

Design Review Board

Official Agenda



AGENDA

DESIGN REVIEW BOARD – NEIGHBORHOOD DESIGN PANEL AGENDA

Regular Meeting
November 5th, 2020
3:00 PM
Webex Virtual Meeting

Public meetings will be hosted virtually online and can be accessed at greenvillesc.gov/meeting using the password meetnow. Instructions to access the meeting, and information regarding a remote viewing location, are included at the end of this notice.

A remote meeting viewing location has been set up at the Greenville Civic Center at 1 Exposition Drive in Room 102 BC

1. **Call to Order**
2. **Roll Call**
3. **Welcome and Opening Remarks from the Chair**
4. **Approval of Minutes – October 1st, 2020**
5. **Call for Public Notice Affidavit from Applicants**
6. **Acceptance of Agenda**
7. **Conflict of Interest Statement**
8. **Call for Public Comment**
9. **Old Business (public hearing)**
 - A. None
10. **New Business (public hearing)**
 - A. CA 19-875
Application by THOMAS CHAD CHISM for a CERTIFICATE OF APPROPRIATENESS for window replacement at 404 Pettigru St. (TM# 004500-01-00500).

Note: The applicant has requested that this application be deferred to a later meeting date.

B. CA 20-598

Application by ROSS KISTLER for a CERTIFICATE OF APPROPRIATENESS for an attached garage addition and exterior changes at 126 James St. (TM# 003000-01-00100).

Documents:

[AGENDA PACKET CA 20-598 - 126 JAMES ST..PDF](#)

C. CA 20-603

Application by MATT TINDALL for a CERTIFICATE OF APPROPRIATENESS for a detached garage and exterior changes at 24 W. Earle St. (TM# 000500-01-01200).

Documents:

[AGENDA PACKET CA 20-603 - 24 W. EARLE ST..PDF](#)

11. Other Business (Not a Public Hearing)

A. RHP 20-576

Application by KATIE SKOLOFF for a PRELIMINARY CERTIFICATION FOR TAX ASSESSMENT FOR REHABILITATED HISTORIC PROPERTIES at 1211 Pendleton St. (TM# 012000-04-00100).

B. Acceptance of 2021 Meeting Schedule

12. Advice and Comment (Not a Public Hearing)

A. None

13. Informal Review (Not a Public Hearing)

A. None

14. Adjournment

You are invited to review documents relating to these applications before the public hearing. Application materials are posted online at <http://www.greenvillesc.gov/drb>. You may contact the Planning Office at (864) 467-4476 for more information. Application materials are subject to change.

You will have the opportunity to voice your comments at the public hearing. Each speaker is limited to 3 minutes. Repetitive statements should be avoided; individuals sharing similar concerns are encouraged to appoint a spokesperson to represent their group. Alternatively, you may submit written comments to: Planning & Development Office, PO Box 2207, Greenville, SC 29602, by fax at (864) 467-4510, or by email at planning@greenvillesc.gov.

Written comments must be received by 2PM Monday before the hearing in order to be given adequate time for consideration by the Board before the hearing. Comments received after 2PM Monday will be provided to the Board at the hearing. Please

reference the application number and include your name and address on all correspondence. All comments will be made part of the public record.

In some cases the applicant may be required, as part of the application process, to hold a neighborhood meeting before the application is heard by the Board. Property owners within 500' of the application site would then be notified by mail. A property owner that directly abuts the proposed project or owners of 20% of parcels within 500' may also request a meeting. Contact the Planning and Development Office for further instructions.'

Webex Meeting Instructions

Steps for Online Access

1. Visit greenvillesc.gov/meeting. You can also go to greenvillesc.gov and click on ONLINE MEETING.
2. Join Event: Design Review Board Meeting – Neighborhood Panel 11/5/2020

Enter your: First Name
Enter your: Last Name
Enter your: Email Address
Enter the event password: meetnow
Click: Join Now

Steps for Phone Access

1. Dial: +1-415-655-0002
2. Enter Access Code: 173-964-3995

Remote Viewing Location

A remote meeting viewing location has been set up at the Greenville Civic Center at 1 Exposition Drive in Room 102 BC

The City seeks input from citizens while adhering to public health and safety guidelines. All attendees at the remote viewing location will be subject to a temperature screening with a touch-less forehead thermometer. Anyone with a temperature reading above 100 degrees Fahrenheit will not be admitted. Attendees will be required to wear a covering over their mouth and nose, unless it violates a religious tenant or belief or causes difficulty breathing.

Procedure for Public Comment during Meeting

1. The Design Review Board Chair will read through each agenda item and call for a list of names who wish to speak during public comment. The public shall communicate directly with the Planning Staff Liaison if they wish to speak on the specific agenda item.
2. The Planning Staff Liaison will take a list of names, which will be called in order at the time of the specific agenda item, to provide public comment.
3. The Planning Staff Liaison will communicate directly with the public during the public portion of each item to provide comments on the specific agenda item.
4. Each member of the public shall provide their comments when their name is called by the Planning Staff Liaison.
5. Each member of the public will have 3 minutes to speak on the specific agenda item. When speaking: Begin by clearly stating your name and address for the record. Please spell your name if it is prone to be misspelled. The 3-minute

timer will start after you provide this information. Please do not repeat information already presented by someone else and avoid off-topic statements. Those who wish to share similar concerns are encouraged to appoint a spokesperson to speak on behalf of the group. Direct all comments and questions to the chairperson, who will respond or direct the question to the appropriate party for response.

6. The Planning Staff Liaison will continue through the list of names until all members of the public who wished to speak on the specific agenda item have had an opportunity.
7. Once all names are called and public comment provided, the public portion for that specific agenda item will be closed.



**Planning Staff Report to
Design Review Board - Neighborhood
October 30, 2020**
for the November 5, 2020 Public Hearing

Docket Number:	CA 20-598
Applicant:	Ross Kistler
Property Owner:	Tim Kearns
Property Location:	126 James St.
Tax Map Number:	003000-01-00100
Zoning:	R-6, Single-Family Residential District
Proposal:	CERTIFICATE OF APPROPRIATENESS FOR EXTERIOR ADDITION AND MODIFICATIONS
Staff Recommendation:	Approve with Conditions

Staff Analysis:

The subject property is located at 126 James St. within the Col. Elias Earle Preservation Overlay District and is improved with a two-story brick residence. Per the 2003 Historic Resources Inventory, the home was constructed in 1920; the home does not contribute to the national register Historic District.

The applicant proposes to construct an attached two-car garage toward the rear of the existing structure and apply a limewash coating to the existing brick exterior.

Prior Action of Design Review Board

The property owner previously applied for a staff-level Certificate of Appropriateness (CAS 20-386) to paint the brick exterior. Staff denied the applicant's request to repaint the exterior, citing design guideline HR.9. The applicant appealed staff's denial to Design Review Board under APL 20-395. On September 3rd, 2020, the Design Review Board – Neighborhood Panel – upheld staff's decision to deny the request. Note that the current request is to apply a limewash coating to the brick exterior rather than a coating of paint.

Limewash

Based on the City's 2003 Historic Resources Inventory, the brick façade does not appear to have been painted historically. However, per pictures provided by the applicant, the existing structure appears to have gone through a number of renovations which have resulted in variations in brick patterns and colors. Previous renovations also include the construction of a fiber-cement sided addition at the rear of the house. Pictures provided by the applicant illustrate paint stains, patch work, and inconsistent brick textures.

The applicant proposes to apply a Dove White limewash coating to the brick exterior in order to unify the various brick textures and patterns. Per the National Park Service, limewashing is preferred to paint as it allows for greater water transfer.

Garage Addition

The applicant proposes an attached two-car garage addition toward the rear of the residence. The attached garage satisfies minimum setback standards for special side yards, per Section 19-5.2.8. The front and sides of the garage will feature a brick veneer with a Dove White limewash finish while the rear will feature wood lap siding painted Dove White. The garage will feature a stained wood garage door with upper lites and a plaster gable to match existing gables on the home. The applicant proposes to replace the lap siding on the existing rear addition with a limewashed brick veneer to match the garage.

Summary

Staff is generally supportive of the proposed garage addition and finds that it satisfies pertinent Design Guidelines. While the City's Design Guidelines promote the preservation of masonry in their original condition, staff finds that the application of a limewash finish may be beneficial in cases where a brick building has poorly-matched additions or repair work. In this case, staff finds that the applicant has provided evidence that shows inconsistencies in the existing brick pattern, texture and color. As such, staff believes that the proposed limewash application will bring a unified appearance to the residence. **Therefore, staff recommends approval of the application with the following condition:**

- **Work with staff and the Design Review Board on the limewash; select a location on the rear façade to test applications; arrange to meet onsite with staff and two members of the DRB to review application results.**

Applicable Design Guidelines

HR.9. Masonry construction should be preserved in its original condition.

- A. Preserve the original mortar joint and unit size, the tooling and bonding patterns, coatings and color of masonry surfaces.
- B. Repoint mortar joints where there is evidence of deterioration.
- C. Brick that was not painted historically should not be painted. Masonry naturally has a water-protective layer, or patina. Painting masonry walls can seal in moisture already in the masonry, thereby not allowing it to breathe and causing extensive damage over the years.

HR.21 Some additions may have developed significance in their own right and should be preserved.

- A. Preserve an older addition that has achieved historic significance in its own right.
- B. A more recent addition that is not historically significant may be removed.

AR. 12 Design an addition to be compatible with the primary building.

- A. Design a new addition such that the original character can be clearly seen.
- B. Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.
- C. Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- D. An addition should be compatible in scale, materials and character with the main building.
- E. An addition should be set back from any primary, character defining façade.
- F. The roof form of a new addition should be in character with that of the primary building.



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Contact Planning & Development (864) 467-4476

Office Use Only:

Application# _____ Fees Paid _____
Date Received _____ Accepted By _____
Date Complete _____ App Deny Conditions _____

APPLICANT/OWNER INFORMATION

*Indicates Required Field

	APPLICANT	PROPERTY OWNER
*Name:	ROSS KISTLER	TIM KEARNS
*Title:	ARCHITECT	OWNER
*Address:	147 WELBORN STREET, SUITE A2	108 W EARLE STREET
*State:	SC	SC
*Zip:	29601	29609
*Phone:	803.360.4701	864.417.9296
*Email:	ROSS@PROJECTPLUSSC.COM	TIMKEARNS410@GMAIL.COM

PROPERTY INFORMATION

*STREET ADDRESS 126 JAMES STREET, GREENVILLE, SC 29609

*TAX MAP #(S) 0030000100100

*PRESERVATION DISTRICT/SPECIAL DISTRICT COL. ELIAS EARLE

*ARE THERE EXISTING STRUCTURES ON THE PROPERTY? ☒ Yes ☐ No

DESCRIPTION OF REQUEST

*SELECT APPLICATION TYPE: ☐ CA Neighborhood New ☒ CA Neighborhood Modification (☐ Major/ ☒ Minor)
☐ CA Urban New ☐ CA Urban Modification (☐ Major/ ☐ Minor)
☐ CAS Staff New (☐ Major/ ☐ Minor) **please see item D. for description*
☐ CAS Staff Modification
☐ Informal Review

*ORIGINAL APPLICATION # (put N/A if new application) N/A

To include: scope of project and response to specific guidelines and special conditions.

SEE ATTACHED PAGES FOR DESCRIPTION AND IMAGES

INSTRUCTIONS

1. All applications and fees (made payable to the City of Greenville) for Certificate of Appropriateness must be received by the planning and development office no later than 2:00 pm of the date reflected on the attached schedule.

A. URBAN DESIGN PANEL	\$300.00, <i>site plan review</i>
	\$300.00, <i>architectural review</i>
B. SIGNS	\$150.00
C. NEIGHBORHOOD DESIGN PANEL	\$150.00
D. APPLICATION FOR STAFF REVIEW	
<u>Major</u> : All site development activity, roof gardens, decks, or accessory structures; or any project that requires consultation with a member of the DRB.	\$100.00
<u>Minor</u> : Color change; replacement of windows/doors; additions, deletions or replacement of awnings; re-roofing; and projects that do not involve structural alterations, increase/decrease in window/door area or removal of architectural features. Also, parking lots, service enclosures, exterior lighting and additions to building that do not exceed 25% of existing building footprint, except the West End Preservation Overlay District.	\$50.00
E. MODIFICATION TO AN APPROVED PROJECT	
Major (requires review by DRB)	½ Original Fee
Minor (requires review by staff)	\$50.00
F. INFORMAL REVIEW	\$50.00

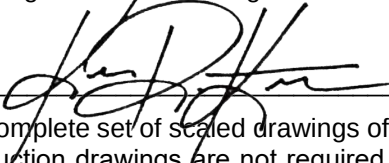
2. The staff will review the application for "sufficiency" pursuant to Section 19-2.2.6, Determination of Sufficiency and will contact the applicant to correct any deficiencies which must be corrected prior to placing the application on the Design Review Board agenda.

3. **Public Notice Requirements.** Certificate of Appropriateness applications require a design review board public hearing. The applicant is responsible for sign posting the subject property at least 15 days (but no more than 18 days) prior to the scheduled design review board hearing date.

(To be filled out at time of application submittal)

_____ Public Hearing signs are acknowledged as received by the applicant

***APPLICANT SIGNATURE**



1. You must attach one (1) complete set of scaled drawings of the property at an appropriate scale such as 1"=20' or 1/4" = 1', etc. Although construction drawings are not required, applicants for final approval should be able to provide construction drawings at the Design Review Board's (DRB) request. The Board may request additional information at any time to fully understand the proposal. Items submitted to the Board become the property of the City and will not be returned.

SITE PLAN REVIEW

- Site Plan Drawings (indicating footprint of existing buildings, proposed building, proposed exterior elements, demolition of existing site features, floor plan, proposed exterior equipment, etc.).
- Massing Studies and Images (images shall be high resolution and should depict adjacent building, proposed building massing from various viewpoints, initial architectural details, photos of surroundings to review context, etc.).

- Model (physical or digital model that includes the surrounding context with massing only, no texture or articulation is required). **The contextual model for the DRB boundary can be downloaded here: <https://greenvillesc.gov/364/Access-GIS-Data>, and is provided as a .skp file. Data is updated monthly.**

ARCHITECTURAL REVIEW

- Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, landscape drawings, design and location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- Detail Drawings (include material and methods of each type of construction affecting the exterior appearance of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and signage).
- Renderings (include perspective drawings, including views from pedestrian and public realm).
- Model (physical or digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed signage).

For more detail on these submittal requirements, please refer to the **Greenville Downtown Design Guidelines**, adopted May 2017.

Please verify that all required information is reflected on the plan(s). Please submit one (1) paper copy and one (1) electronic version of the plan(s).

4. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is ___ or is not ___ restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

*Signatures	
Applicant	ROSS KISTLER 
Date	09/23/2020
Property Owner/Authorized Agent	TIM KEARNS 
Date	09/23/2020
Public Hearing information	
Public Hearing signs	

Architectural Narrative:

The single family home is located at 126 James Street - on the corner of James and Rutherford Road. It is listed in the Colonel Elias Earle District. It was built in 1925, and the exact number of owners are unknown; however, there has been only one owner from 1977 to 2019. This is a highly visible house that appears to have had multiple additions over the years as well as deferred maintenance.

Previous owners appear to have performed sub par renovations that included enclosing the side porch to create a sun-room against Rutherford Road, a second floor bathroom addition, and a fiber cement sided addition off the rear of the house. Other minor additions and patch work appear to have been completed over the years and are in need of maintenance again.

Scope of Work:

It is the new owner's intent to keep the house intact as much as possible to preserve the old home charm however would like to modernize the house by adding an attached garage to the house for 2 cars and exterior storage as well as create/ shield the yard from Rutherford Street. The garage addition will be a continuation of the rear sided addition. This will allow the owner and contractor the opportunity clean up the exterior of the home by replacing some inferior lap sided material with a new brick veneer. The base of the addition will be brick to mimic the character of the home with a soldier course located at the floor line. Although the addition is intended to match the brick of the existing home we expect the bricks will have a slightly different tint and with there already being multiple brick textures and colors on this structure we are proposing limewashing the brick and painting the siding/ plaster Benjamin Moore White Dove.

Paint/ Limewash finish:

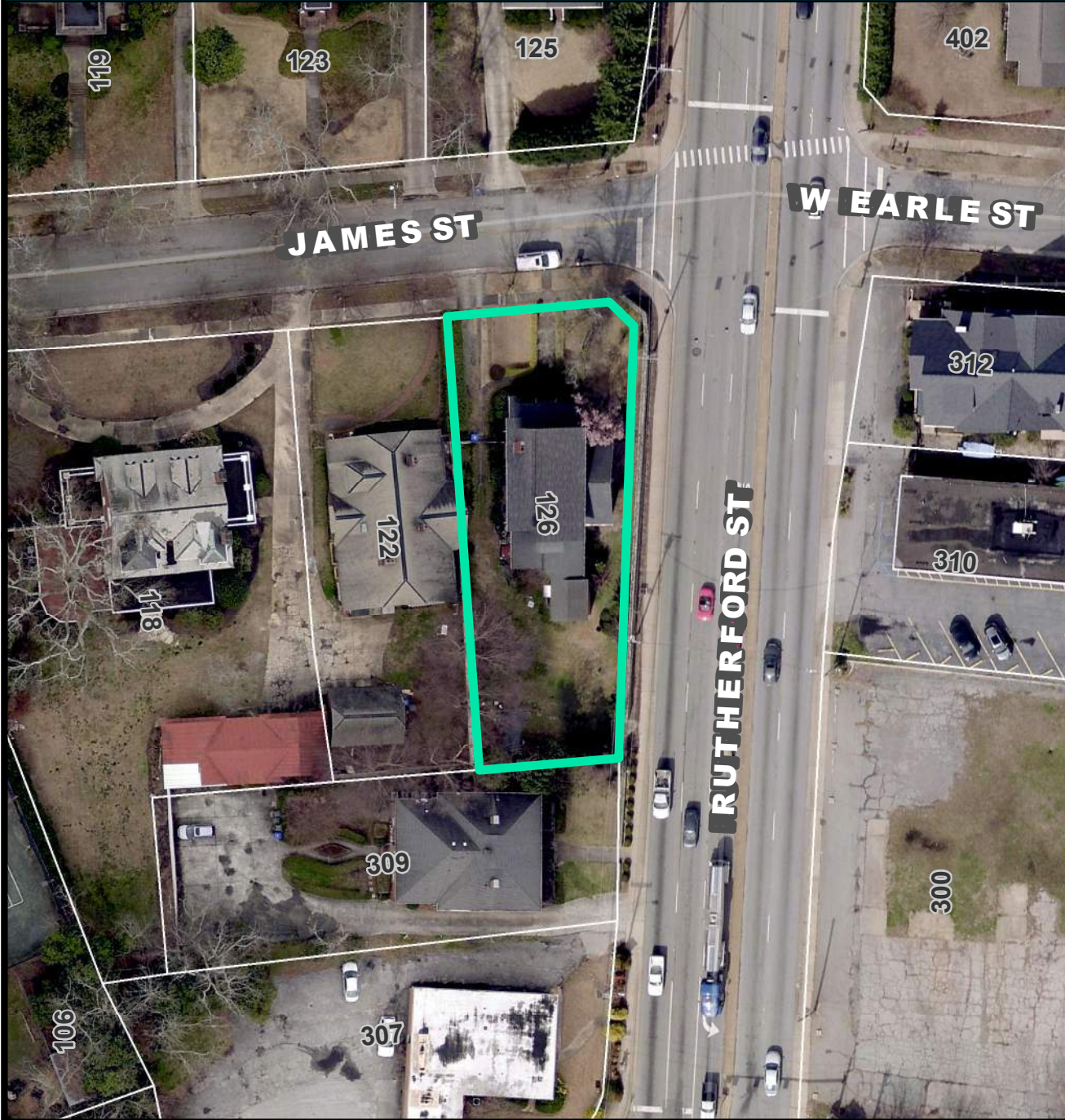
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The plaster and siding will remain but will be painted a complementary variation of white. Benjamin Moore - Dove White. There are numerous examples of painted plaster and siding within the district and even within this block of James Street.

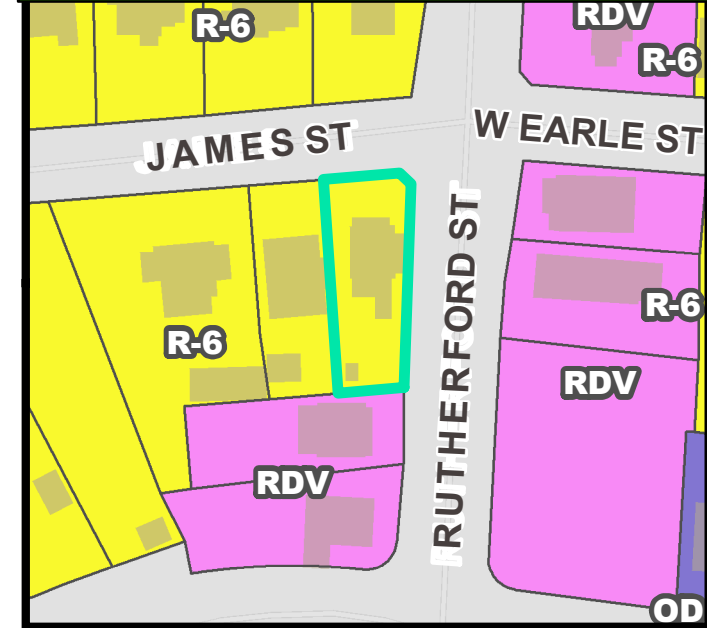
SEE FOLLOWING PAGES FOR SUPPORTING EXHIBITS.

CA 20-598 • 126 JAMES ST.

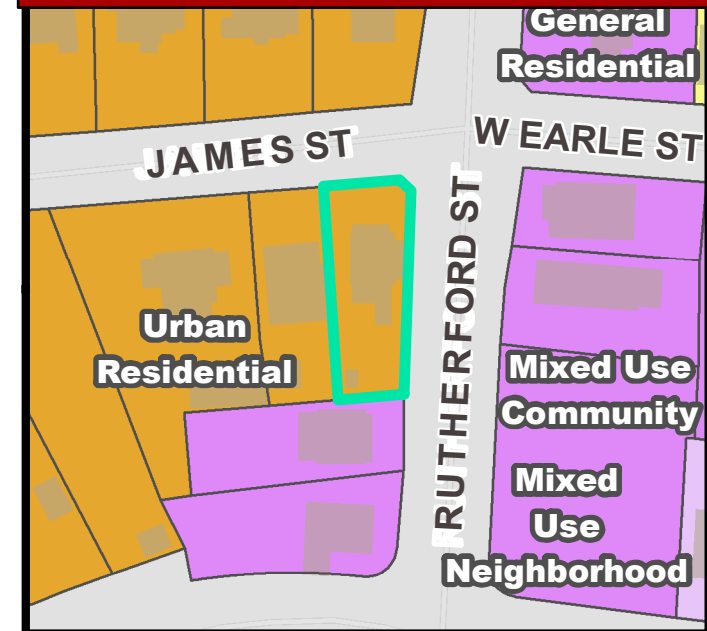
AERIAL VIEW



CURRENT ZONING

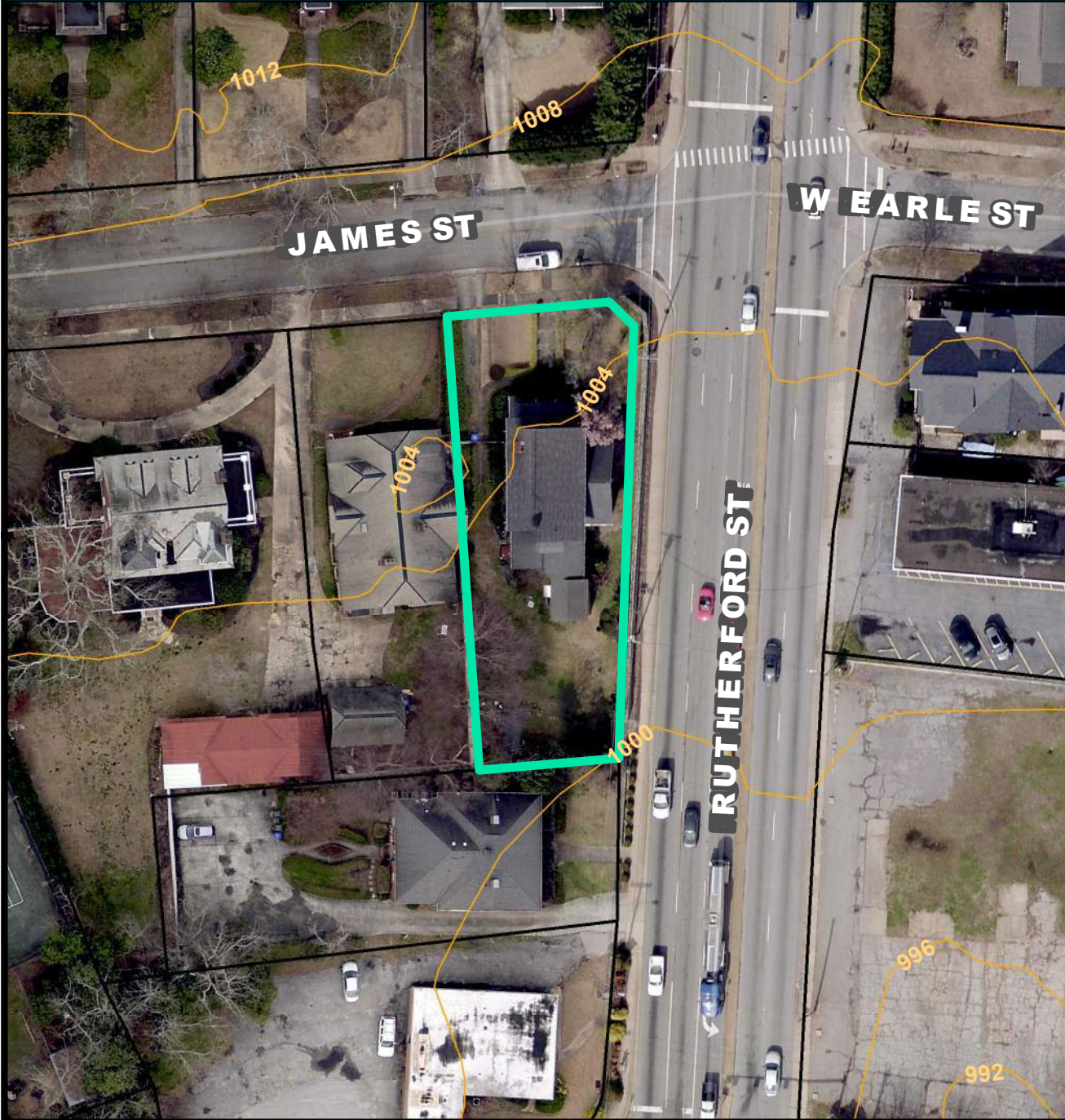


FUTURE LAND USE

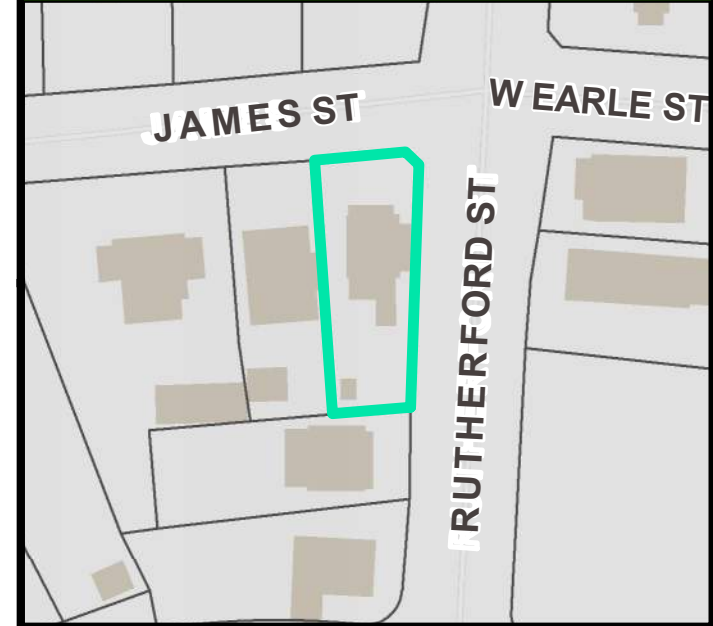


CA 20-598 • 126 JAMES ST.

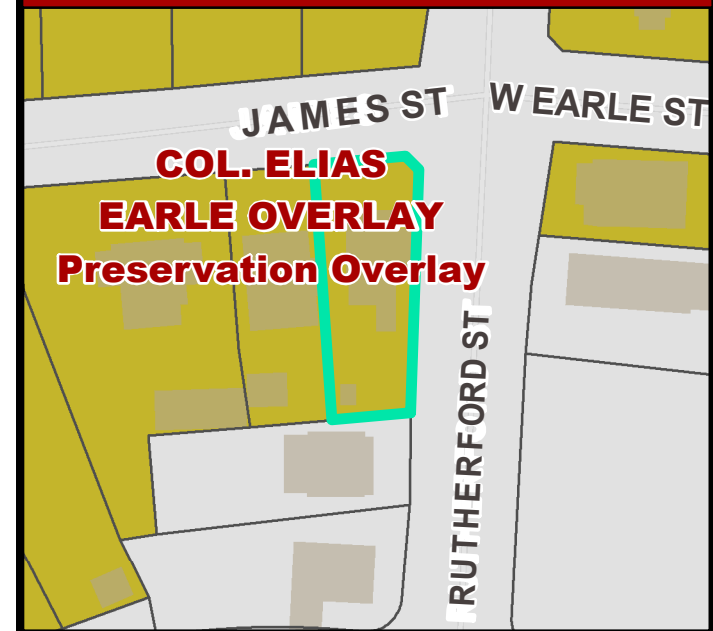
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS



KEARNS RESIDENCE

126 JAMES STREET,
GREENVILLE, SC 29609

DRB REVIEW

10/05/2020

PROJECT IMAGE



PROJECT INFORMATION

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VICINITY MAP



GRAPHIC LEGEND

DOOR TAG

2868

DOOR SIZE (2'-8" X 6'-8")

FRENCH (2) FX SC

FRENCH DOUBLE FIXED SCREEN

ELEVATION TAG

1

A101

WINDOW TAG

2/8-6/0

WINDOW SIZE (2'-8" X 6'-0")

CSMT DH SH FX

CASEMENT DOUBLE HUNG SINGLE HUNG FIXED

SECTION TAG

1

A101

DRAWING TITLE

1

DRAWING TITLE

1/8" = 1'-0" (SCALE)

ENLARGED DETAIL INDICATOR

1

A101

1. NEW INTERIOR PARTITIONS ARE DIMENSIONED TO FACE OF STUD. UNLESS NOTED OTHERWISE (U.N.O.)
2. ALL INTERIOR PARTITIONS ARE ASSUMED TO BE 2X6 CONSTRUCTION U.N.O.
3. WALLS CONTAINING PLUMBING STACKS, RADON VENTS, OR POCKET DOORS SHALL BE 2X6 CONSTRUCTION.
4. DOOR ROUGH OPENINGS SHALL BE MINIMUM OF 6" FROM CORNER TO ALLOW TRIM APPLICATION
5. ALL DRYWALL TO BE 1/2"
6. PROVIDE MINIMUM OF 1/4"/FT SLOPE AT ANY BUILT-IN SHOWER BENCHES. SLOPE ALL SHOWERS MINIMUM OF 1/4"/FT TO DRAIN
7. OWNER / CONTRACTOR RESPONSIBLE FOR ALL FINISHES AND APPROPRIATE CONSTRUCTION PER MANUFACTURER'S RECOMMENDATION.
8. OWNER/CONTRACTOR RESPONSIBLE FOR ALL LIGHTING, RECEPTACLE, AND SWITCH LOCATIONS

R-6:

SINGLE-FAMILY RESIDENTIAL DISTRICT

PERMITTED USES	Residential	Single Family Attached & Detached																			
LOT SIZING	6,000 SF; 40' min width	*Deed Restrictions:																			
SETBACKS/HEIGHT (Table 19-5.1-1: Table of Dimensional Standards)	<table border="1"> <thead> <tr> <th colspan="2">MAIN STRUCTURE</th> <th>ACCESSORY</th> </tr> </thead> <tbody> <tr> <td>Front</td> <td>*20'</td> <td>NP</td> </tr> <tr> <td>Side</td> <td>5'</td> <td>5'</td> </tr> <tr> <td>Rear</td> <td>15'</td> <td>5'</td> </tr> </tbody> </table>	MAIN STRUCTURE		ACCESSORY	Front	*20'	NP	Side	5'	5'	Rear	15'	5'	*Must be a blend of Adjacent Properties *Additional Restrictions: <table border="1"> <tbody> <tr> <td>Max Density</td> <td>1 UNIT/ 6,000 SF LOT</td> <td rowspan="3">20'</td> </tr> <tr> <td>Max Coverage</td> <td>40%</td> </tr> <tr> <td>Max Height</td> <td>35'</td> </tr> </tbody> </table> 160% impervious cover for SF detached/ duplex	Max Density	1 UNIT/ 6,000 SF LOT	20'	Max Coverage	40%	Max Height	35'
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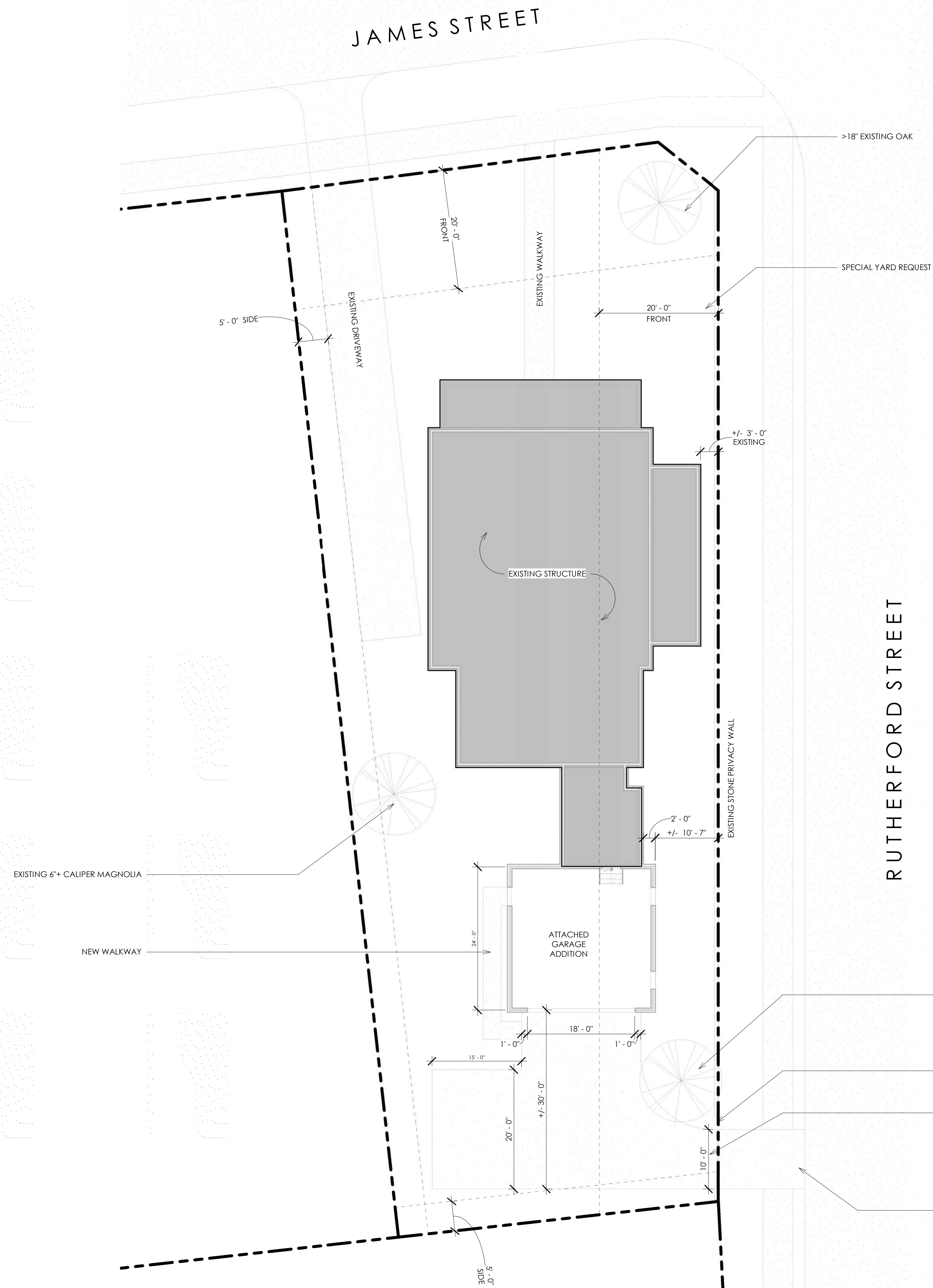
Table 19-5.2-1: Features Allowed Within Required Setbacks

Eaves, Sills, Cornice, Etc - 18" into setback

Bay Windows, Chimneys, Etc - 2' into setback - no closer than 3' to side/ rear

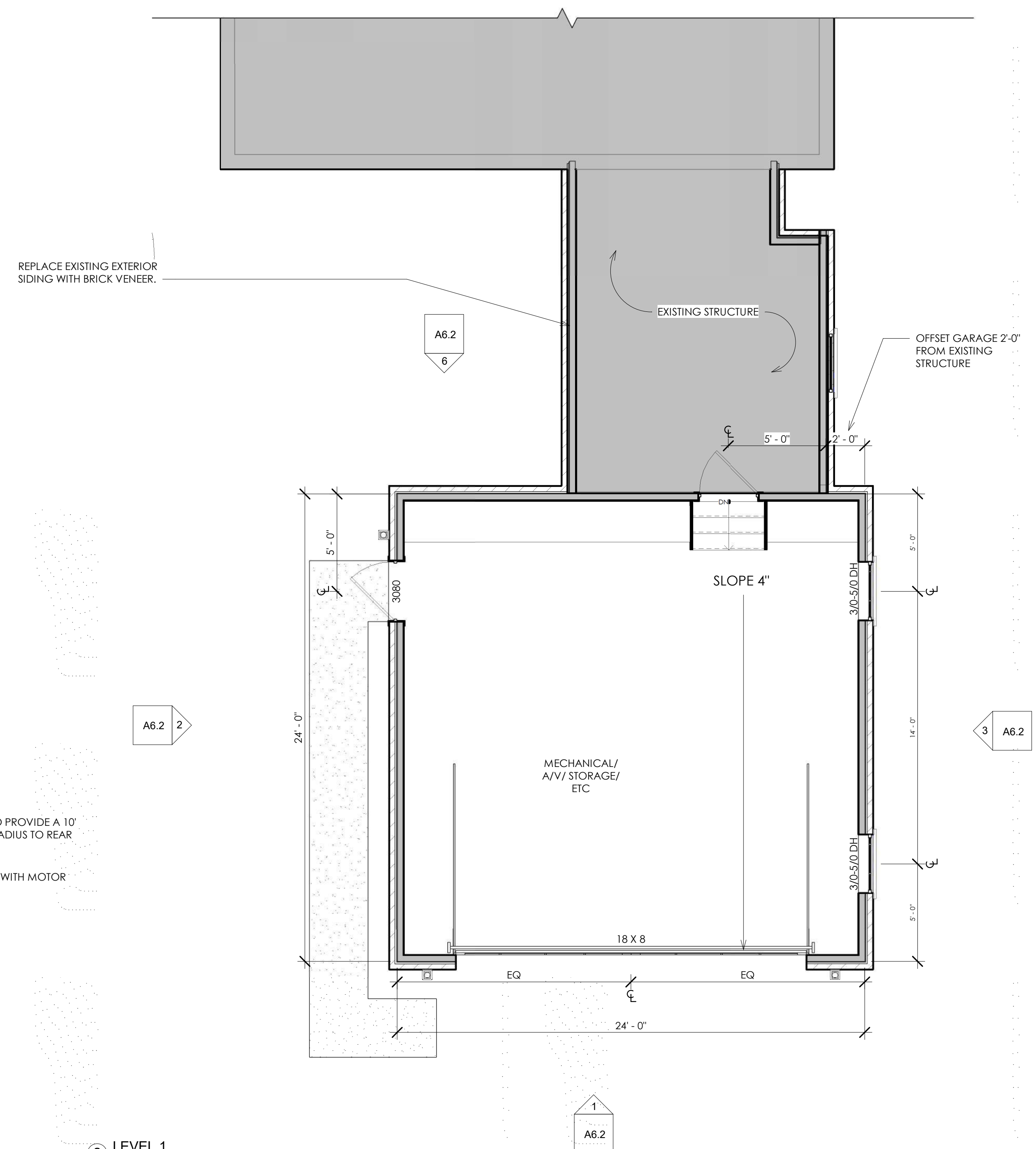
Roofed Porches, Decks, Stairs, Etc(<30" high) -no closer than 12' to front; 5' from side/ rear

Opaque Fence (<7") - 0' side rear; <30" in front



① SITE PLAN
1" = 10'-0"

..... ② LEVEL 1
1/4" = 1'-0"



KEARNS RESIDENCE
126 JAMES STREET, GREENVILLE, SC 29609
TMS:0 030000100100

SITE PLAN



SECOND FLOOR BATHROOM ADDITION

POTENTIAL STRUCTURAL REPAIR NEEDED TO BRING BACK IN PLUMB

PLASTERED GABLES IN NEED OF REPAIR



MULTIPLE BRICK



NEW BRICK; HARDIE SIDING

1ST FLOOR ADDITION

MULTIPLE BRICK

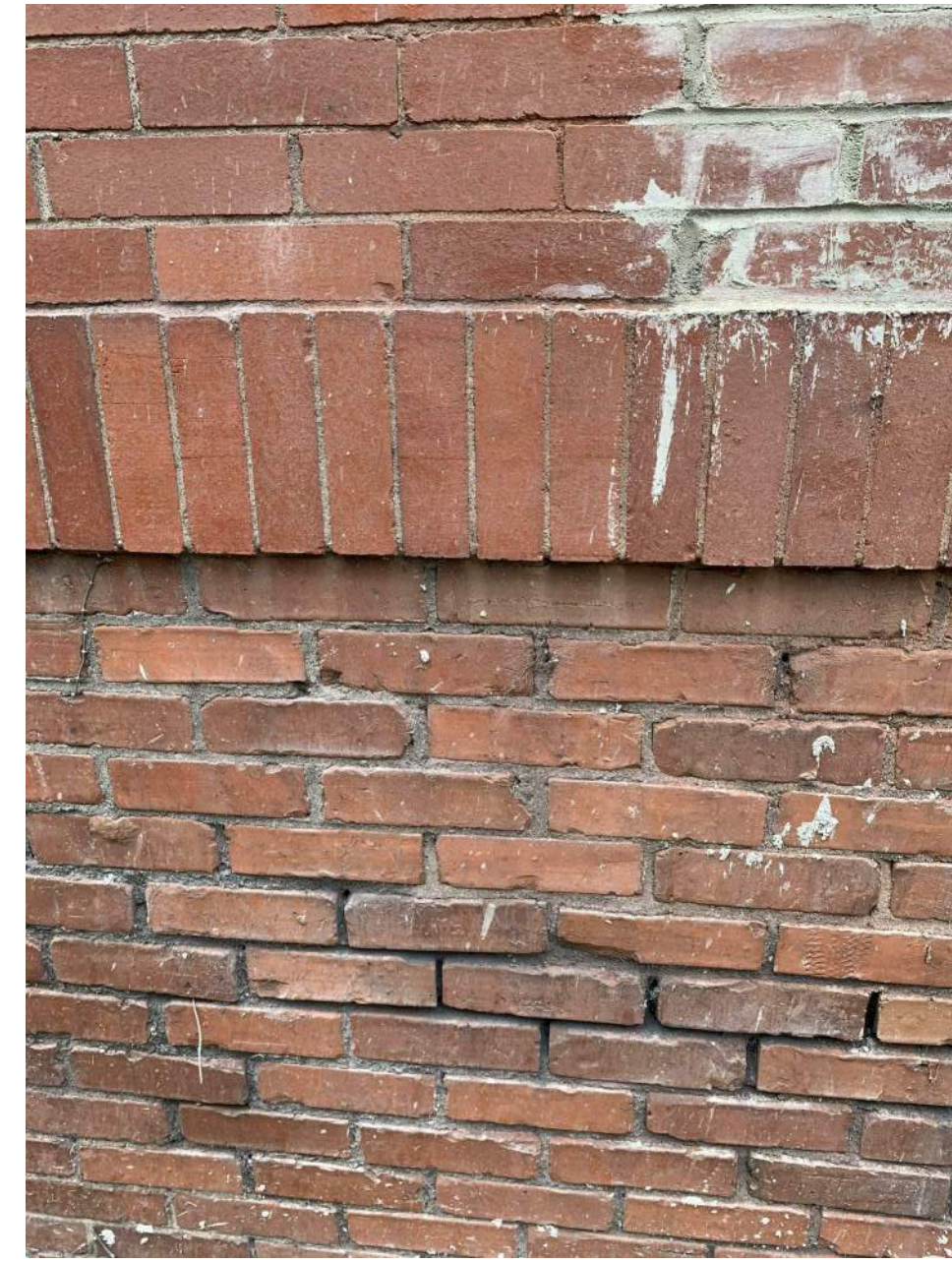
ENCLOSED SIDE PORCH



4 BRICK TEXTURES/ COLORS WITH DIFFERENT LEVELS OF MAINTENANCE NEEDED NEXT TO FIBER CEMENT SIDED ADDITION



REPOINTING OF BRICK NEEDED & PAINT STAINS



MULTI-BRICK AND REPOINTING NEEDED.

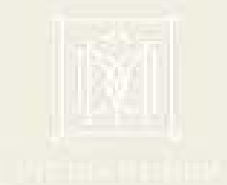


REAR STAIR AND PORCH CONNECTION



LIME WASH
MANUFACTURERE: ROMABIO
COLOR: CRISTALLO WHITE

BENJAMIN MOORE
WHITE DOVE



ALL BRICK TO BE LIMEWASHED TO BLEND IN INCONSISTENCIES AND IMPERFECTIONS IN BRICK
TEXTURES, COLORS, AND INSTALLATION



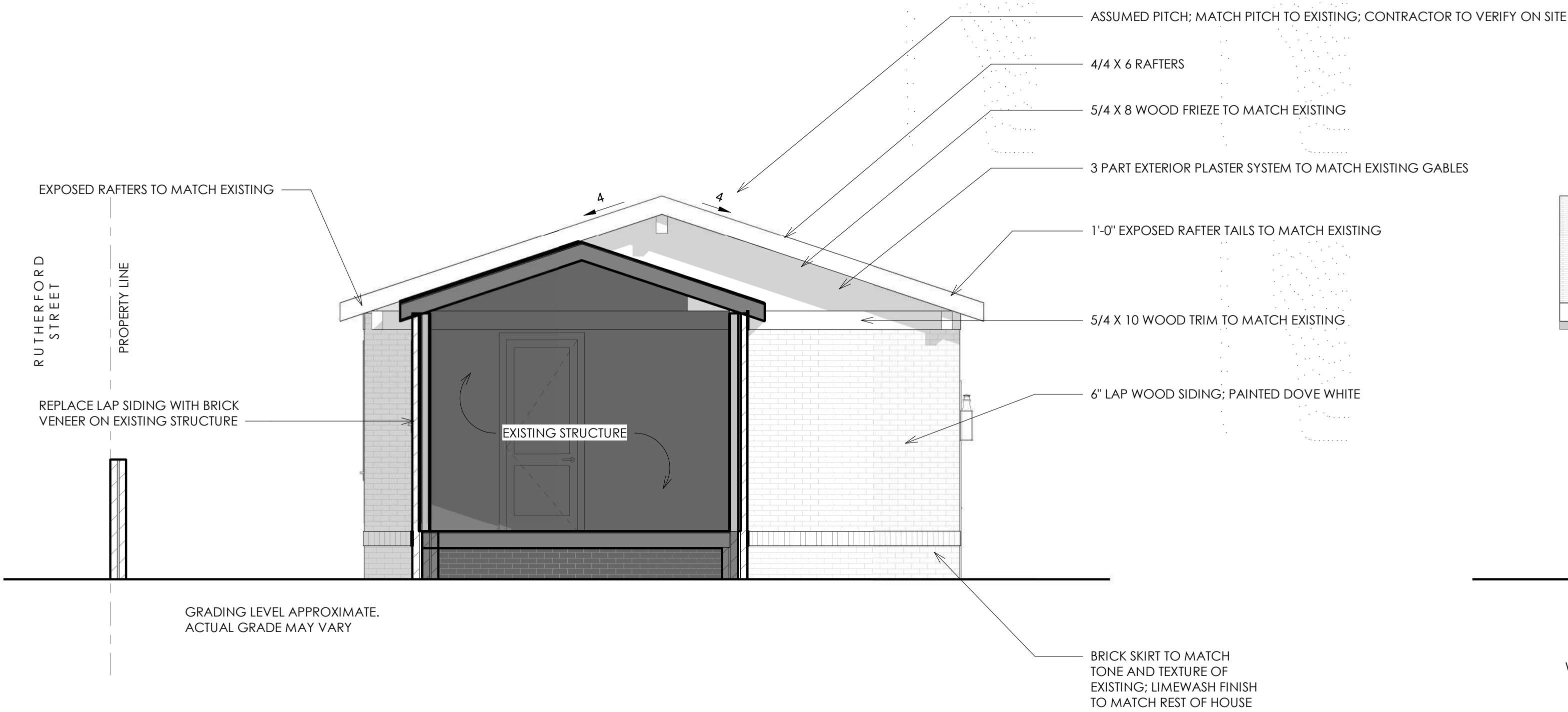
ALL TRIM, PLASTER, ETC TO BE PAINTED WHITE DOVE.



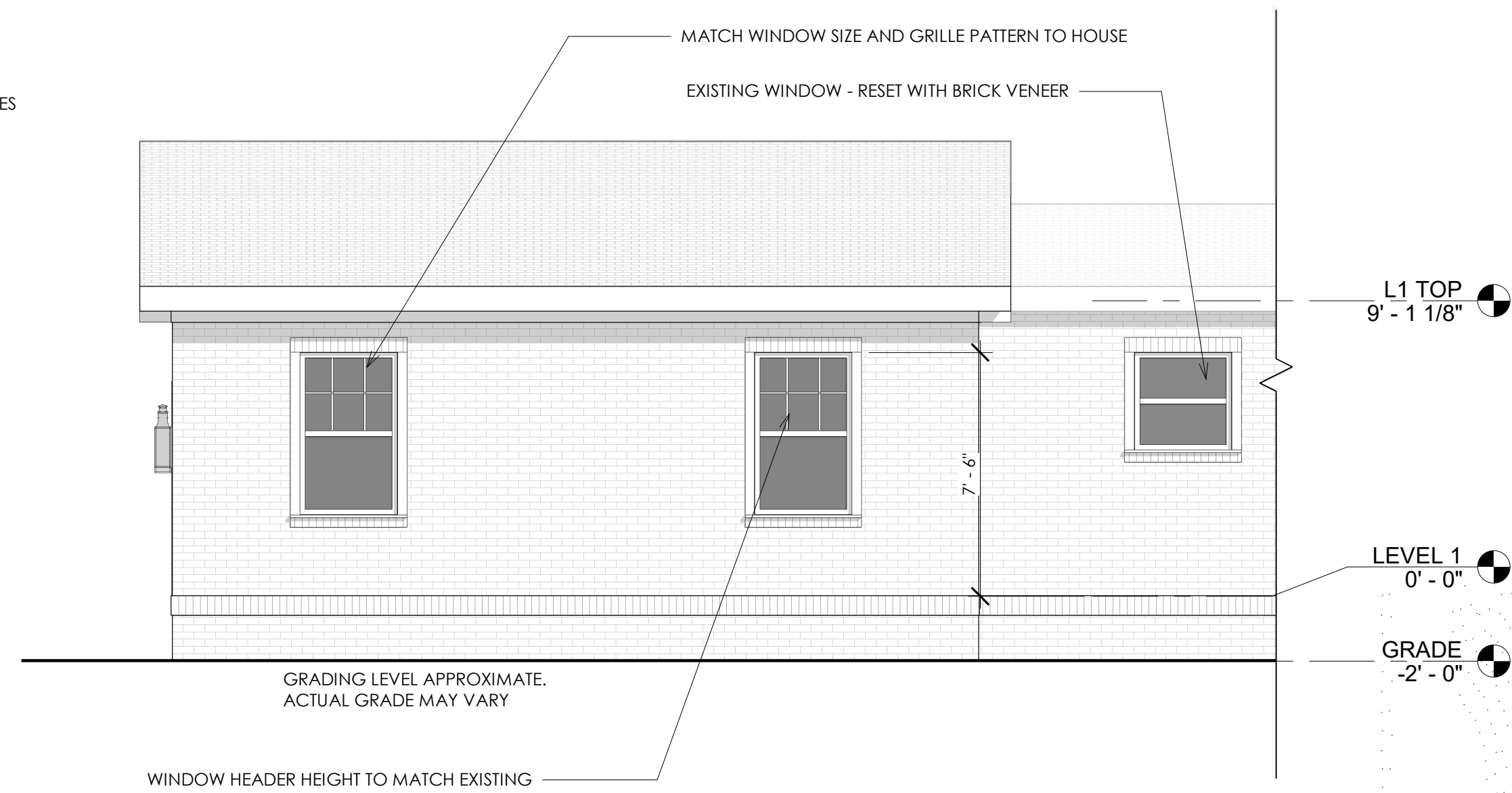
LIMEWASH - PRECEDENT IMAGE
329 WEST EARLE STREET

EXAMPLES OF NON BRICK/
PAINTED HOUSES ALONG
SAME BLOCK OF JAMES
STREET

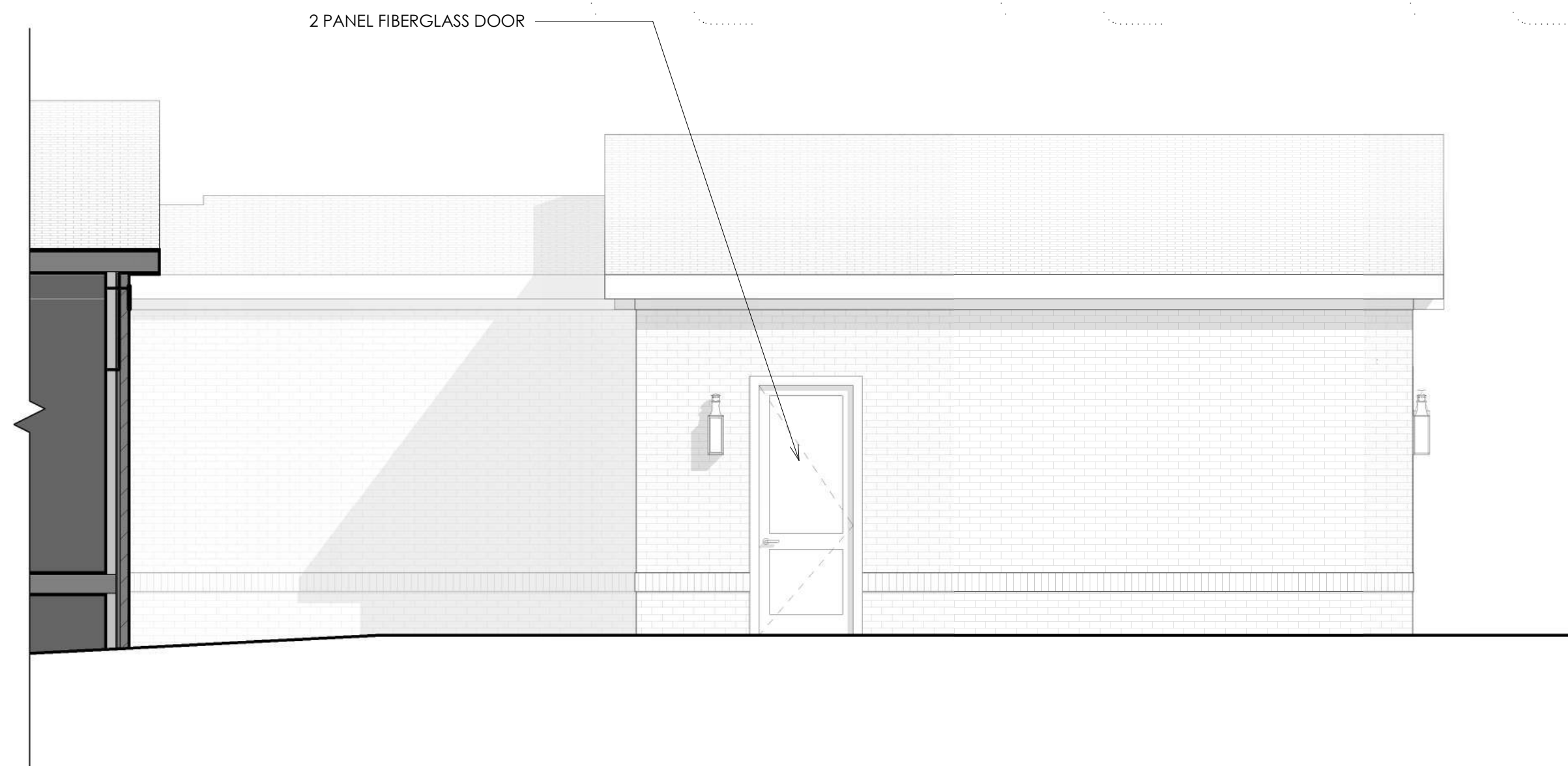




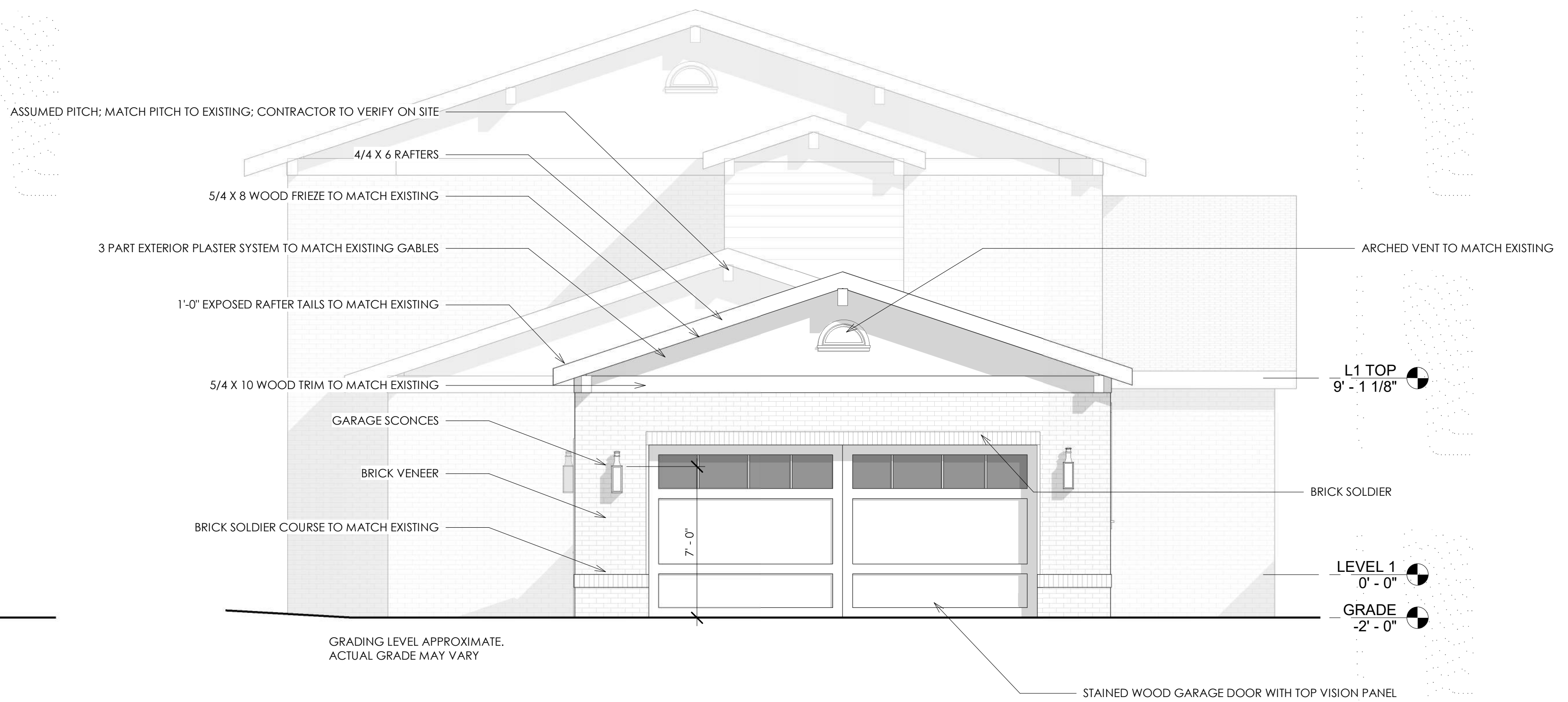
⑥ REAR ELEVATION
1/4" = 1'-0"



③ RIGHT SIDE ELEVATION
1/4" = 1'-0"



② LEFT SIDE ELEVATION
1/4" = 1'-0"



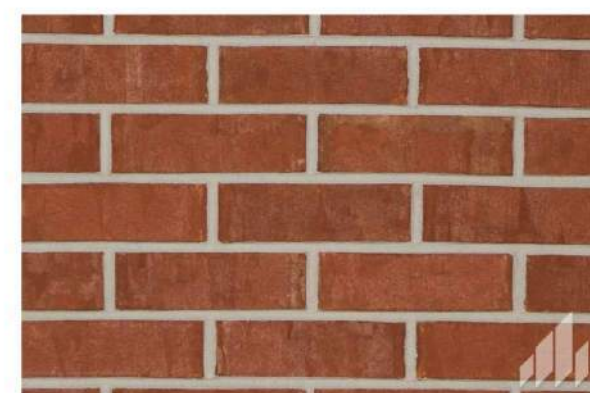
① FRONT ELEVATION
1/4" = 1'-0"

ROOF/ELEVATION NOTES

1. PROVIDE ALUMINUM FLASHING AT ALL ROOF TO WALL INTERSECTIONS. PROVIDE STEP FLASHING AT ALL MASONRY CONDITIONS. PROVIDE VALLEY FLASHING PER MANUFACTURER'S DETAILS.
2. TO MEET CODE - CONSTRUCT CHIMNEY AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, AND AT LEAST 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
3. FIELD VERIFY ALL DOWNSPOUT LOCATIONS WITH ARCHITECT.
4. ALL VENT STACKS AND EQUIPMENT TO MATCH ROOF COLOR.
5. PROVIDE SPLASH GUARDS AT ALL VALLEY TERMINATIONS.
6. INSTALL WATERPROOF SHINGLE UNDERLAYMENT ON ALL VALLEYS, EAVES, RAKE EDGES, LOW SLOPES (4:12 & BELOW) & CRICKET AREAS PRIOR TO INSTALLING ROOF FELT.
7. ROUTE ALL PLUMBING VENTS & ROOF PENETRATIONS TO THE REAR OR OF THE STRUCTURE TO PREVENT SEEING FROM THE FRONT ELEVATION.
8. EXTEND ALL PENETRATIONS, CURBS, AND COMPONENTS A MINIMUM OF 8" ABOVE THE ROOF SURFACE. PROVIDE 12" CLEAR DISTANCE BETWEEN PENETRATIONS AND TO ANY VERTICAL SURFACE.
9. INSTALL ALL ROOFING PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

BENJAMIN MOORE
WHITE DOVE

STUCCO ASSEMBLY
3 PART STUCCO
PAINTED - WHITE DOVE



BRICK
GENERAL SHALE
COLOR: RED HAVEN
SIZE: MODULAR
MORTAR: SMITH GRAY
-OR APPROVED SIMILAR



LIMEWASH
OVER ALL BRICK SURFACES TO BLEND
THE LOOK TOGETHER.
ROMABIO - CRISTALLO WHITE



LIGHT FIXTURE
PROGRESS LIGHTING
INCANDESCENT
P560022-020
GIBBES STREET



***LOT COVERAGE CHART SHALL BE COMPLETED FOR ALL SINGLE FAMILY BUILDING PERMITS EXCEPT THOSE PROPERTIES LOCATED IN THE S-1 ZONING DISTRICT.**

TOTAL LOT AREA (must be provided in square feet)	_____ square feet			
BUILDING COVERAGE (building coverage is anything under roof supported by columns or walls)				
Use the boxes in this column to put descriptions if necessary.	Existing S.F.	Proposed S.F.	Demo S.F.	Total S.F.
Principal structure				
<i>Basement</i>				
<i>1st floor</i>				
<i>2nd floor</i>				
<i>3rd floor</i>				
Covered porches				
Accessory structure(s) including garages (include all outbuildings)				
<i>1st floor</i>				
<i>2nd floor</i>				
Total building coverage				
Percentage of lot area (40% maximum)				

Acreage
Calculator
Enter
Acreage

Square
Footage

Clear Form

ADDITIONAL IMPERVIOUS COVERAGE (all areas not under roof including parking, driveways, walkways, steps, pools, decks/patios, etc.) Please note that gravel is considered impervious. For special design consideration, please provide construction details with your application.

	Existing S.F.	Proposed S.F.	Demo S.F.	Total S.F.
Uncovered patios/decks				
Steps				
Walkways				
Driveways				
Pool, including pool deck				
Additional impervious areas (please specify):				
Total additional impervious coverage				
Total building + total additional impervious coverage				
Percentage of lot area (60% maximum)				

TREES: Tree surveys are not required; however the location, species, and size of trees that are proposed to be retained and/or planted to meet these requirements shall be shown on all site plans, per Sec. 19-6.9.7.

Number of required trees (refer to Sec. 19-6.9.7)	
Number of existing canopy trees (6" caliper or greater) to be retained (each shall count as 2 new trees)	
Number of new trees (2.5" caliper or greater) to be planted	

Single-family residential infill standards (refer to 19-6.9, Single-Family Residential Infill Standards) shall apply to the following developments located in established single-family residential areas, except those zoned S-1:

- New lots created by summary plat or major subdivision (Sec 19-2.3.13)
- Construction of a new dwelling or garage/carport
- Addition of an attached garage/carport.
- Installation and/or expansion of a driveway
- Renovations/additions to a dwelling whose construction value exceeds 50 percent of the fair market value of the property as reflected on the Greenville County Tax Assessor's role. Renovations/additions phased over a five-year period shall be combined to determine applicability of the percent threshold criteria. Renovations/additions which do not alter the site are exempt, but are calculated in the five-year phased period above.
- Additions that increase the principle building footprint square footage by more than 40 percent. Additions phased over a five-year period shall be combined to determine the applicability of the percent threshold criteria.



**Planning Staff Report to
Design Review Board - Neighborhood
October 30, 2020**
for the November 5, 2020 Public Hearing

Docket Number: CA 20-603
Applicant: Matt Tindall
Property Owner: John Petrich
Property Location: 24 W. Earle St.
Tax Map Number: 000500-01-01200
Zoning: R-6, Single-Family Residential District
Proposal: Exterior Modifications
Staff Recommendation: Approve

Staff Analysis:

The subject property at 24 W. Earle St. (Col. Elias Earle Preservation Overlay District) is improved with a two-story multi-family dwelling. Per the 2002 City of Greenville Architectural Resources Survey, the existing structure was constructed in 1926. The applicant proposes to convert the multi-family dwelling into a single-family residence, construct a detached garage, and perform minor alterations to the exterior of the home. Minor site modifications are also proposed.

Detached Garage

The proposed garage is approximately 600 sq. ft. in area and is located toward the rear of the existing principal structure; note that the site plan on Sheet A-001 denotes an incorrect square footage. The proposed garage satisfies dimensional setback standards for the R-6 district. Per the provided color board, the garage will feature a brick veneer, brick headers, and asphalt shingles similar to that of the principal residence. Double steel garage doors are proposed with glass upper lites.

According to the Design Guidelines for Preservation Overlay Districts, accessory buildings are referred to as outbuildings. New outbuildings should be subordinate in size and character to the primary structure on a site, located to the rear of a lot, similar in character to those seen traditionally, and maintain the simple detailing found on outbuildings. Staff believes the outbuilding is subordinate in size and character of the primary structure and is similar in character to other outbuildings found within the Elias Earle Preservation Overlay District.

Exterior Modifications to Principal Residence

The applicant proposes to repair existing brick and stucco on the façade, replace the existing roof with architectural asphalt shingles, and replace all windows with a wood or wood-clad product. Additional improvements include new wrought-iron metal railing along the side porches, new shingle siding on the dormers, and repaired stucco painted “Antler Velvet.”

Site Improvements

The applicant proposes to remove the existing concrete parking pad in the front yard and install a 3 ft.-tall wrought iron fence along the perimeter of the front yard.

Summary

Staff finds that the proposed detached garage and exterior/site modifications are compatible in character with the original building and satisfy applicable design guidelines. Therefore, staff **recommends approval of the application as submitted.**

Applicable Design Guidelines:

HR.5 Deteriorated building materials should be repaired rather than replaced, wherever possible.

- A. Repair deteriorated primary building materials by patching, piecing-in, consolidating or otherwise reinforcing the materials.
- B. Use the gentlest means possible to clean a structure.
- C. Use technical procedures that preserve, clean, refinish or repair historic materials and finishes.

HR.6 Original building materials that have deteriorated beyond repair should be replaced in kind.

- A. Match the original material in composition, scale and finish when replacing it on a primary surface.
- B. Do not use synthetic materials, such as aluminum or vinyl siding or panelized brick, as replacements for primary building materials on an historic structure.

HR.9 Masonry construction should be preserved in its original condition.

- A. Preserve the original mortar joint and unit size, the tooling and bonding patterns, coatings and color of masonry surfaces.
- B. Repoint mortar joints where there is evidence of deterioration.
- C. Brick that was not painted historically should not be painted.
- D. Protect brick from water deterioration.

AR.14 A new outbuilding should be subordinate to the primary structure on a site.

- A. Locate an outbuilding to the rear or a lot.
- B. Construct an outbuilding that is subordinate in size and character with the primary structure.
- C. An outbuilding should be similar in character to those seen traditionally.
- D. Maintain the simple detailing found on outbuildings.

HR.16 A new or replacement window or door should match the appearance of the original.

- A. When window or door replacement is necessary, match the replacement to the original design as closely as possible.
- B. Maintain the historic ratio of solid-to-void on a primary façade.
- C. A new opening should be similar in a location, size and type to those seen traditionally.
- D. On a new or replacement window, wooden snap-in muntins and mullions may be considered.
- E. Windows and doors should be finished with trim elements similar to those used traditionally.



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Contact Planning & Development (864) 467-4476

Office Use Only:

Application# P2 20-603 Fees Paid _____

Date Received _____ Accepted By _____

Date Complete _____ App Deny Conditions _____

APPLICANT/OWNER INFORMATION

*Indicates Required Field

APPLICANT

PROPERTY OWNER

*Name:	MATT TINDALL, AIA	JOHN PETRICH (PR DESIGNS)
*Title:	TINDALL ARCHITECTURE WORKSHOP	OWNER
*Address:	14 LAKE FOREST DR.	101 W. EARLE ST.
*State:	SC	SC
*Zip:	29609	29609
*Phone:	864-275-9766	864-419-8563
*Email:	MATT@TINDALLARCH.COM	

PROPERTY INFORMATION

*STREET ADDRESS 24 W. EARLE STREET

*TAX MAP #(S) 0005000101200

*PRESERVATION DISTRICT/SPECIAL DISTRICT COL. ELIAS EARLE

*ARE THERE EXISTING STRUCTURES ON THE PROPERTY? ☒ Yes ☐ No

DESCRIPTION OF REQUEST

*SELECT APPLICATION TYPE: ☐ CA Neighborhood New ☒ CA Neighborhood Modification (☒ Major/ ☐ Minor)
☐ CA Urban New ☐ CA Urban Modification (☐ Major/ ☐ Minor)
☐ CAS Staff New (☐ Major/ ☐ Minor) *please see item D. for description
☐ CAS Staff Modification
☐ Informal Review

*ORIGINAL APPLICATION # (put N/A if new application) N/A

To include: scope of project and response to specific guidelines and special conditions.

CONVERT THE EXISTING MULTI-FAMILY DWELLING INTO A SINGLE FAMILY HOME. COMPLETE INTERIOR RENOVATION. CLEAN STRUCTURE. REPAIR BRICK & STUCCO. REPLACE ALL WINDOWS. NEW ASPHALT SHINGLE ROOF. EXTERIOR REPAIRS TO BOXING AND SOFFITS. MINOR WINDOW ADD. NEW DETACHED GARAGE STRUCTURE. WATERPROOFING. NEW COLUMN STRUCTURE AT EXISTING SIDE PORCH. NEW GUTTERS. NEW LANDSCAPE.

INSTRUCTIONS

1. All applications and fees (made payable to the City of Greenville) for Certificate of Appropriateness must be received by the planning and development office no later than 2:00 pm of the date reflected on the attached schedule.

- | | |
|---------------------------------|---------------------------------------|
| A. URBAN DESIGN PANEL | \$300.00, <i>site plan review</i> |
| | \$300.00, <i>architectural review</i> |
| B. SIGNS | \$150.00 |
| C. NEIGHBORHOOD DESIGN PANEL | \$150.00 |
| D. APPLICATION FOR STAFF REVIEW | |

Major: All site development activity, roof gardens, decks, or accessory structures; or any project that requires consultation with a member of the DRB.	\$100.00
---	----------

Minor: Color change; replacement of windows/doors; additions, deletions or replacement of awnings; re-roofing; and projects that do not involve structural alterations, increase/decrease in window/door area or removal of architectural features. Also, parking lots, service enclosures, exterior lighting and additions to building that do not exceed 25% of existing building footprint, except the West End Preservation Overlay District.	\$50.00
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E. MODIFICATION TO AN APPROVED PROJECT

Major (requires review by DRB)	½ Original Fee
--------------------------------	----------------

Minor (requires review by staff)	\$50.00
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F. INFORMAL REVIEW	\$50.00
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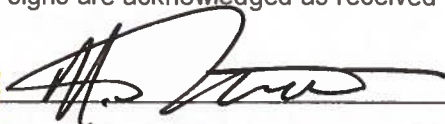
2. The staff will review the application for "sufficiency" pursuant to Section 19-2.2.6, Determination of Sufficiency and will contact the applicant to correct any deficiencies which must be corrected prior to placing the application on the Design Review Board agenda.

3. **Public Notice Requirements.** Certificate of Appropriateness applications require a design review board public hearing. The applicant is responsible for sign posting the subject property at least 15 days (but no more than 18 days) prior to the scheduled design review board hearing date.

(To be filled out at time of application submittal)

_____ Public Hearing signs are acknowledged as received by the applicant

***APPLICANT SIGNATURE**



1. You must attach one (1) complete set of scaled drawings of the property at an appropriate scale such as 1"=20' or ¼" = 1', etc. Although construction drawings are not required, applicants for final approval should be able to provide construction drawings at the Design Review Board's (DRB) request. The Board may request additional information at any time to fully understand the proposal. Items submitted to the Board become the property of the City and will not be returned.

SITE PLAN REVIEW

- Site Plan Drawings (indicating footprint of existing buildings, proposed building, proposed exterior elements, demolition of existing site features, floor plan, proposed exterior equipment, etc.).
- Massing Studies and Images (images shall be high resolution and should depict adjacent building, proposed building massing from various viewpoints, initial architectural details, photos of surroundings to review context, etc.).

- Model (physical or digital model that includes the surrounding context with massing only, no texture or articulation is required). **The contextual model for the DRB boundary can be downloaded here: <https://greenvillesc.gov/364/Access-GIS-Data>, and is provided as a .skp file. Data is updated monthly.**

ARCHITECTURAL REVIEW

- Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, landscape drawings, design and location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- Detail Drawings (include material and methods of each type of construction affecting the exterior appearance of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and signage).
- Renderings (include perspective drawings, including views from pedestrian and public realm).
- Model (physical or digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed signage).

For more detail on these submittal requirements, please refer to the **Greenville Downtown Design Guidelines**, adopted May 2017.

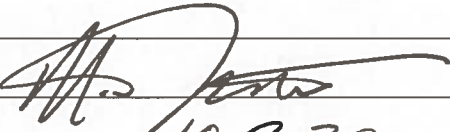
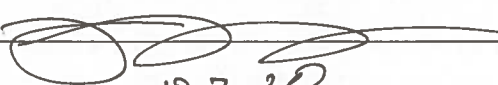
Please verify that all required information is reflected on the plan(s). Please submit one (1) paper copy and one (1) electronic version of the plan(s).

4. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application **is** ____ or **is not** ____ restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

*Signatures	
Applicant	
Date	10.2.20
Property Owner/Authorized Agent	
Date	10.2.20
Public Hearing information	
Public Hearing signs	



***LOT COVERAGE CHART SHALL BE COMPLETED FOR ALL SINGLE FAMILY BUILDING PERMITS EXCEPT THOSE PROPERTIES LOCATED IN THE S-1 ZONING DISTRICT.**

TOTAL LOT AREA (must be provided in square feet)	7,797 square feet			
BUILDING COVERAGE (building coverage is anything under roof supported by columns or walls)				
Use the boxes in this column to put descriptions if necessary.	Existing S.F.	Proposed S.F.	Demo S.F	Total S.F.
Principal structure				
Basement	1,411	0	0	1,411
1 st floor	1,270	0	0	1,270
2 nd floor	1,181	0	0	1,181
3 rd floor	0	0	0	0
Covered porches	226	0	0	226
Accessory structure(s) including garages (include all outbuildings)				
1 st floor	0	545	0	545
2 nd floor	0	0	0	0
Total building coverage	1,496	545	0	2,041
Percentage of lot area (40% maximum)				26.18%

Acreage
Calculator
Enter
Acreage

.179
Square
Footage
7,797

ADDITIONAL IMPERVIOUS COVERAGE (all areas not under roof including parking, driveways, walkways, steps, pools, decks/patios, etc.) Please note that gravel is considered impervious. For special design consideration, please provide construction details with your application.

	Existing S.F.	Proposed S.F.	Demo S.F.	Total S.F.
Uncovered patios/decks	115	0	0	115
Steps	109	0	0	109
Walkways	116	79	0	195
Driveways	420	312	420	312
Pool, including pool deck	0	0	0	0
Additional impervious areas (please specify): Hardscape Area	822	136	822	136
Total additional impervious coverage	1,582	527	1,242	867
Total building + total additional impervious coverage				2908
Percentage of lot area (60% maximum)				37.3%

TREES: Tree surveys are not required; however the location, species, and size of trees that are proposed to be retained and/or planted to meet these requirements shall be shown on all site plans, per Sec. 19-6.9.7.

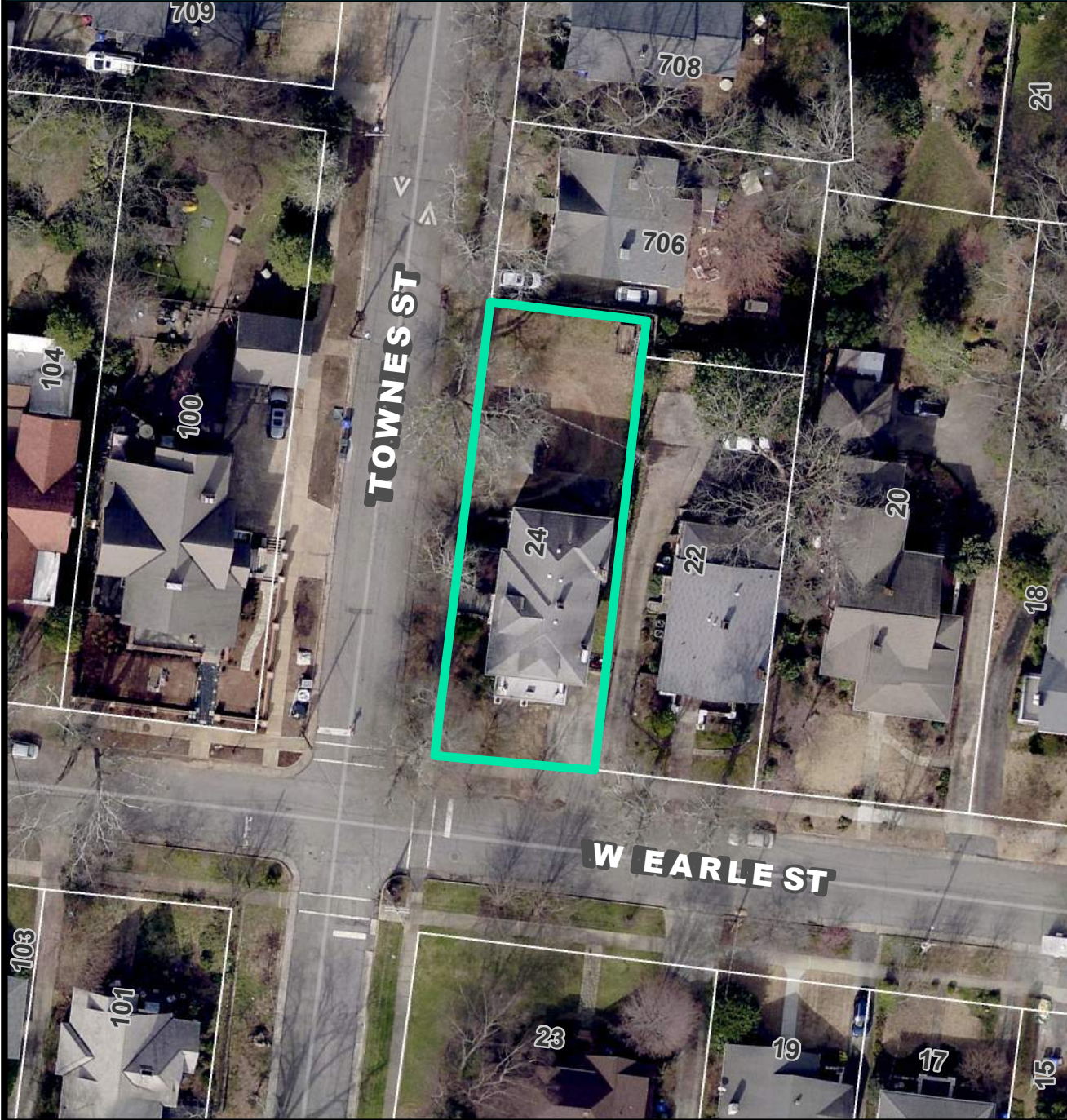
Number of required trees (refer to Sec. 19-6.9.7)	2
Number of existing canopy trees (6" caliper or greater) to be retained (each shall count as 2 new trees)	
Number of new trees (2.5" caliper or greater) to be planted	2

Single-family residential infill standards (refer to 19-6.9, Single-Family Residential Infill Standards) shall apply to the following developments located in established single-family residential areas, except those zoned S-1:

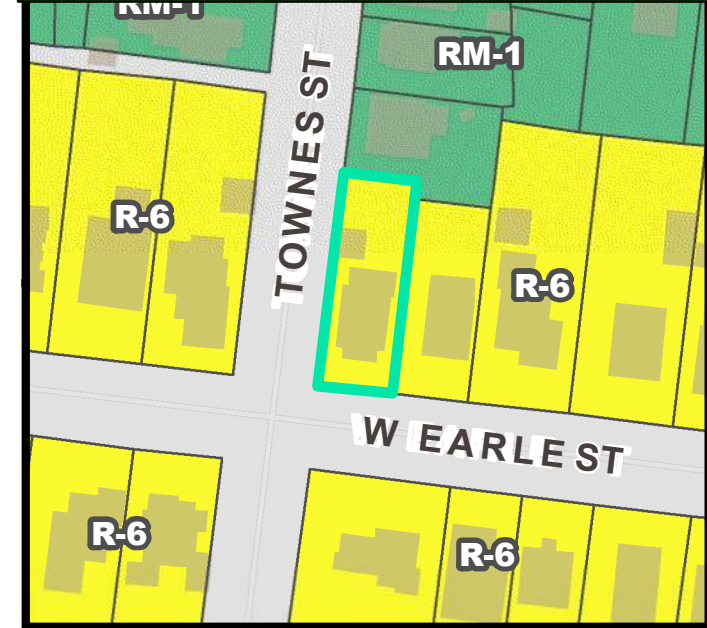
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- Construction of a new dwelling or garage/carport
- Addition of an attached garage/carport.
- Installation and/or expansion of a driveway
- Renovations/additions to a dwelling whose construction value exceeds 50 percent of the fair market value of the property as reflected on the Greenville County Tax Assessor's role. Renovations/additions phased over a five-year period shall be combined to determine applicability of the percent threshold criteria. Renovations/additions which do not alter the site are exempt, but are calculated in the five-year phased period above.
- Additions that increase the principle building footprint square footage by more than 40 percent. Additions phased over a five-year period shall be combined to determine the applicability of the percent threshold criteria.

CA 20-603 • 24 W. EARLE ST.

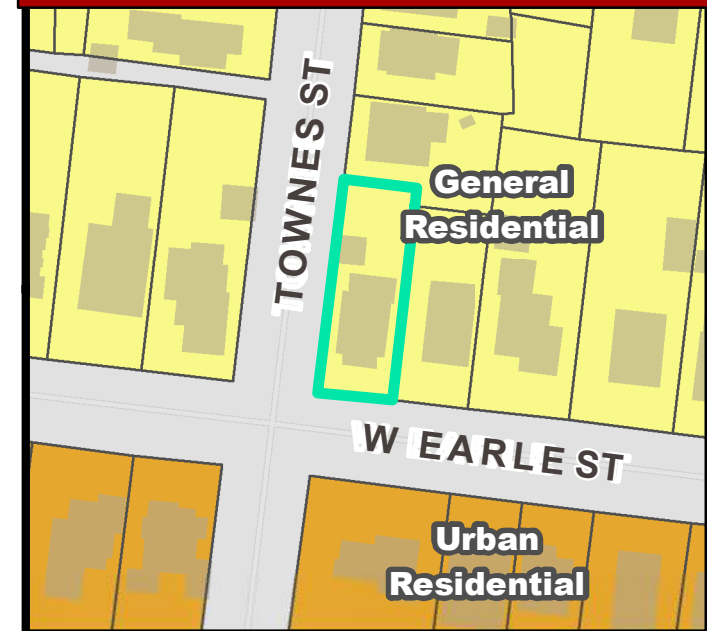
AERIAL VIEW



CURRENT ZONING



FUTURE LAND USE

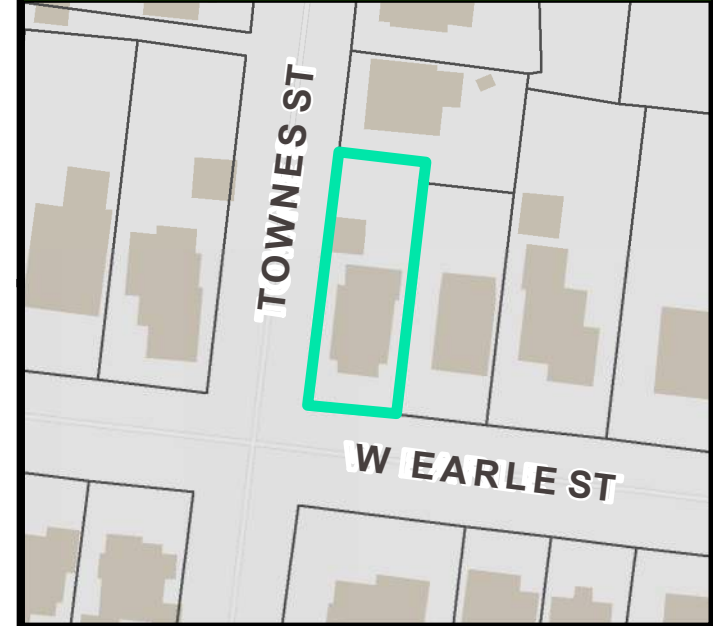


CA 20-603 • 24 W. EARLE ST.

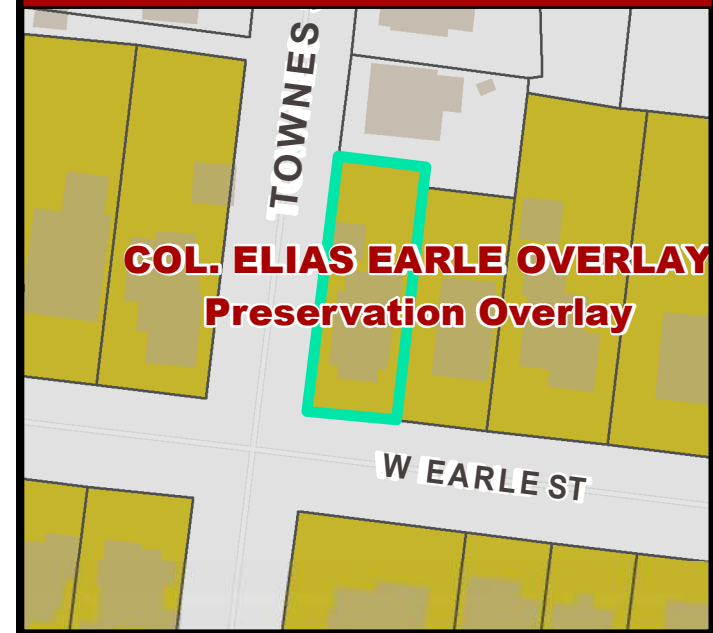
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS



A RENOVATION FOR:

JOHN PETRICH

24 W. EARLE STREET GREENVILLE, SC 29609



ARTIST RENDERING - FOR REFERENCE ONLY



14 Lake Forest Drive
Greenville, South Carolina 29609
T: 864.275.9766
matt@tindallarch.com

MEMBER OF THE AMERICAN INSTITUTE OF ARCHITECTS

A RENOVATION FOR:

JOHN PETRICH

24 W. EARLE STREET GREENVILLE, SC 29609

DESIGN TEAM	INDEX OF DRAWINGS	PROJECT NOTES - PLEASE READ!	VICINITY MAP	GRAPHICS LEGEND														
OWNER John Petrich 101 W. Earle Street Greenville, SC 29609 864.419.8563 ARCHITECT Tindall Architecture Workshop 14 Lake Forest Drive Greenville, SC 29609 864.275.9766	TITLE DRAWINGS T-100 DRAWING INDEX SHEET ARCHITECTURAL DRAWINGS A-001 ARCHITECTURAL SITE PLAN A-090 BASEMET LEVEL DEMOLITION PLAN A-091 MAIN LEVEL DEMOLITION PLAN A-100 BASEMENT LEVEL PLAN A-102 MAIN LEVEL PLAN A-104 SECOND LEVEL PLAN A-151 ROOF PLAN A-203 EXTERIOR RENDERINGS	1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE COUNTY OR STATE IN WHICH THE CONSTRUCTION IS PERFORMED AND ALL OTHER GOVERNING AUTHORITIES. 2. PERMITS AND APPROVALS SHALL BE OBTAINED FROM LOCAL AUTHORITIES PRIOR TO PROCEEDING WITH THE WORK. SELECTED LISCENSED CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS. 3. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED. 4. ALL MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN NOT INDICATED OR INCLUDED IS TO BE DESIGNED BY THE CONTRACTOR AND/OR CONTRACTOR'S SELECTED SUBCONTRACTOR. 5. PROVIDE ACCESS TO ATTIC SPACES AS REQUIRED BY CODE AND VERIFY ALL LOCATIONS WITH ARCHITECT. 6. INSTALL SOUND BATT INSULATION AT ALL MECHANICAL ROOMS, LAUNDRY ROOM, BATHROOMS AND THROUGHOUT FLOOR/CEILING ASSEMBLY. 7. PROVIDE WATERLINES, DRAINS AND ELECTRICAL REQUIREMENTS FOR ALL APPLIANCES. 8. COORDINATE REQUIREMENTS AND INSTALLATION OF THE WORK AS INDICATED ON THE DRAWINGS. CONCEAL PIPES, DUCTS, AND WIRING WITHIN THE CONSTRUCTION. COORDINATE THE WORK OF EACH TRADE TO ENSURE A COMPLETE PROJECT. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT WILL NOT PERMIT THE PROPER INSTALLATION OF THE WORK. PROVIDE ALL OTHER MATERIALS AND EQUIPMENT NOT SPECIFICALLY NOTED BUT REQUIRED FOR A COMPLETE AND OPERABLE INSTALLATION. 9. ADJUSTMENTS SHALL BE PERFORMED FOR ALL INSTALLED WORK TO ENSURE SMOOTH AND UNHINDERED OPERATION OF ALL MOVEABLE COMPONENTS OF THE WORK. 10. PROVIDE RADON CONTROL AS REQUIRED BY LOCAL CODES AND THE EPA. 11. FINAL CLEANING SHALL BE EXECUTED PRIOR TO FINAL INSPECTION. CLEAN CONSTRUCTION DEBRIS FROM SITE. REPLACE FILTERS OF OPERATING EQUIPMENT. REMOVE WASTE AND SURPLUS MATERIALS, RUBBISH, AND CONSTRUCTION FACILITIES FROM THE SITE. 12. PROTECT THE WORK AND THE EXISTING PROPERTY FROM UNAUTHORIZED ENTRY, VANDALISM AND THEFT. 13. THE ARCHITECT SHALL NEITHER HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND DIAGRAMMS IN CONNECTION WITH THE WORK SINCE THESE ARE SOELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES. 14. THE ARCHITECT REQUIRES A MINIMUM OF (5) BUSINESS DAYS NOTICE TO RESPOND TO ANY AND ALL RFIs AND SUBMITTALS. 15. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. SPECIFICATIONS ARE CONSIDERED PART OF THE CONSTRUCTION DOCUMENT SET. 16. THE SELECTED CONTRACTOR SHALL MAINTAIN CONTROL OVER HIS/HER SUBCONTRACTORS IN ORDER TO EXECUTE THE WORK COMPLETE AND MAINTAIN QUALITY CONTROL AT THE STIE.		DOOR TAG 2" = 2'-8" WIDE WINDOW TAG 24" X 36" = WIDTH X HEIGHT DH = DOUBLE HUNG CSMT = CASEMENT FXD = FIXED DRAWING TITLE A1 PLAN DRAWING LOCATION ON SHEET GRID DRAWING NAME 1/8" = 1'-0" DRAWING SCALE ENLARGED DETAIL INDICATOR A1 A101 DETAIL LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF DETAIL ROOM TARGET ROOM NAME (2201) Floor Finish FLOOR ELEVATION ----- BUILDING SECTION KEY A1 A-201 DIRECTION OF SECTION BUILDING SECTION LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF SECTION ELEVATION KEY A1 A-201 ELEVATION LOCATION ON SHEET GRID SHEET IDENTIFIER FOR LOCATION OF ELEVATION DIRECTION OF ELEVATION														
			PROJECT DESCRIPTION / INFORMATION	SQUARE FOOTAGE														
			PROJECT TYPE: CUSTOM RESIDENTIAL ADDRESS: 24 W. EARLE STREET GREENVILLE, SC 20609 TAX MAP #.: 0005000101200 PROPERTY AREA: .179 ACRES ZONING DISTRICT: R-6 DISTRICT BUILDING MATERIAL: BRICK BUILDING HEIGHT: 2 STORY EXISTING FOUNDATION TYPE: POURED CONCRETE AND BRICK, BASEMENT LEVEL	SQUARE FOOTAGE SUMMARY <table><tr><td>LOWER LEVEL HEATED SQUARE FOOTAGE</td><td>889</td></tr><tr><td>MAIN LEVEL HEATED SQUARE FOOTAGE</td><td>1,270</td></tr><tr><td>UPPER LEVEL HEATED SQUARE FOOTAGE</td><td>1,181</td></tr><tr><td>TOTAL NET SQUARE FOOTAGE</td><td>3,340</td></tr><tr><td>COVERED PORCHES</td><td>226</td></tr><tr><td>GARAGE / STORAGE</td><td>1,067</td></tr><tr><td>TOTAL GROSS SQUARE FOOTAGE</td><td>4,633</td></tr></table>	LOWER LEVEL HEATED SQUARE FOOTAGE	889	MAIN LEVEL HEATED SQUARE FOOTAGE	1,270	UPPER LEVEL HEATED SQUARE FOOTAGE	1,181	TOTAL NET SQUARE FOOTAGE	3,340	COVERED PORCHES	226	GARAGE / STORAGE	1,067	TOTAL GROSS SQUARE FOOTAGE	4,633
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REVISIONS		
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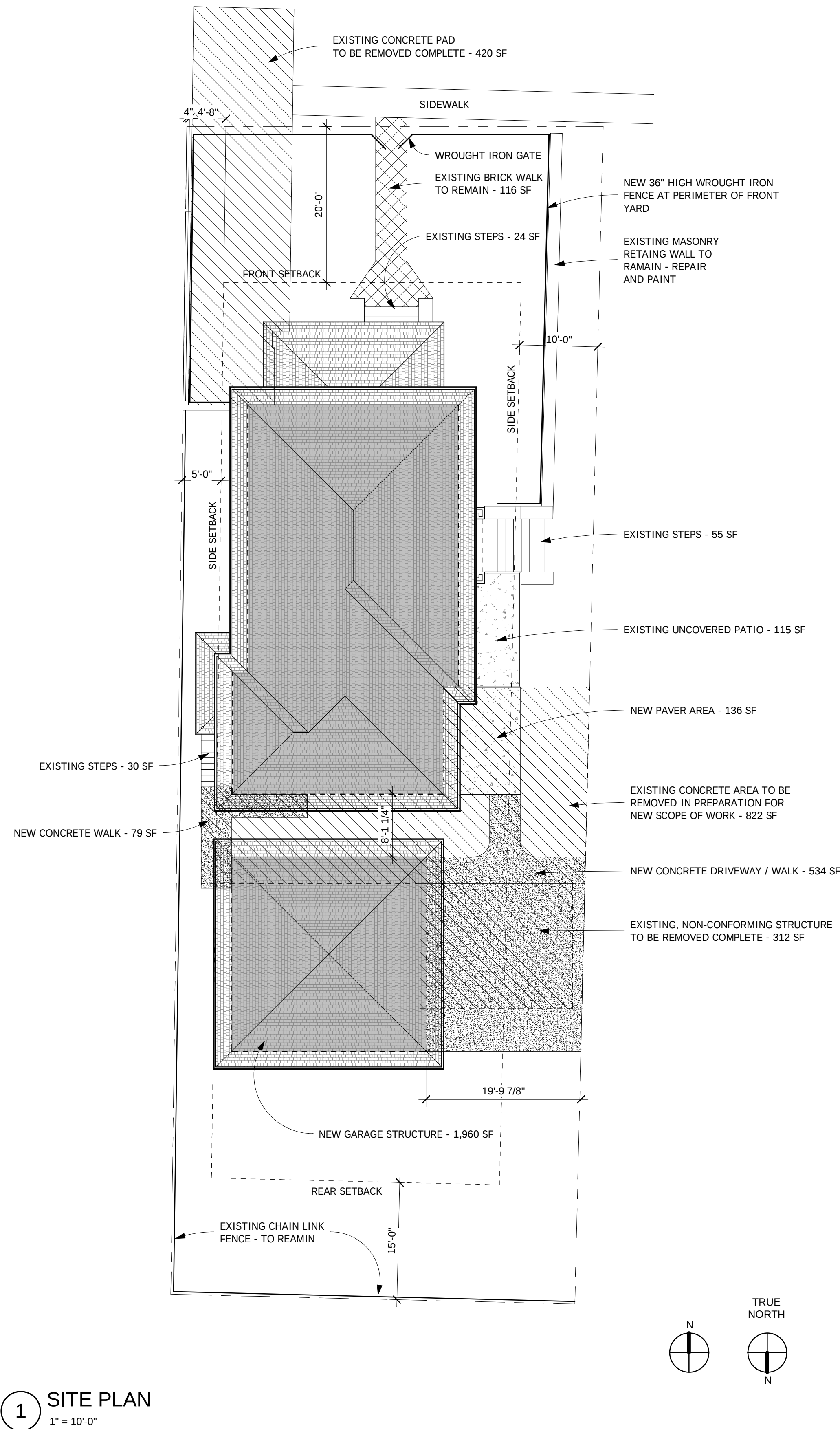
PROJECT: 2020-21
DATE: OCTOBER 1, 2020
DRAWN BY: BMT

DRAWING INDEX SHEET

T-100

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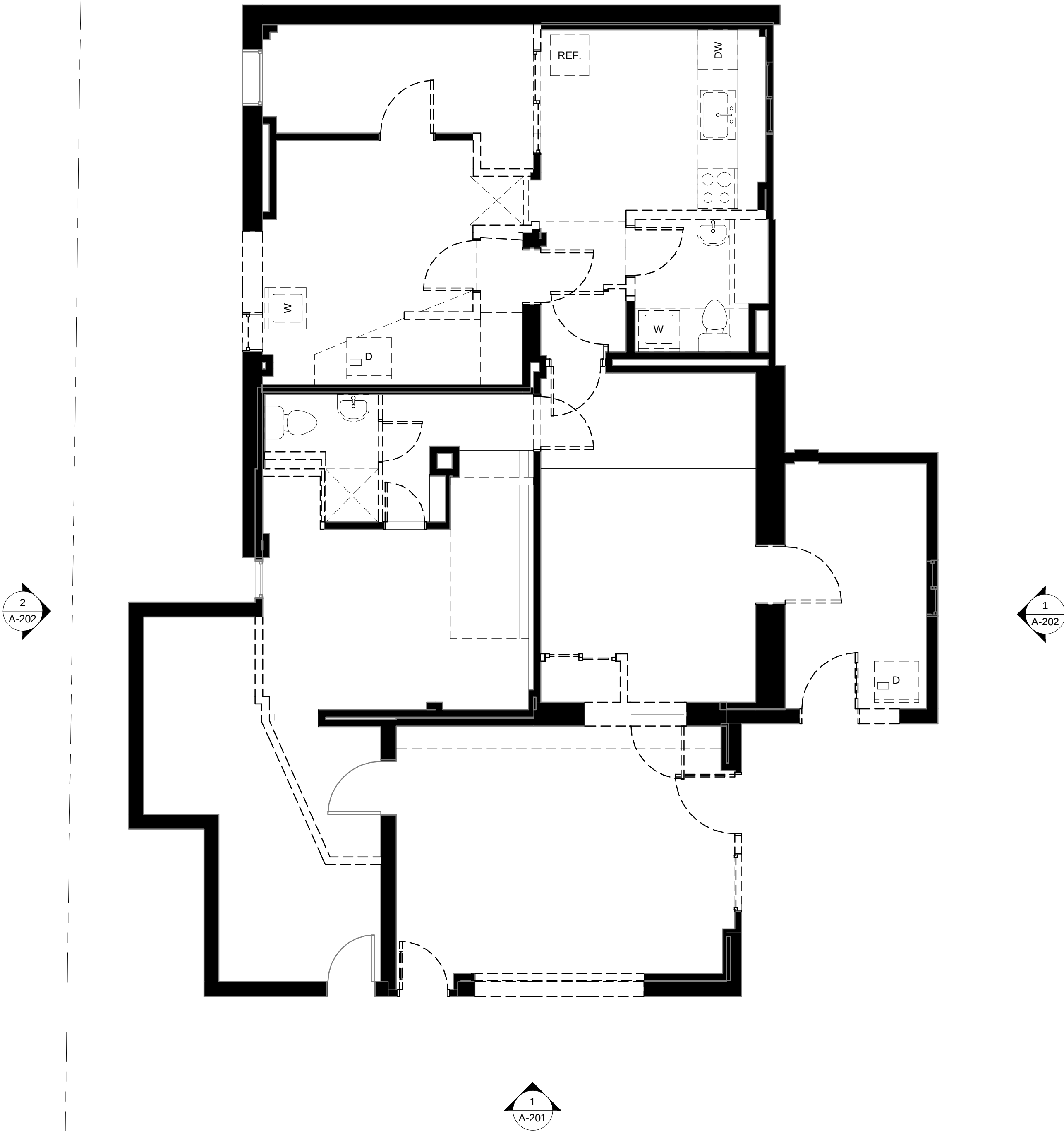
ARCHITECTURAL SITE PLAN

A-001

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1 BASEMENT - DEMOLITION
1/4" = 1'-0"



DEMOLITION PLAN SHEET NOTES

- DEMOLITION DRAWINGS ARE INTENDED TO SHOW GENERAL AREAS OF DEMOLITION AS WELL AS GENERAL EXISTING CONDITIONS. THE DRAWINGS DO NOT SHOW ALL WORK WHICH MAY BE NECESSARY.
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BASEMET LEVEL
DEMOLITION PLAN

A-090

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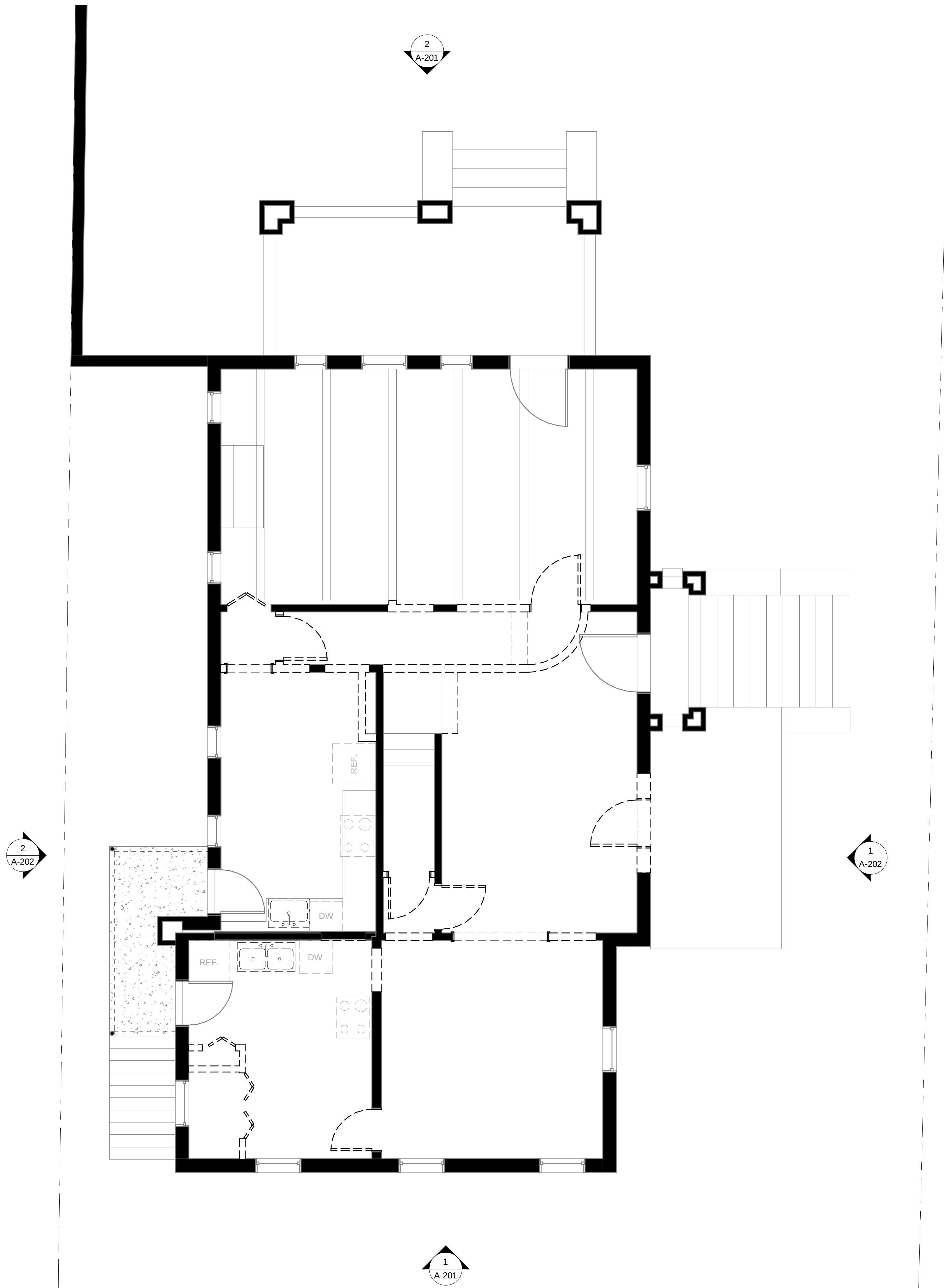


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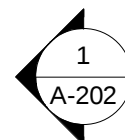
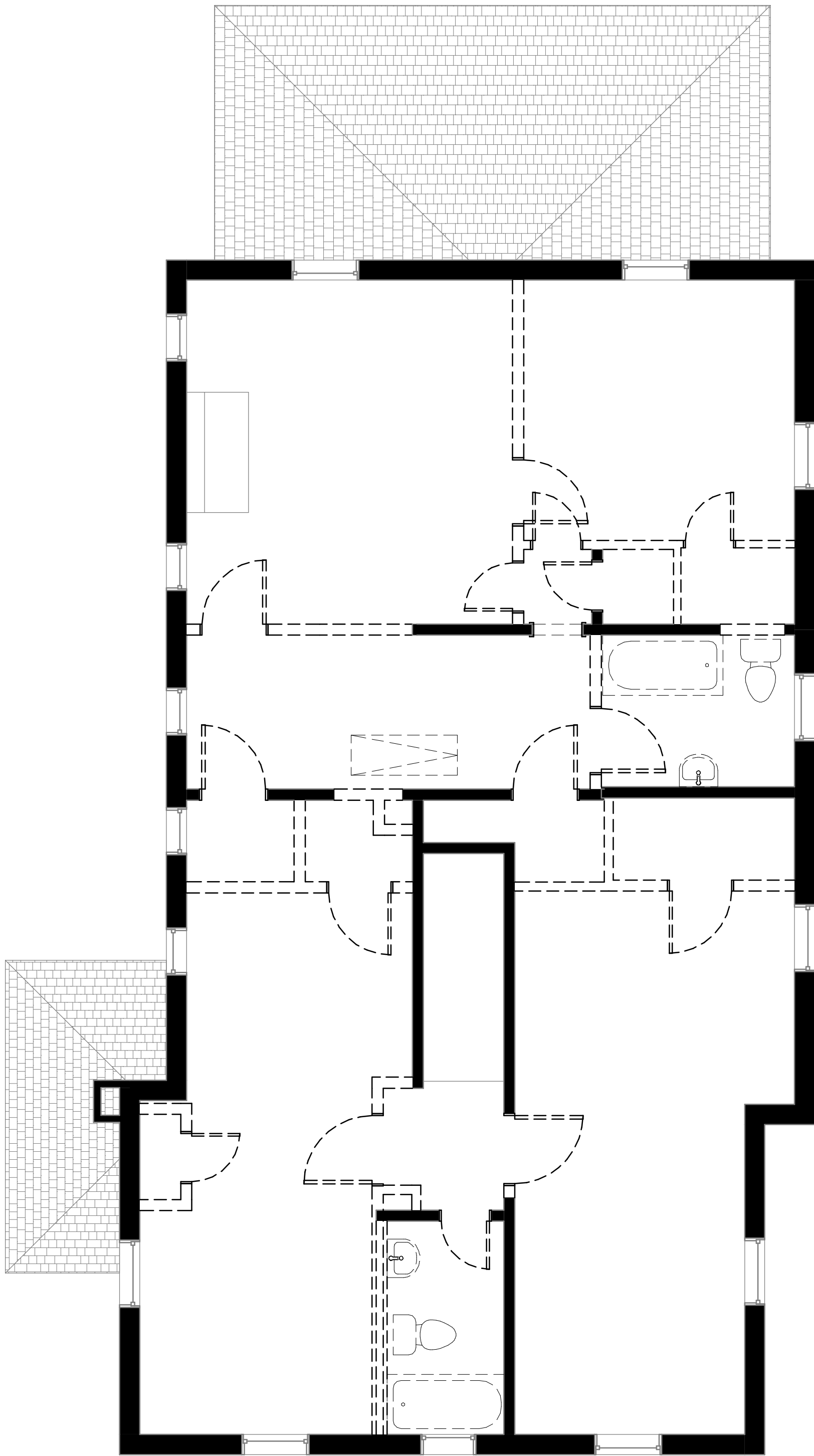
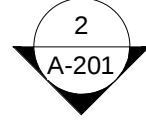
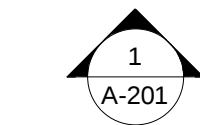
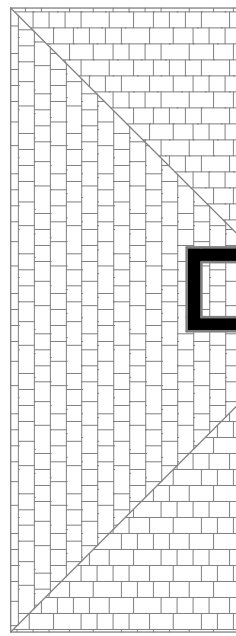
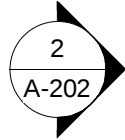
MAIN LEVEL DEMOLITION
PLAN

A-091

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1 2ND FLOOR - DEMOLITION
1/4" = 1'-0"



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SECOND LEVEL
DEMOLITION PLAN

A-092

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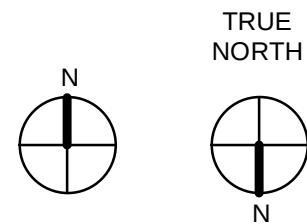
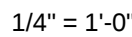
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A-100

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$$1/4" = 1'-0"$$




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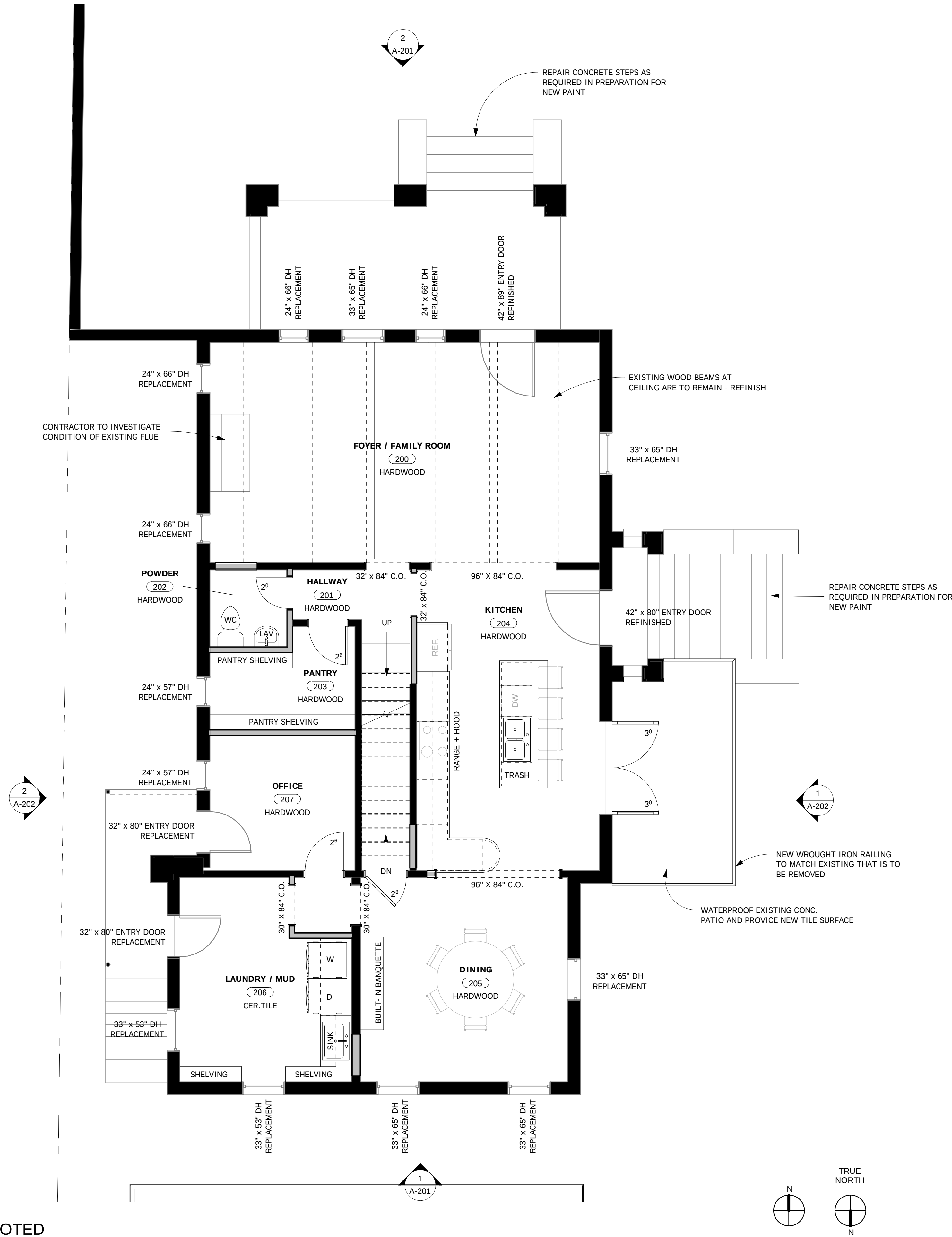
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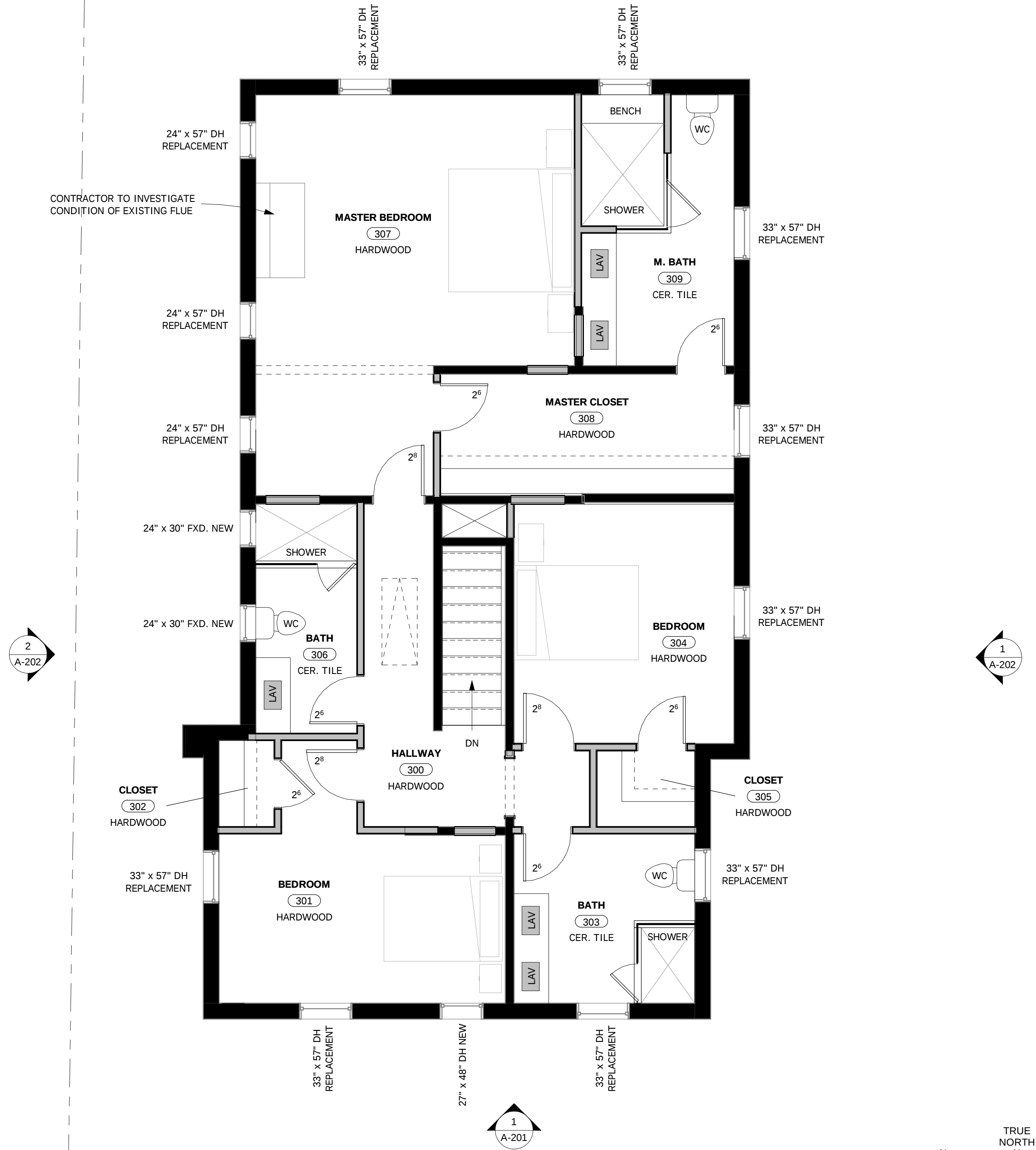
A-102

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1 1ST FLOOR - NEW NOTED
1/4" = 1'-0"

1 2ND FLOOR - NEW NOTED
1/4" = 1'-0"



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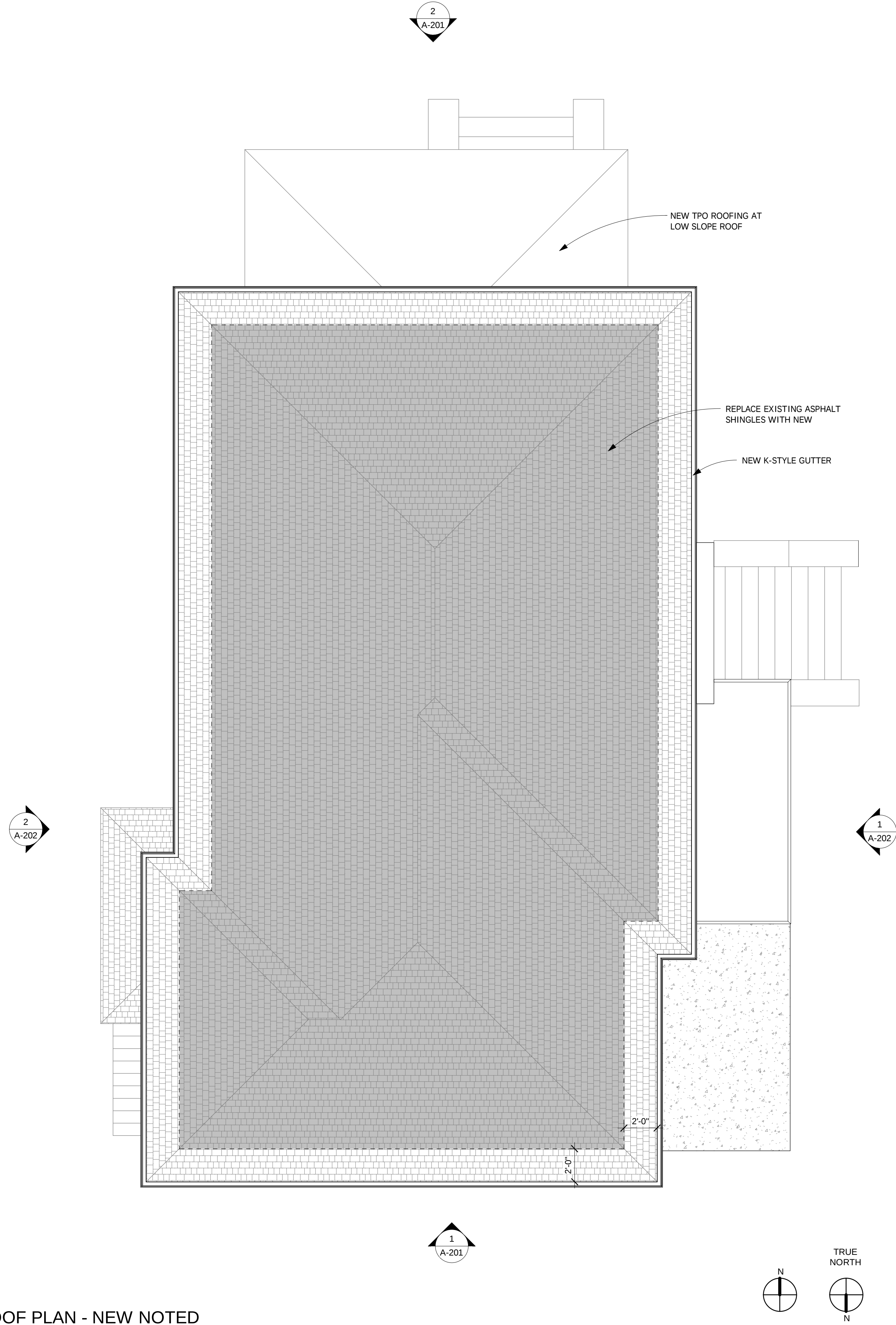
SECOND LEVEL PLAN

A-104

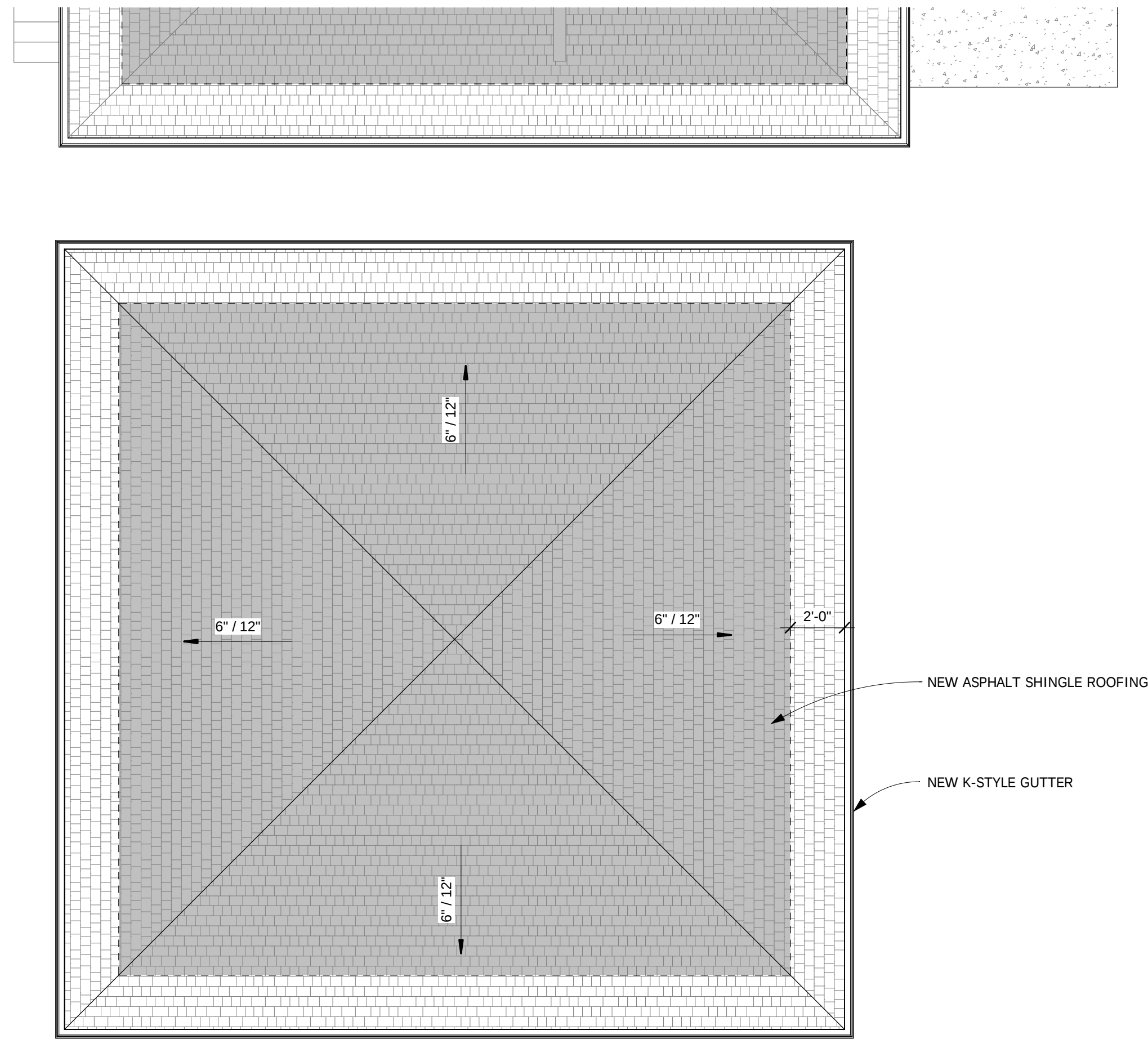
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1 ROOF PLAN - NEW NOTED
1/4" = 1'-0"



2 ROOF PLAN - NEW GARAGE
1/4" = 1'-0"



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DATE: OCTOBER 1, 2020
DRAWN BY: BMT

ROOF PLAN

A-151

FOR CITY DRB REVIEW
DO NOT SCALE DRAWINGS



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A RENOVATION FOR:
JOHN PETRICH
24 W. EARLE STREET GREENVILLE, SC 29609

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BETWEEN THE DRAWINGS, SPECIFICATIONS &
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REPORTED TO THE ARCHITECT IN WRITING.
WORK DONE BY THE CONTRACTOR AFTER
DISCOVERY OF SUCH DISCREPANCIES,
INCONSISTENCIES OR AMBIGUITIES THAT HAVE
NOT BEEN REPORTED SHALL BE DONE AT THE
CONTRACTOR'S RISK.

REVISIONS

No.	Description	Date

PROJECT: 2020-21
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EXTERIOR RENDERINGS

A-203

FOR CITY DRB REVIEW
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COLOR BOARD
Petrich Residence
24 W. Earle Street
Greenville, South Carolina
Col. Elias Earle Historic District

Re: For Neighborhood DRB Approval

Exterior Brick Veneer (Primary):

Brick veneer by General Shale / Belden Brick: Color "Number 9 Blend". Selected as a "best match" to the existing red brick veneer by a General Shale representative. To be used for new garage structure and minor repairs to the primary structure.



Exterior Brick Veneer Headers (Secondary):

Brick veneer by General Shale / Belden Brick: Color "Desert Sun Velour". Selected as a "best match" to the existing brick headers. To be used for new garage structure and minor repairs to the primary structure.

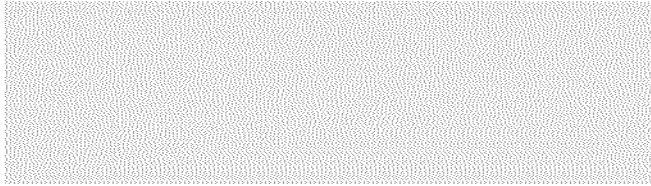


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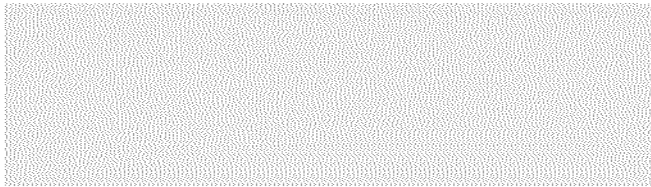
Masonry Wall Caps, Column Caps and Sills:

Existing concrete elements are to be painted Sherwin Williams 6995 "Super White" to match existing exterior color.



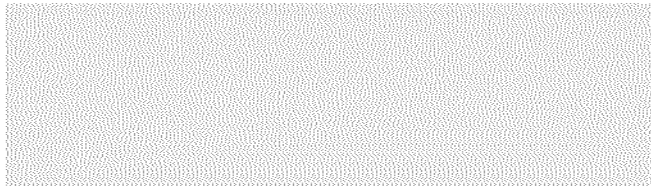
Exterior Trim and Soffits:

Wood. Smooth. Sherwin Williams SW 6995 "Super White" to match existing trim color. Repair and replace all damaged, exterior wood trim with new wood trim to match existing profiles and sizes.



Exterior Ceilings:

Beadboard. Smooth. Sherwin Williams 6995 "Super White" to match existing exterior ceiling color.



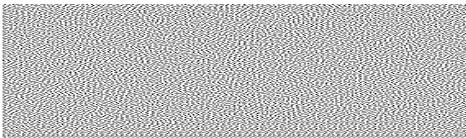
Exterior Windows and Doors:

All exterior brick moulding is to remain, painted Sherwin Williams 6995 "Super White". Size of profiled brick moulding is 2 ¾" x 1 ½".



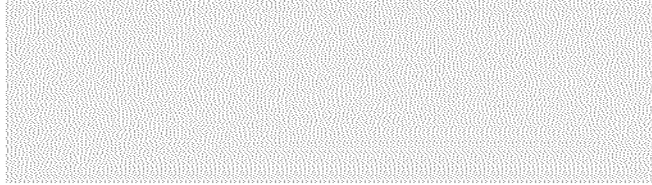
Primary Request:

All new windows are to be Ultimate Double Hung Insert G2 by Marvin. New grid patterns per exterior elevations. Color "Cashmere". Refer to exterior elevations.



Secondary Request:

All new windows are to be solid wood windows by Marvin or equal. New grid patterns per exterior elevations. To be painted Sherwin Williams 6995 "Super White". Refer to exterior elevations.



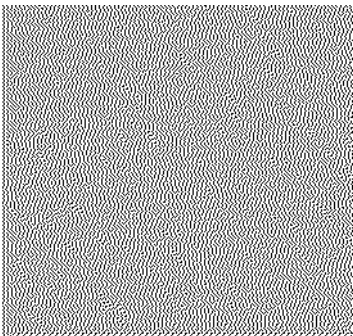
Exterior Siding (Dormers Only):

Existing asphalt shingle to be removed at sides of dormers and replaced with NuCdear shingle siding, color "Super White"



Stucco:

Existing stucco to be repaired and painted. To be painted Sherwin Williams 9111 "Antler Velvet".



Roofing (Primary):

Architectural Asphalt Shingle. Provide Owens Corning TruDefinition Duration Shingles: Color "Estate Gray".



Porch Floors and Steps:

Painted to match existing.



Gutters:

Aluminum 5" K-Style Gutters and 4" Round Downspouts. Color "White"



Metal Railing:

Wrought Iron Metal Railing. Sherwin Williams 6258 "Tricorn Black". New wrought iron metal railing is to match existing style. Existing railings require replacement.



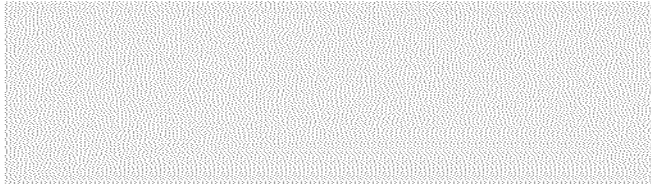
Front Door / Side Door on Townes:

Refinished wood and glass door per exterior elevations, stained "Hawthorne" SW3518 by Sherwin Williams.



Garage Door:

New steel and glass door per exterior elevations, painted Sherwin Williams 6995 "Super White".



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