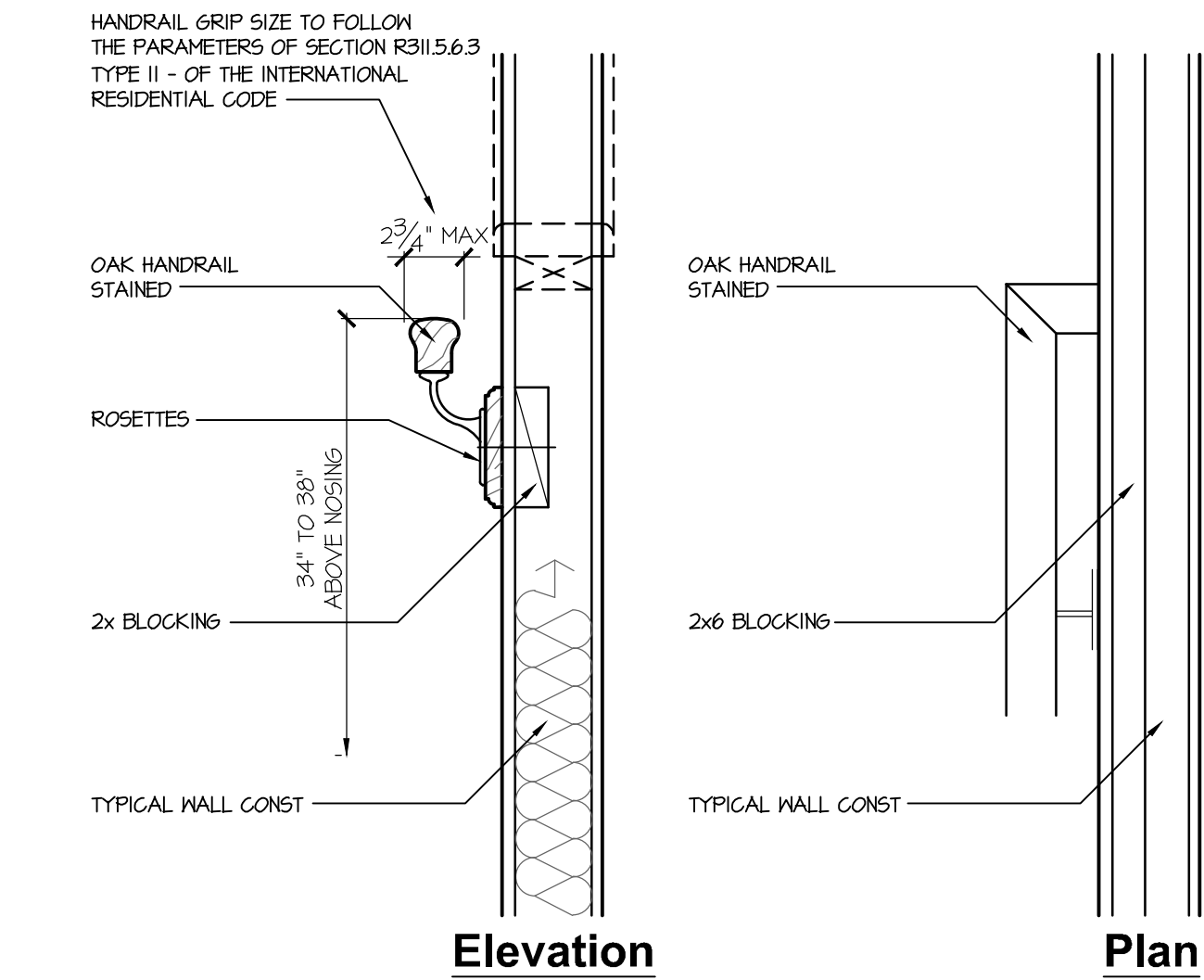
02-11-20 - PERMIT SET



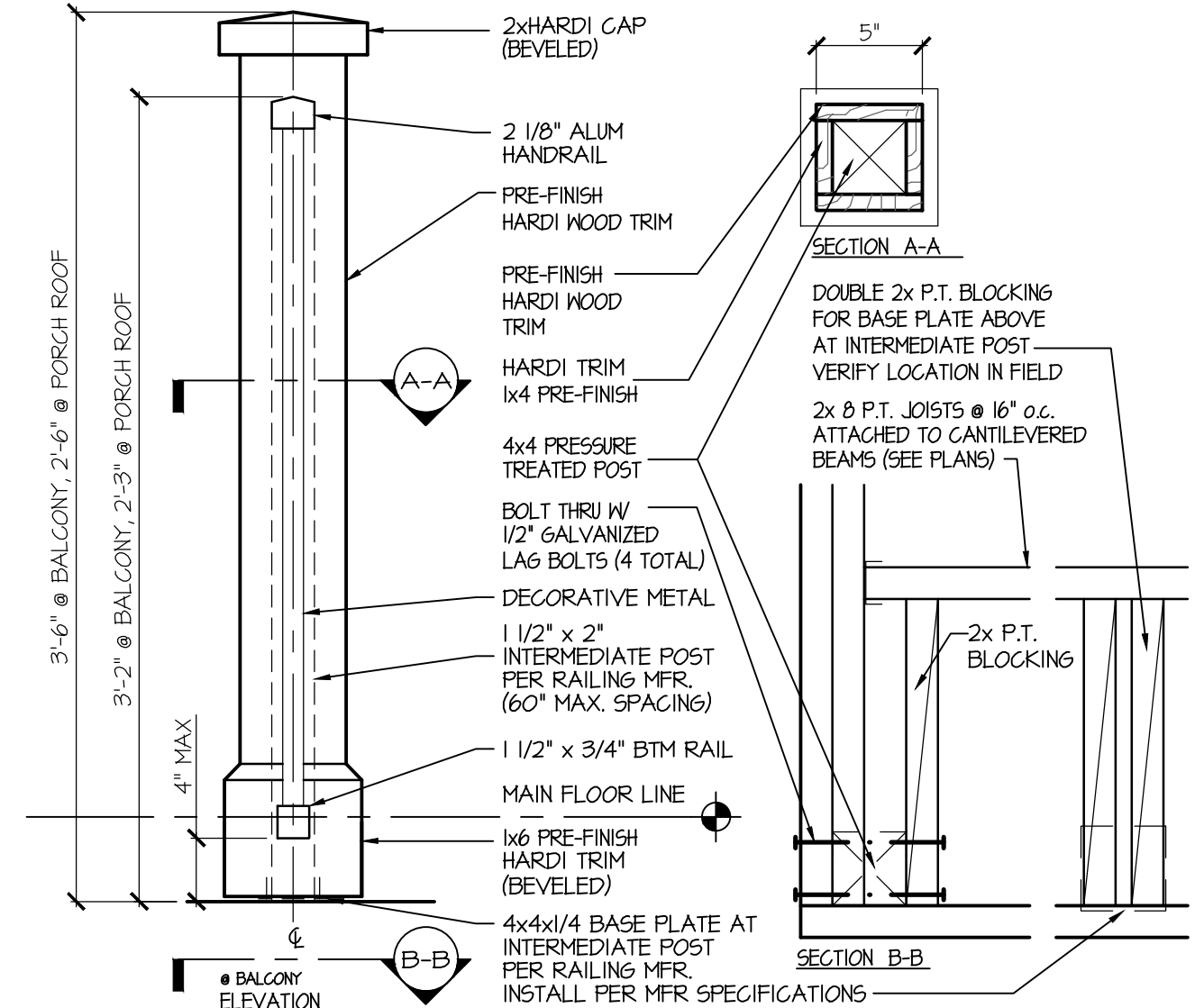
12 Window Shutters
SCALE: 1" = 1'-0"



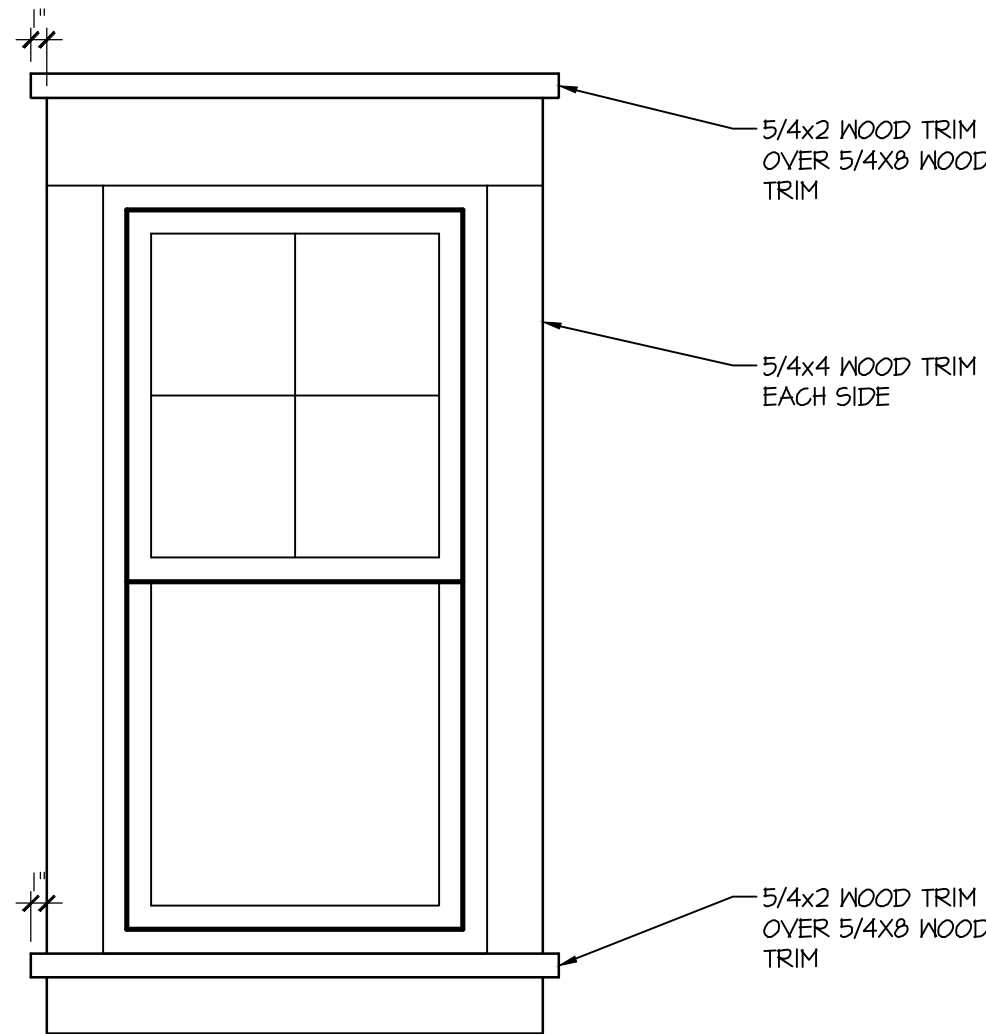
9 Eave Detail
SCALE: 1 1/2"=1'-0"



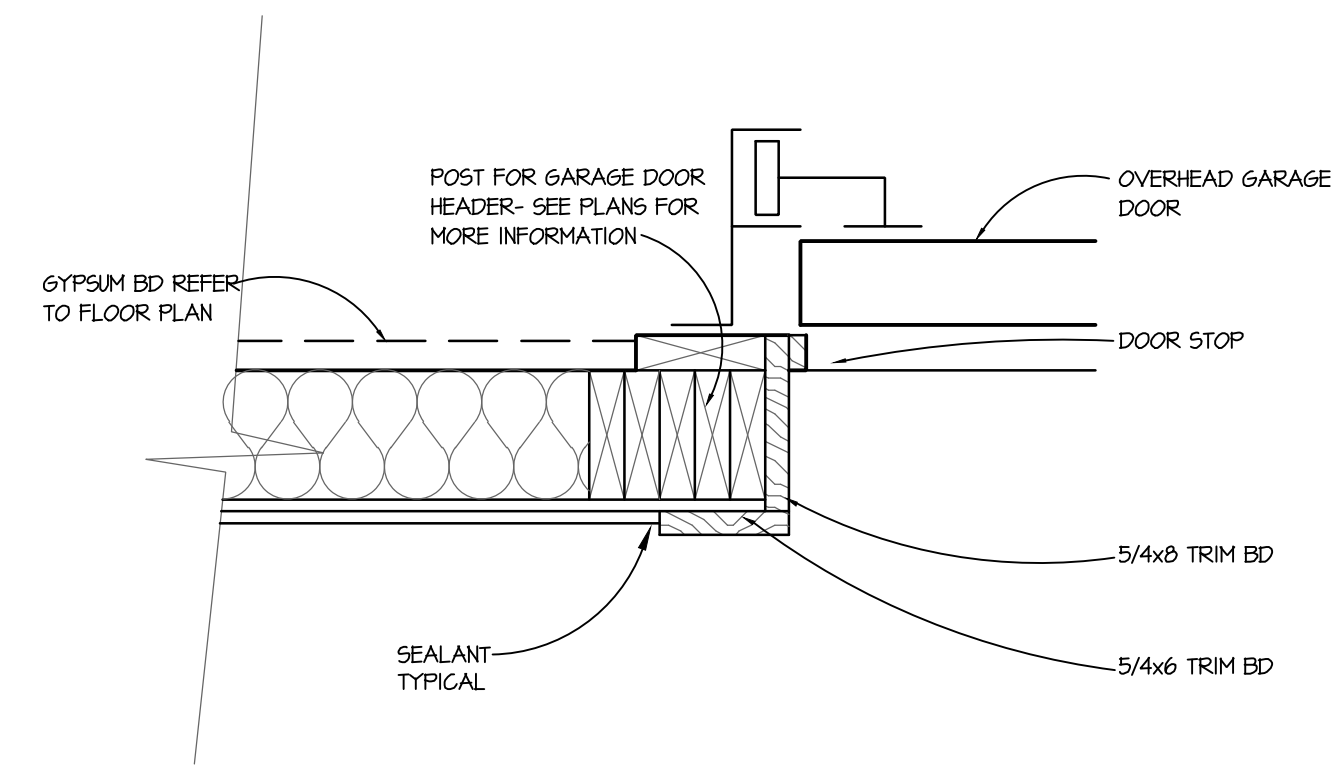
6 Handrail Stair Detail
SCALE: 1 1/2"=1'-0"



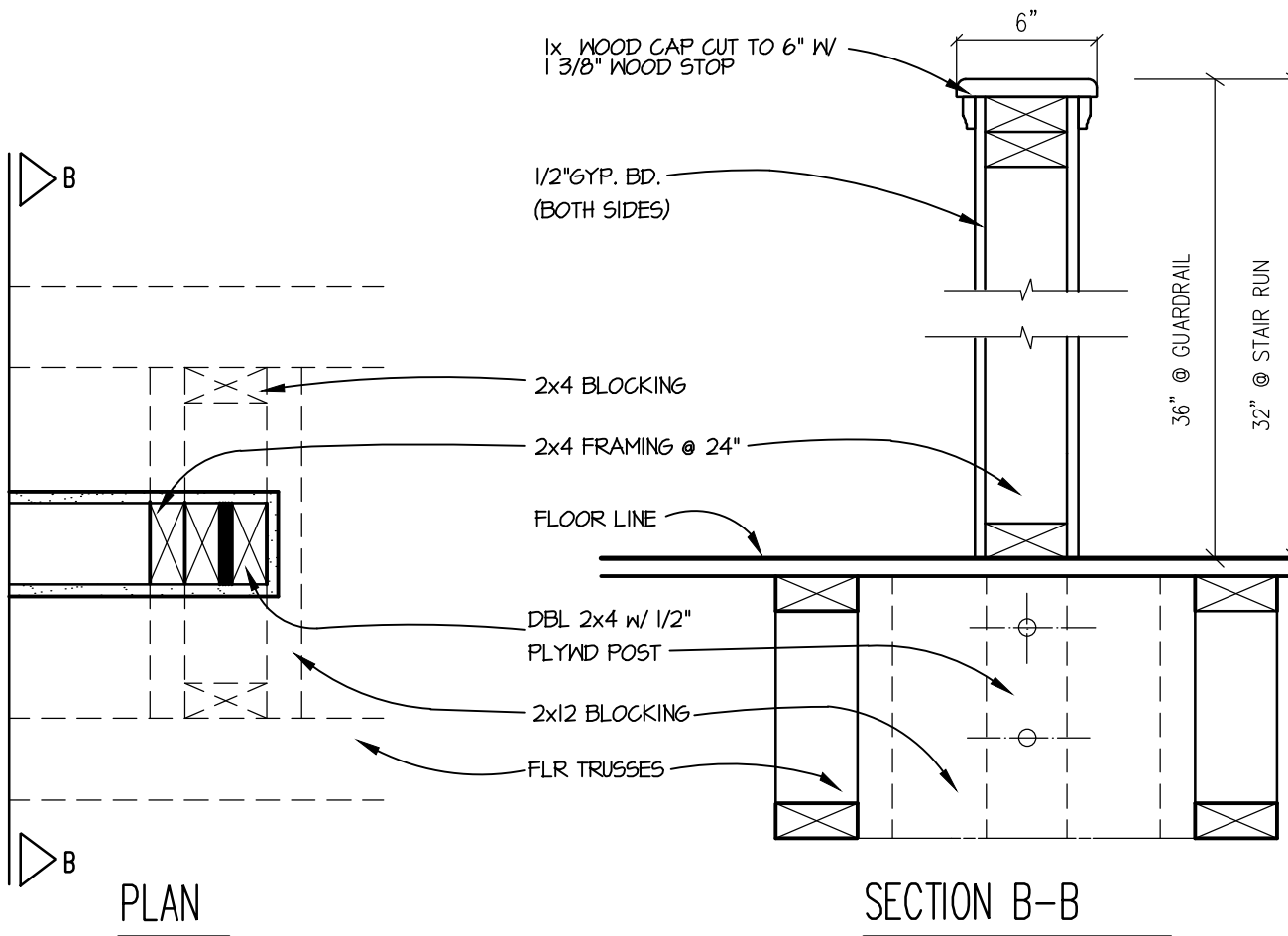
3 Newel Post Detail
SCALE: 1 1/2"=1'-0"



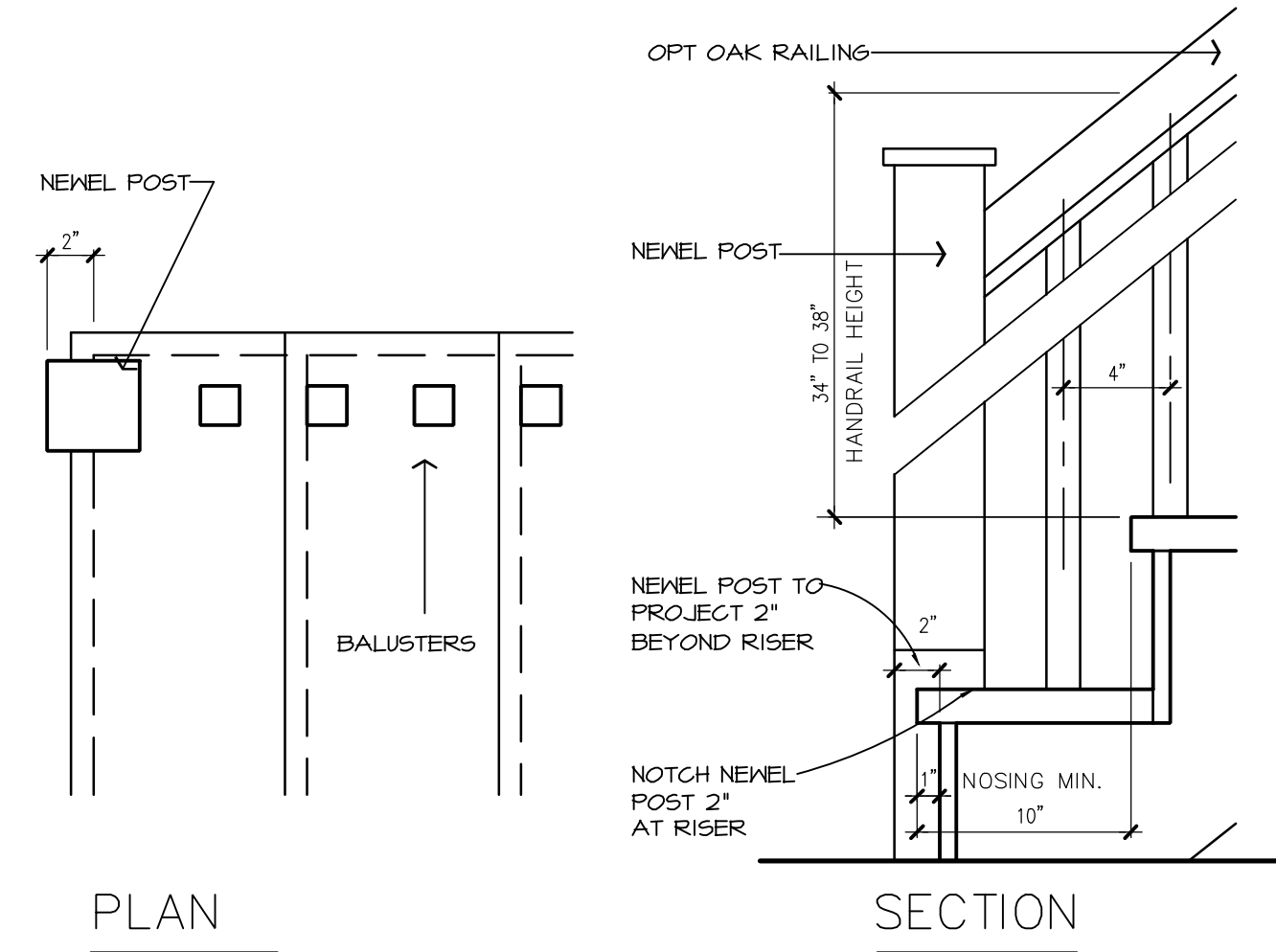
11 Window Trim Surround
SCALE: 1" = 1'-0"



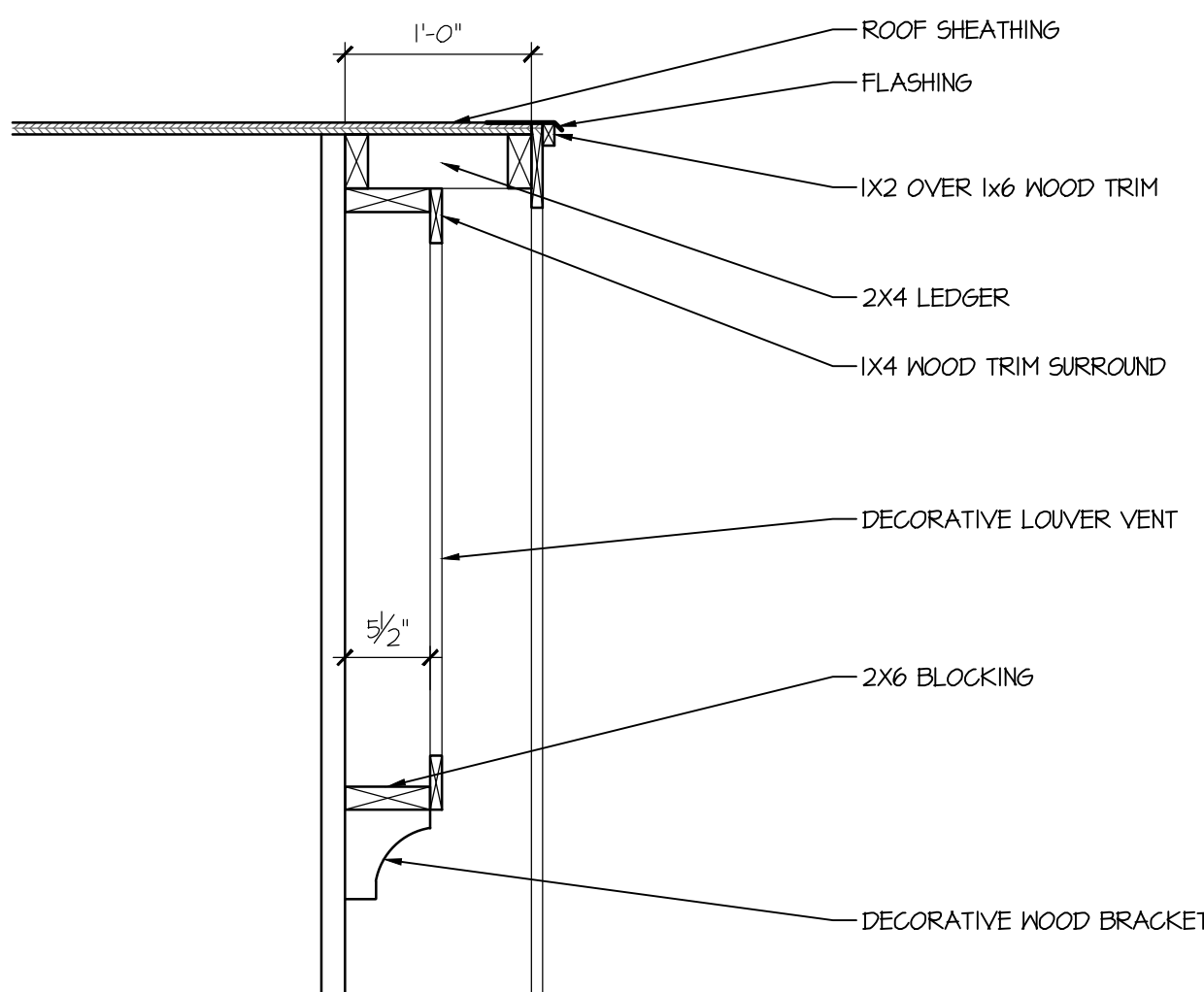
8 Garage OHD Door Jamb Detail
SCALE: 1 1/2"=1'-0"



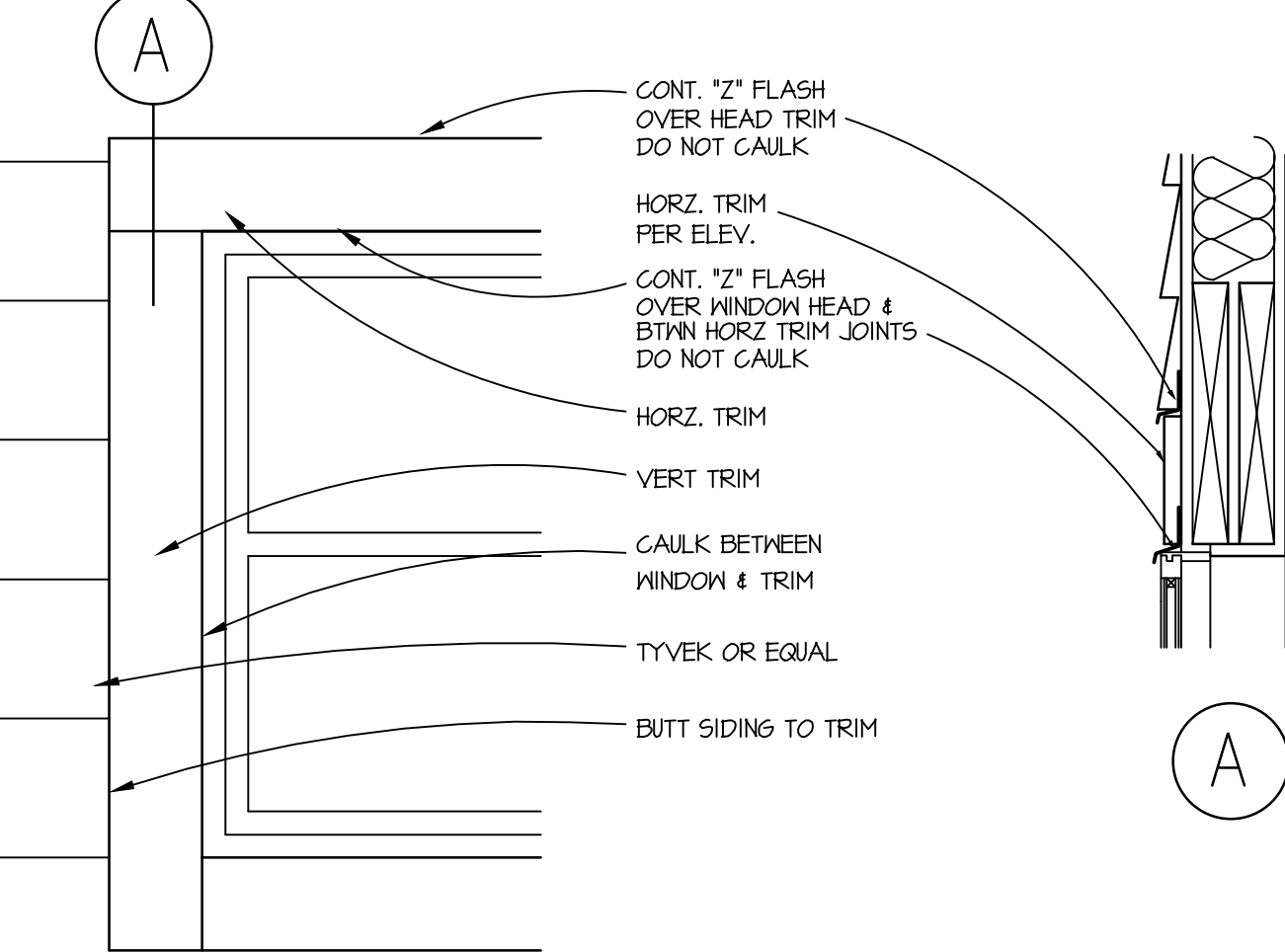
5 Half Wall & Rail Framing Detail
SCALE: 1 1/2"=1'-0"



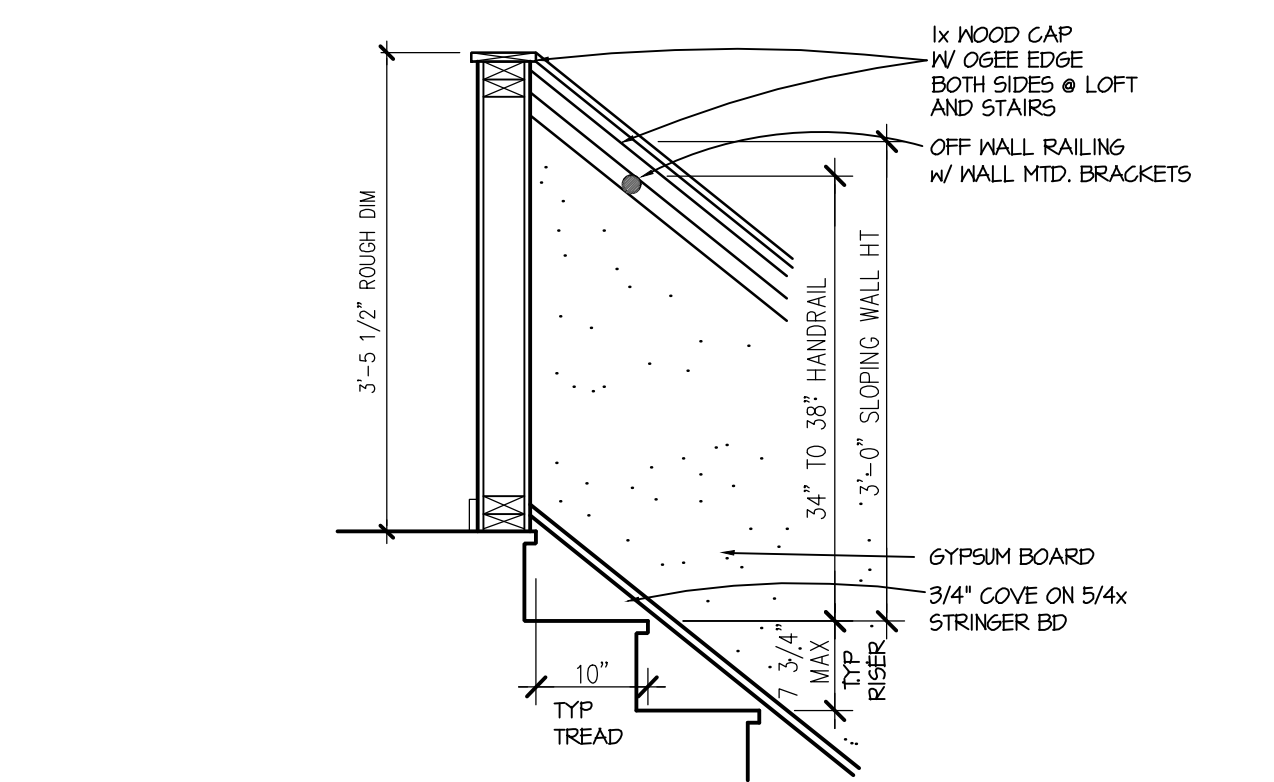
2 Stair Detail
SCALE: 1 1/2"=1'-0"



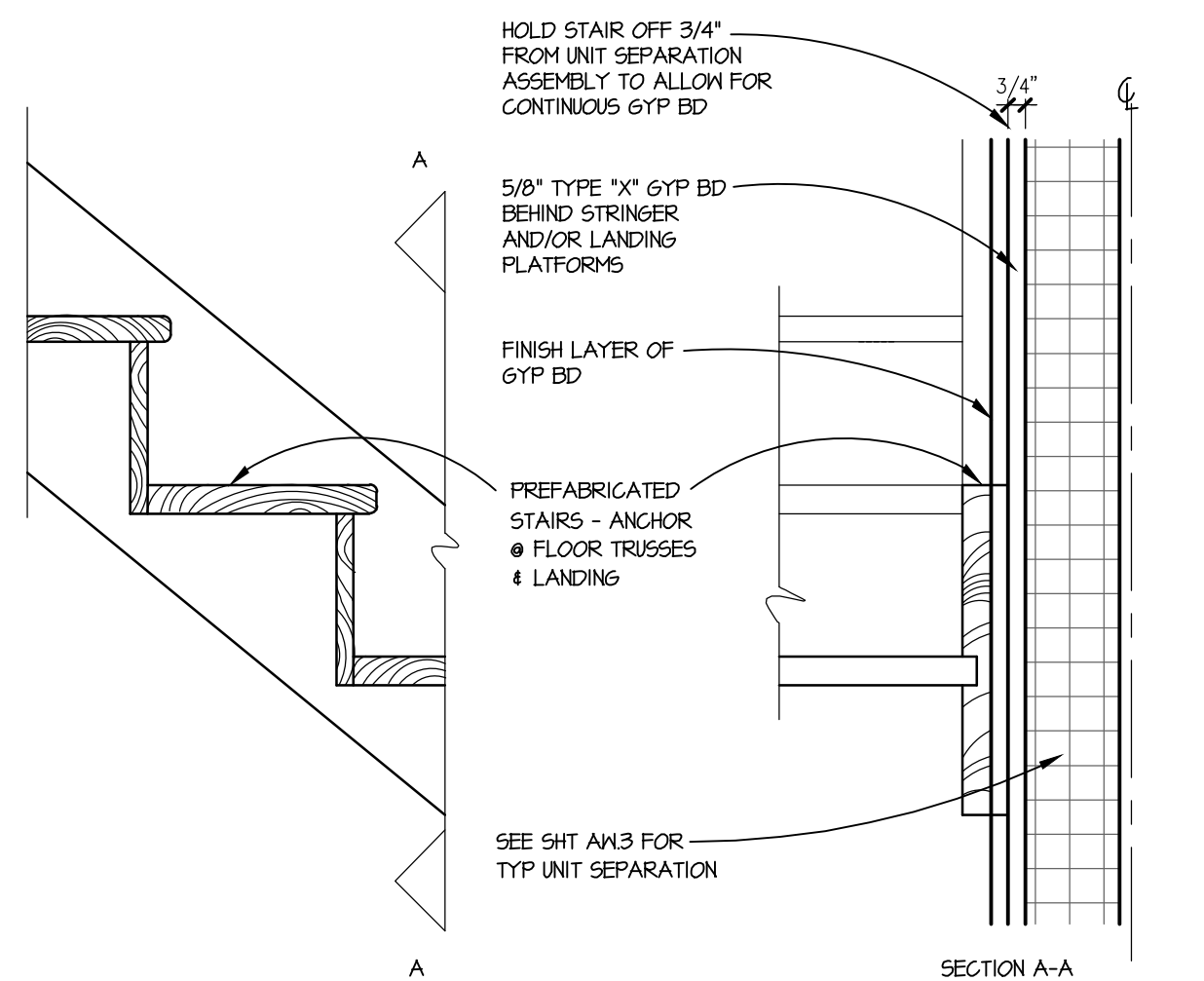
10 Decorative Gable Louver Vent
SCALE: 1" = 1'-0"



7 Window Flashing Detail
SCALE: 1 1/2"=1'-0"



4 Half Wall Stair Detail
SCALE: 3/4"=1'-0"



1 At Unit Separation Stair Detail
SCALE: 1 1/2"=1'-0"



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DETAILS
PLAN 2802
AD.2

02-11-20 - PERMIT SET



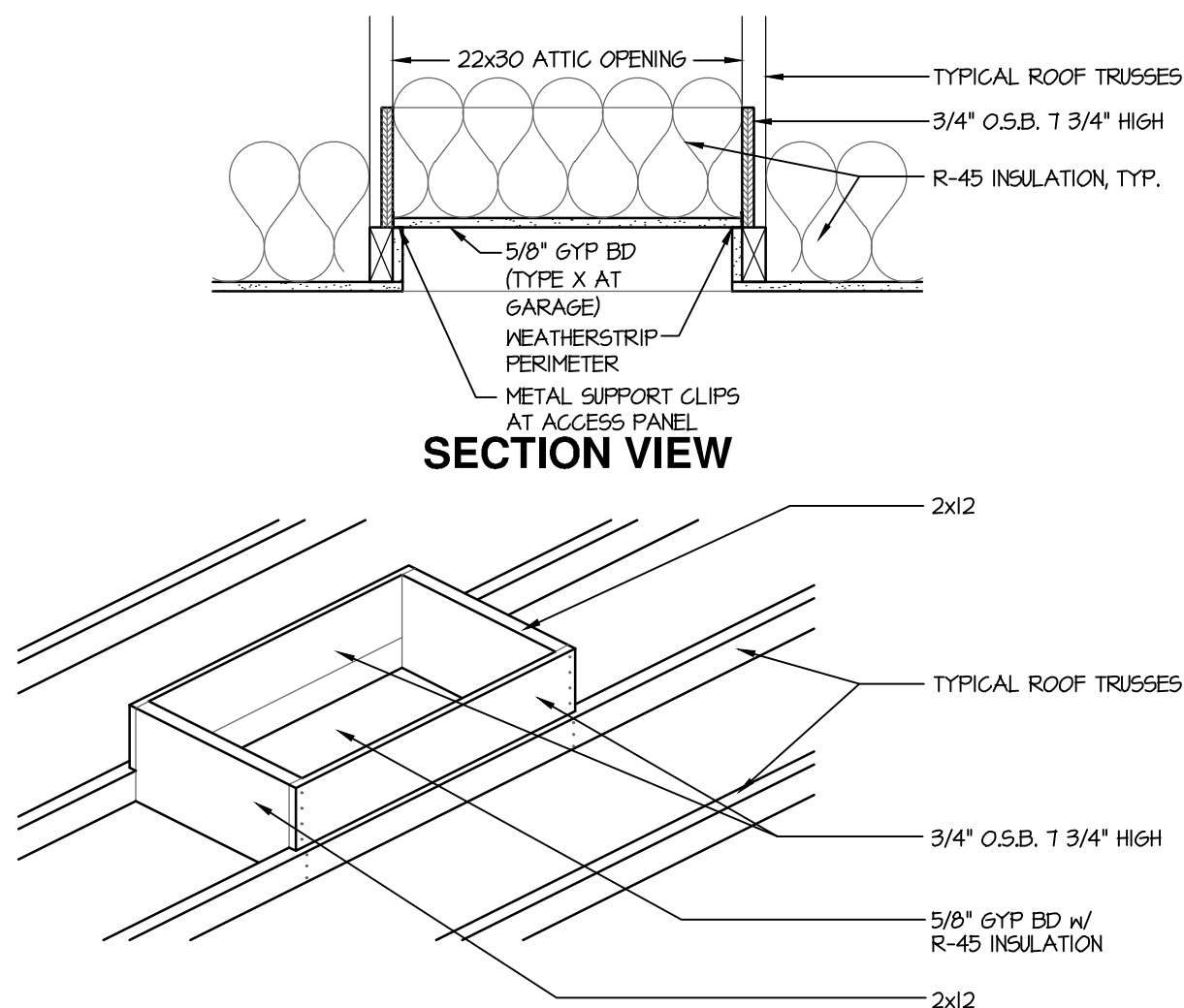
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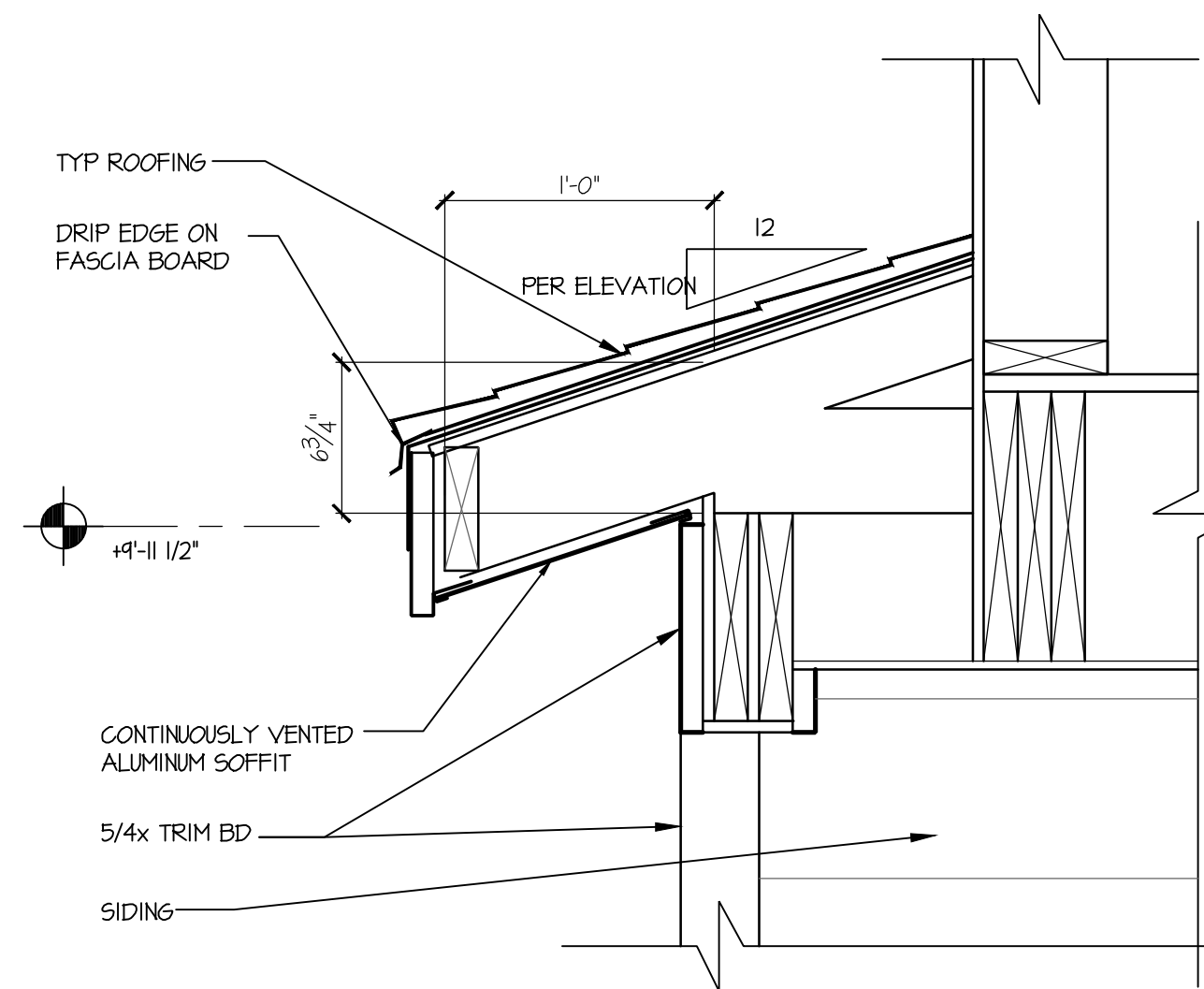
PROJECT:	19117
DRAWN BY:	SP, JWC
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DETAILS
PLAN 2802
AD.3



3 Attic Access Detail

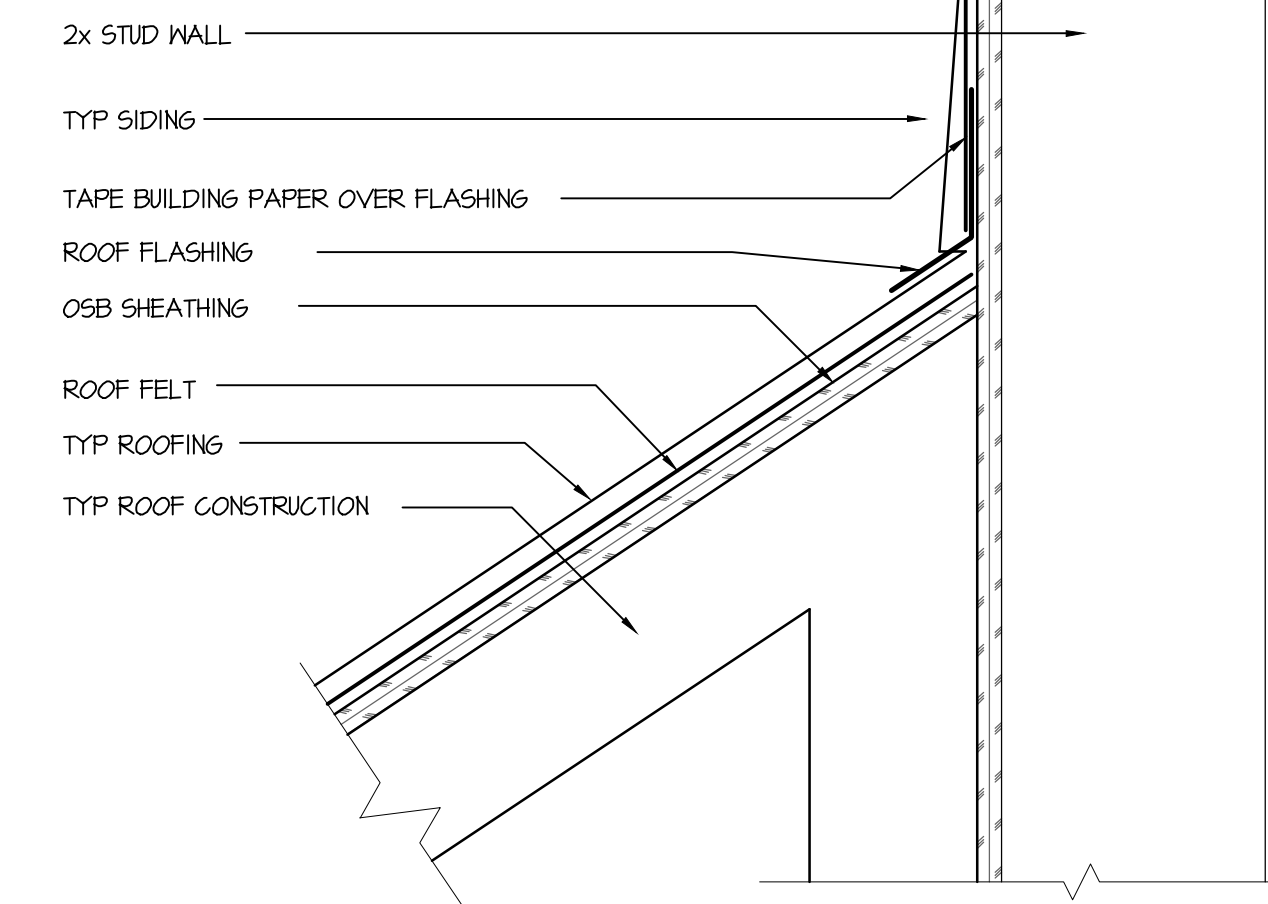
SCALE: 1"=1'-0"



2 PORCH EAVE DETAIL

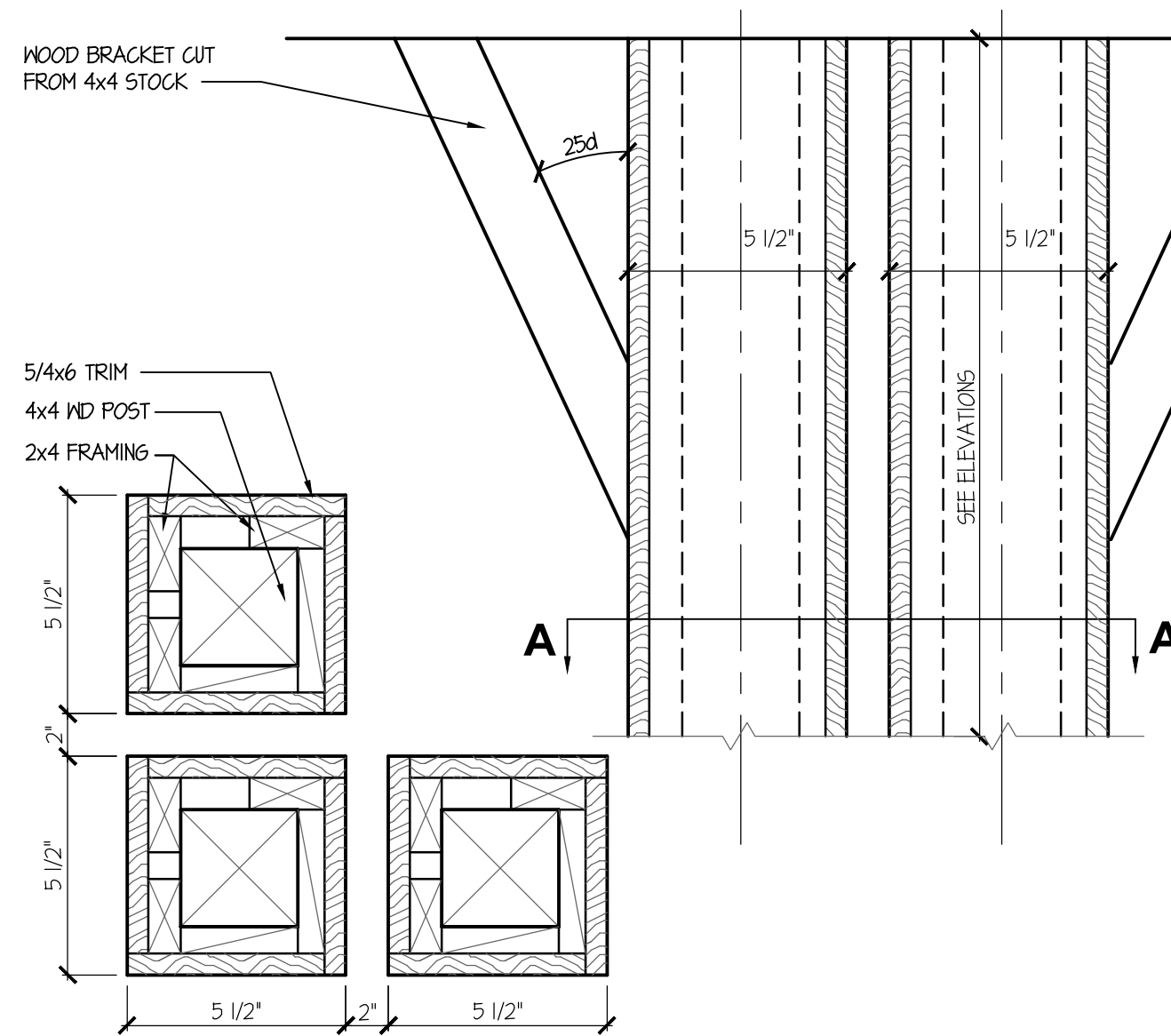
SCALE: 1 1/2"=1'-0"

NOTE:
PROVIDE & INSTALL ICE & WATER
SHIELD AT ALL EAVES, VALLEYS & 18"
UP ALL VERTICAL FACES.



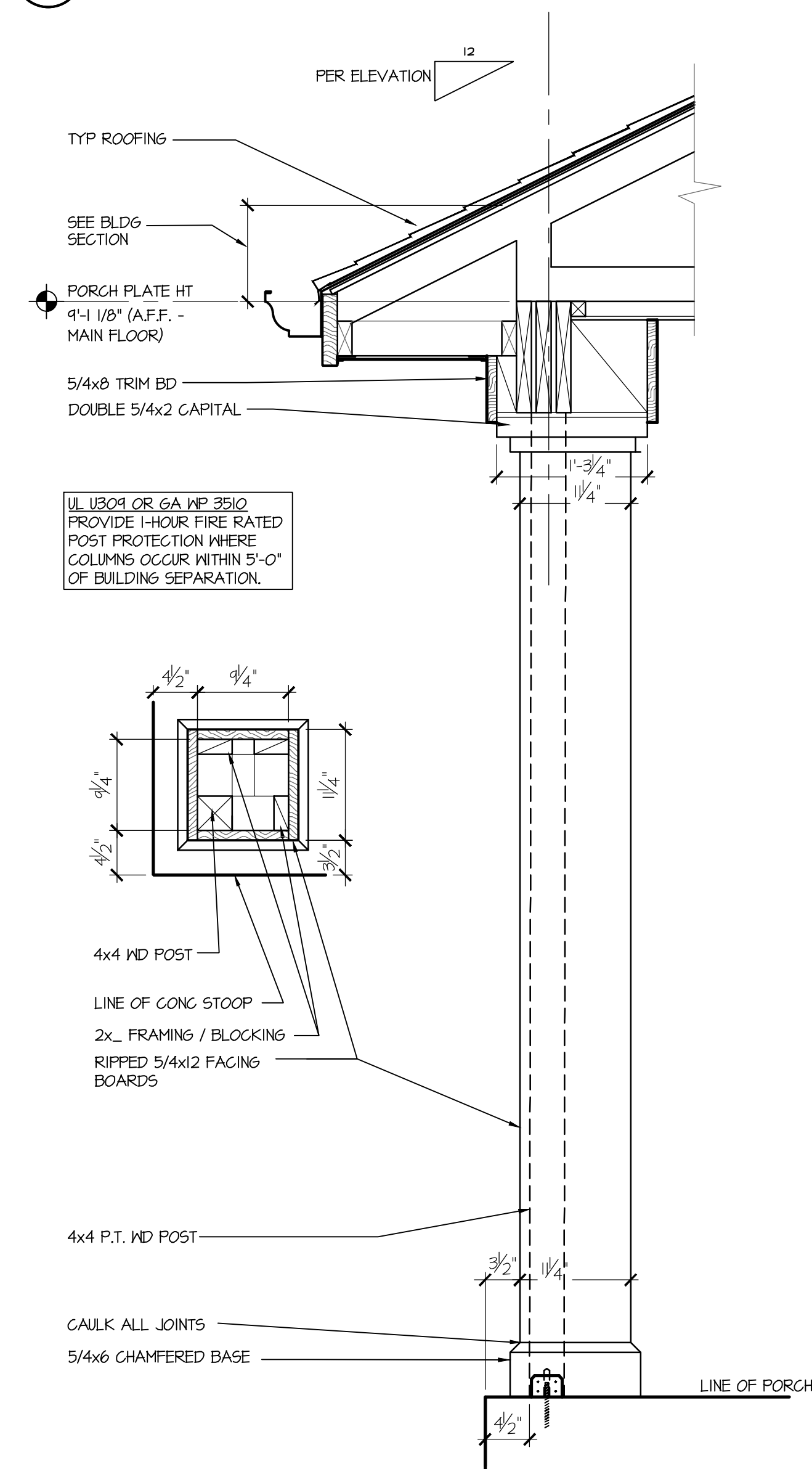
1 FLASHING w/ SIDING EXTERIOR DETAIL

SCALE: 3"=1'-0"



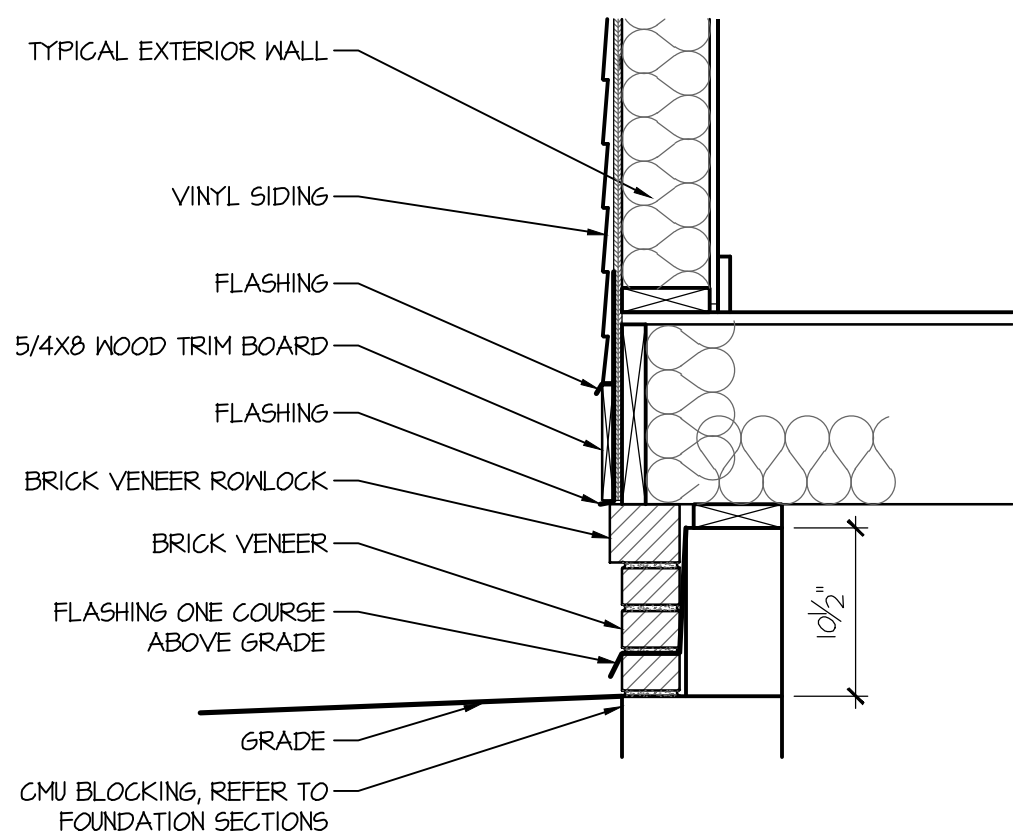
5 A-A BRACKET COLUMN DETAIL

SCALE: 1 1/2"=1'-0"



4 COLUMN DETAIL

SCALE: 1"=1'-0"



6 Brick Wainscott Sill

SCALE: 1" = 1'-0"

COLOR MATERIAL SELECTIONS

EARL STREET #1

VENDOR LIST/EXTERIOR SELECTIONS - EARLE STREET #1 - 1/31/20

<u>ITEM</u>	<u>MANUFACTURER</u>	<u>FINISHED COLOR</u>	<u>NOTES</u>
BRICK FOUNDATION	MERIDIAN BRICK	SAVANNAH MOSS - MODULAR	FOUNDATION BRICK
HARDI BOARD/CONCRETE SIDING - COLOR	JAMES HARDI	COLOR PLUS - LIGHT MIST - BODY COLOR PLUS - GRAY SLATE - UPPER GABLE COLOR PLUS - ARCTIC WHITE - FACIA/BOXING	MAIN BODY ACCENT TRIM(S)
ROOFING - SHINGLES	OWENS CORNING- OAKRIDGE SHINGLE	ONYX BLACK - 35 YR. ARCHITECTURAL	
PORCH POSTS AND OTHER PAINTABLE EXTERIOR TRIM	SHERWIN WILLIAMS - JAMES HARDI	COLOR PLUS - ARCTIC WHITE	WILL MATCH HARDI COLOR
PORCH RAILING	WYCLIFFE - CUSTOM POWDER COAT WROUGH IRON	BLACK	
WINDOWS	WINDSOR - PINNACLE CLAD	BLACK - SDL GRIDS	METAL CLAD/WOOD INTERIOR - LOW E
PORCH AND DRIVEWAY SURFACES	CONCRETE	LIGHT GREY	BRUSHED FINISH W/EXPANSION JOINTS



MERIDIAN™
BRICK

www.meridianbrick.com

SAVANNAH MOSS Modular
Columbia Collection

Surprisingly Affordable. This brick is _____ per M. That's only _____ per Sq.Ft.*

*This brick conforms to applicable ASTM specifications and wall construction may vary based on ASTM allowances, construction practices and specific applications.



Oakridge Shingles



Oakridge® Shingles

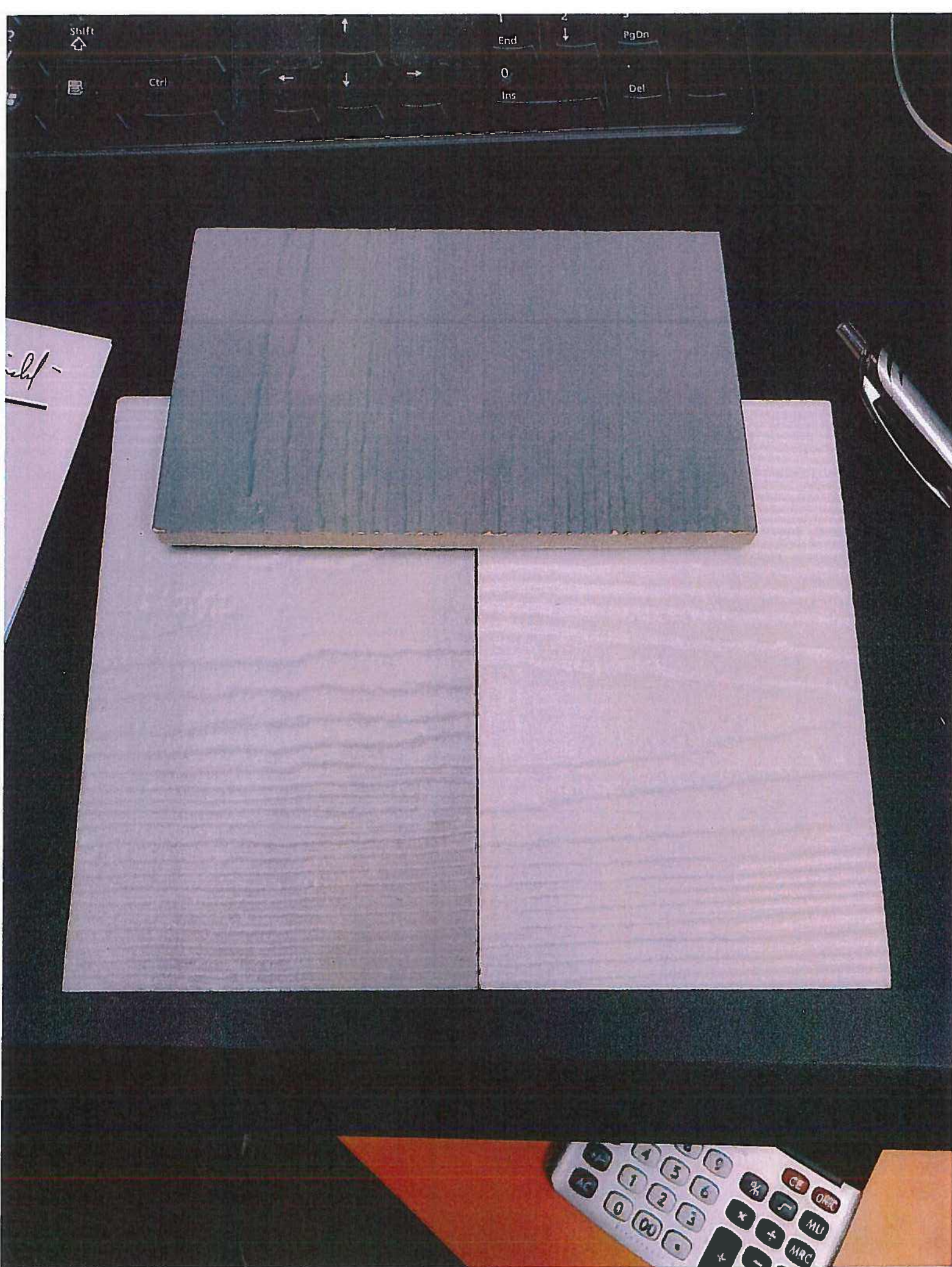


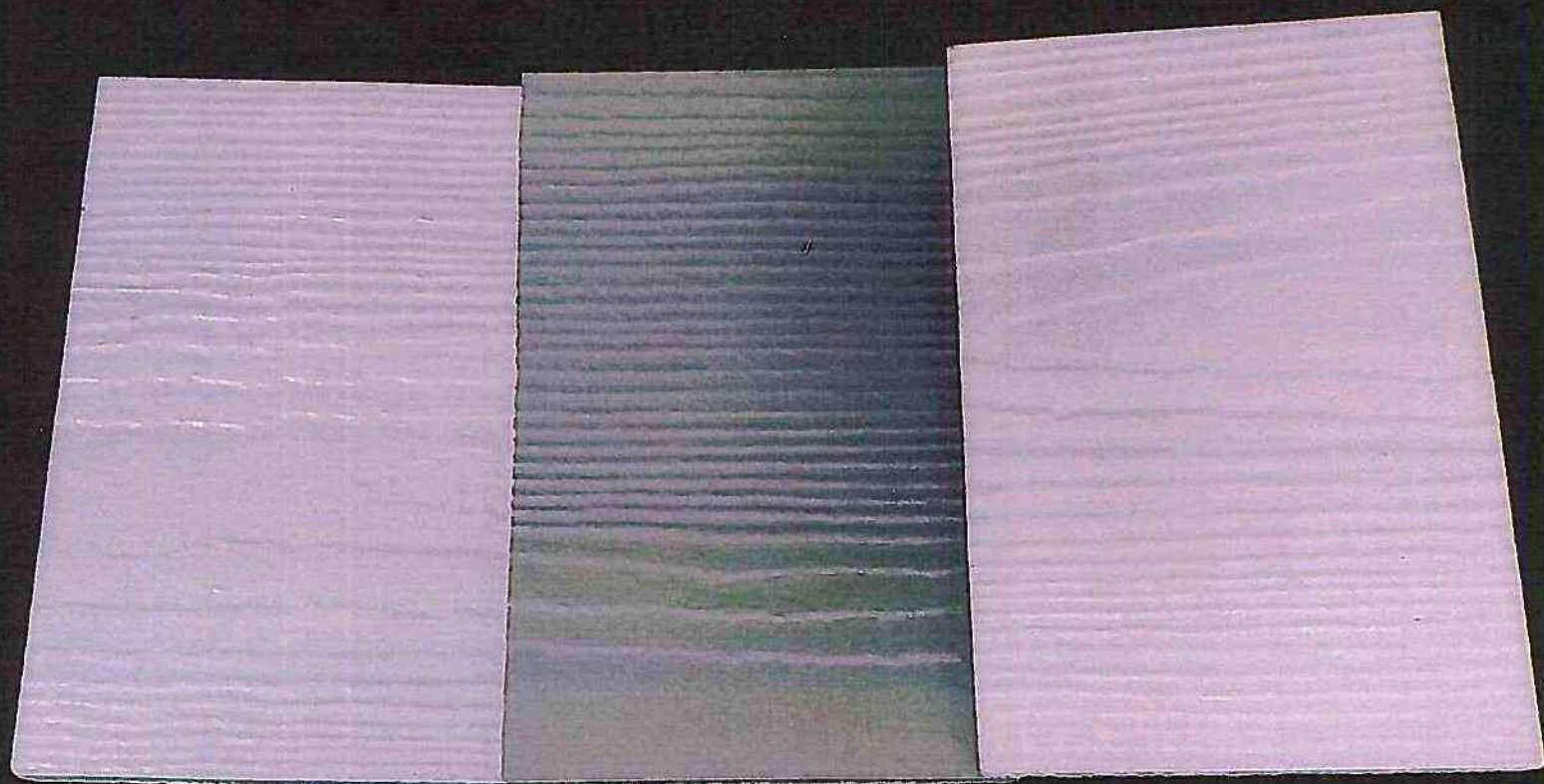
2018
WOMEN'S CHOICE AWARD®
AMERICA'S MOST RECOMMENDED
ROOFING PRODUCTS



Featured Color:
Onyx Black

Pub. No. 10070068







HardiePlank® **F110** Lap Siding

Select CedarMill® with ColorPlus® Technology

LIGHT MIST

.....

- Engineered for Climate®
- Noncombustible
- Superior finish durability and fade resistance
- Long-lasting beauty
- Use the full ColorPlus palette to create hundreds of color combinations

JamesHardie.com

We build character.



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HardiePlank® **F110** Lap Siding

Select CedarMill® with ColorPlus® Technology

GRAY SLATE

.....

- Engineered for Climate®
- Noncombustible
- Superior finish durability and fade resistance
- Long-lasting beauty
- Use the full ColorPlus palette to create hundreds of color combinations

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HardiePlank® **F110** Lap Siding

Select CedarMill® with ColorPlus® Technology

ARCTIC WHITE

.....

- Engineered for Climate®
- Noncombustible
- Superior finish durability and fade resistance
- Long-lasting beauty
- Use the full ColorPlus palette to create hundreds of color combinations

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VIEW - PARK STREET #1



1-4 19012 20000 20000 20000 20000



211114 11000000 NEAR CARLE JIMMY #1



McKee, 11000 Long Street #1

