

Design Review Board

Official Agenda



AGENDA

City of Greenville

Design Review Board – Neighborhood Panel

Agenda Workshop

12:00 PM Tuesday, February 1st, 2022

Please use the following methods to attend the meeting.

Virtual Meeting Viewing

<https://www.greenvillesc.gov/meeting>

Password: meetnow

Telephone: 1-415-655-0002

WebEx Event Number: 2347 237 8125

Note: The primary purpose of this workshop is for the Design Review Board – Neighborhood Panel to receive an overview of the applications on the upcoming public hearing agenda. The workshop is a public meeting open to the general public. No action or votes will be taken by the board on any agenda item at the workshop. Likewise, no public comments will be received during the workshop. Persons wishing to comment on an application are invited to do so at the public hearing on February 3, 2022.

Application materials are included with the Public Notice for the February 3rd, 2022 Public Hearing.

1. Welcome

2. OLD BUSINESS

NONE

3. NEW BUSINESS

A. RHP 20-0576F

Application by KATIE SKOLOFF for a HISTORIC PROPERTIES SPECIAL TAX ASSESSMENT for the 1211 Pendleton Street (TM# 0120000400100).

Documents:

[RHP 20-576F 1211 PENDLETON AGENDA PACKET.PDF](#)

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B. CA 22-0040

Application by LUKE SIMS for a CERTIFICATE OF APPROPRIATENESS for the modification to the approved SF design 21-703, at 305 Lloyd Street (TM# 00210000102400).

Documents:

[CA 22-0040 305 LLOYD AGENDA PACKET.PDF](#)

4. Other Business

A. None

5. Adjournment



**Planning Staff Report to
Design Review Board - Neighborhood
January 27th, 2022
for the February 3rd, 2022 Meeting**

Docket Number: RHP 20-576
Applicant: Katie Skoloff / Big AL, LLC
Property Owner: Big AL, LLC
Property Location: 1211 Pendleton St.
Tax Map Number: 012000-04-00100
Acreage: Approximately 0.14 acres
Zoning: RDV, Redevelopment District
Proposal: **REQUEST FINAL CERTIFICATION FOR SPECIAL TAX ASSESSMENT
FOR REHABILITATED HISTORIC PROPERTIES**

**Staff
Recommendation:** **Approve**

Staff Analysis:

The property is located at the intersection of Pendleton Street and Burdette Street and is an improved two-story brick building, commonly referred to as 'The Flatiron Building' or The Triangle Building.'

RHP 20-576, an application for *Preliminary Certification* for Special Tax Assessment for 2021 was approved in November 2021. The applicant has since rehabilitated the building's interior and exterior architecture in order to maintain and restore the historic character of the structure. Therefore, this application requests *Final Certification* for Special Tax Assessment for 1211 Pendleton Street.

According to the local ordinance, the special tax assessment may apply to the following:

1. Structure(s) rehabilitated; and/or
2. Real property on which the building is located.

Further, State regulations indicate that special assessments shall not apply to rehabilitation expenses on buildings or structures that are not historic (State Code of Regulations, Section 12-121, Part B).

Staff notes that the applicant received Part 1 Historic Preservation Certification approval from the State Historic Preservation Office (SHPO) on March 9th, 2020. The Applicant has since been

approved by SHPO for parts 2 and 3 and the property is now listed on the National Historic Register.

Staff Recommends:

Approval of RHP 20-0576 Final Certification.



city of greenville

APPLICATION FOR HISTORIC PROPERTIES SPECIAL TAX ASSESSMENT

Contact Planning & Development (864) 467-4476

Office Use Only:

Application# _____ Fees Paid _____
Date Received _____ Accepted By _____
Date Complete _____ App Deny Conditions _____

APPLICANT/OWNER INFORMATION

*Indicates Required Field

	APPLICANT	PROPERTY OWNER
*Name:	Katie Skoloff	Katie Skoloff / Big AL, LLC
*Title:	Owner	Owners
*Address:	1211 Pendleton Street	14 Ridgeland Drive
*State:	SC	SC
*Zip:	29611	29601
*Phone:	864-607-3153	864-607-3153
*Email:	katie@in-site-designs.com	katie@in-site-designs.com

PROPERTY INFORMATION

*STREET ADDRESS 1211 Pendleton Street, Greenville SC 29611

*TAX MAP #(S) 84-3482773

*PRESERVATION DISTRICT * Recommended District: Village of West Greenville

PROJECT INFORMATION

*TYPE OF APPLICATION: _____ Preliminary ☒ Final

*ORIGINAL APPLICATION # (put N/A if not applicable) 20-576

*USE: _____ Owner-occupied ☒ Income-producing

*(ESTIMATED) PROJECT START DATE April 1, 2021

*(ESTIMATED) PROJECT COMPLETION DATE January 30th, 2022

*(ESTIMATED) PROJECT COSTS \$ 1,325,000.

*(ESTIMATED) QUALIFIED HISTORIC EXPENDITURES \$ 927,500.

*FAIR MARKET VALUE OF BUILDING/PROPERTY \$ 151,430.

TAXABLE VALUE OF PROPERTY \$ 151,430.

HISTORIC DESIGNATION

HISTORIC NAME OF PROPERTY (IF KNOWN) "The Triangle Building" AKA "The Flatiron Building"

*Signatures	
Applicant	
Date	01/13/22
Property Owner/Authorized Agent	
Date	01/13/22

Special Tax Assessment for Rehabilitated Historic Properties A Quick Reference

1. The special tax assessment for rehabilitated properties allows a historic property tax assessment to be 'frozen' at pre-rehabilitation value for up to 10 years for qualifying rehabilitation work.
2. A request for special tax assessment is evaluated by and acted upon by the Design Review Board (DRB), a ten-member board of Greenville citizens appointed by City Council
3. The Board is split into two Panels: the Neighborhood Design Panel hears applications in the Preservation Overlay Districts; the Urban Design Panel hears applications in the Central Business District
4. The property being considered for special tax assessment must be designated as 'historic' based on the following standards:
 - A. It is listed in the National Register of Historic Places.
 - B. It is at least 50 years old and is designated as a historic property by the DRB in accord with this article; or
 - C. It is at least 50 years old and is located in a historic district which has been designated as a preservation overlay district by the city zoning ordinance.
 - D. It meets such other and additional requirements as may be established by the General Assembly in the future.
 See Sec. 40-152, *Certification; Criteria for "historic" designation*, of the City Code for more details.
5. Obtaining a special tax assessment is a two-step process:
 - A. Preliminary Certification: The DRB determines that the building qualifies as 'historic', and determines that the proposed rehabilitation work complies with design standards and required expenditures. Preliminary certification begins the special tax assessment and it valid for 2 years. During these 2 years, the rehabilitation work should be completed.
 - B. Final Certification: Once the project is completed, the DRB will verify the work was completed as approved and that qualified expenditures were made. Upon final certification, the special tax assessment will continue for the remainder of up to 10 years.
6. The Design Review Board evaluates the proposed rehabilitation work for consistency with The Secretary of the Interiors Standards and the City of Greenville design guidelines through a Certificate of Appropriateness application and process. Because most of the qualifying expenditures will be on interior work, the DRB will evaluate proposed rehabilitation on the interior of the building. The DRB will be focused on the public/semi-public spaces of the building (i.e. the foyer/living room/dining room in a residential building; the lobby/assembly spaces in a nonresidential building).
7. The qualifying expenses in the rehabilitation work must exceed 50% of the fair market value of an owner-occupied building, and 100% of an income-producing property.
8. Qualifying expenses include work required to stabilize and restore the historic structure, and to upgrade systems for modern occupancy (including kitchens, baths, HVAC, electrical and plumbing). The costs of additions are not qualifying expenditures. See Sec. 40-153, *Standards for review of rehabilitation work*, of the City Code for more specifics.
9. The Special Tax Assessment can be de-certified for the following reasons:
 - A. Written notice by the owner to the DRB and Greenville County Auditor to remove the preferential assessment;
 - B. Sale or transfer of ownership during the special assessment period, other than in ordinary course within probate proceedings;
 - C. Removal of historic designation by the Greenville City Council; or
 - D. Rescission of the approval of rehabilitation work by the DRB because of alterations or renovations by the owner or his estate which cause the property to no longer possess the qualities and features which made it eligible for Final Certification.
10. For more information regarding Special Tax Assessment for Rehabilitated Historic Properties see Chapter 40 of the Greenville City Code at www.municode.com/library/sc/greenville/codes/code_of_ordinances?nodeId=COOR_CH40TA



November 10, 2020

Katie Skoloff
14 Ridgeland Dr.
Greenville, SC 29601

RE: Rehab. Historic Properties # RHP 20-576
1211 Pendleton St TMS # 012000-04-00100

Preliminary Certification for Special Tax Assessment for Rehabilitated Historic Properties

Dear Ladies and Gentlemen:

On 11/5/2020 the Design Review Board – Neighborhood Panel *Approved* your request for a Rehabilitated Historic Properties Preliminary Tax Assessment at the above referenced location. The approval is based on your application as presented and compliance with *Design Guidelines for the Preservation Overlay Districts*. This approval includes a tax assessment period of up to ten (10) years.

You must obtain any required permits before beginning construction or installation. Approval of this Certificate of Appropriateness authorizes that the design conforms to the applicable design guidelines and does not constitute permit approval. All proposed work shall comply with the zoning district requirements, including building setbacks, building height, permitted uses, sign regulations, and applicable development and design standards.

If you believe the Commission erred in its decision you have the right to appeal to Circuit Court. Such appeal must be filed within 30 days of the date you receive this notice, and must indicate why you believe the decision is illegal, either in whole or in part (Sec 19-2.3.8(j)). This Certificate of Appropriateness shall be deemed void as determined by the decision-making body.

Sincerely,

Matthew D. Lonnerstater, AICP
Development Planner



**Planning Staff Report to
Design Review Board - Neighborhood
October 30th, 2020
*for the November 5th, 2020 Meeting***

Docket Number: RHP 20-576
Applicant: Katie Skoloff / Big AL, LLC
Property Owner: Big AL, LLC
Property Location: 1211 Pendleton St.
Tax Map Number: 012000-04-00100
Acreage: Approximately 0.15 acres
Zoning: RDV, Redevelopment District
Proposal: **REQUEST PRELIMINARY CERTIFICATION FOR SPECIAL TAX
ASSESSMENT FOR REHABILITATED HISTORIC PROPERTIES**
**Staff
Recommendation:** **Approve**

Staff Analysis:

The applicant requests Preliminary Certification for Special Tax Assessment for 1211 Pendleton St, which is zoned RDV – Redevelopment District. The property is located at the intersection of Pendleton St. and Burdette St. and is an improved two-story brick building commonly referred to as ‘The Flatiron Building’ or The Triangle Building.’ The applicant’s plan to rehabilitate the building includes interior and exterior renovation work in order to maintain and restore the historic character of the structure. All interior renovations primarily involve the reorganization of tenant space.

According to the local ordinance, the special tax assessment may apply to the following:

1. Structure(s) rehabilitated; and/or
2. Real property on which the building is located.

Further, State regulations indicate that special assessments shall not apply to rehabilitation expenses on buildings or structures that are not historic (State Code of Regulations, Section 12-121, Part B).

Staff notes that the applicant received Part 1 Historic Preservation Certification approval from the State Historic Preservation Office (SHPO) on March 9th, 2020. The applicant has applied for Part 2 approval which is currently under review by SHPO.

The Design Review Board must make several findings in order to grant preliminary certification:

1. **The property must qualify as historic.** A property shall qualify as "historic" for the special assessment when, *"it is at least 50 years old and is designated as a historic property by the design review board in accord with this article."* In order for a building which is 50 years old to qualify as "historic" when it is not within a preservation overlay district and when it is not listed on the National Register of Historic Places, the building must be shown to meet one of the following criteria:
 - a. The structure's architectural design and materials of construction are good examples of those types of design and construction recognized among architects and preservationists as having had historical significance in the city's development;
 - b. The structure is associated in a meaningful way with a person or group who made a significant contribution to the city's political, economic, religious, social, artistic, or literary development; or
 - c. The structure is associated with a person or group recognized on the state or national level as having made significant contributions to science, religion, politics, business, literature, the arts, or other professions.

Staff Findings: The property is not located within a listed historic district. However, the property is located within an eligible National Register historic district (Pendleton Street Commercial District), as determined by the State Historic Preservation Office (SHPO). The property is identified in the 2018 Historic Resource Survey, which indicates the structure was built in 1919.

According to the applicant's submittal, the subject building served as the headquarters for the Textile Workers Organizing Committee (TWOC), an organization that fought to defend mill workers' rights to secure better wages and to ensure safe working conditions. TWOC held meetings in the Triangle Building between 1937 and 1939 when the building was known as the 'Textile Workers Organizing Committee Hall.' Per the applicant, other prominent building occupants included the Piedmont Plush Mill's Sewing Department and the Woman's Missionary Union of the First Baptist Church. In addition, the building housed retail space for these textile uses.

Staff finds that this criteria is met due to the structure's age in excess of 50 years, its association with TWOC, and its unique flatiron architecture and prominent location, as well as the structure's contribution to the local small business fabric of the neighborhood.

2. **The rehabilitation is appropriate for the historic building** and the historic district in which it is located. This is achieved through adherence to the Secretary of the Interior's Standards for Rehabilitation and applicable City of Greenville design guidelines. The following work will be reviewed according to these standards:
 - a. Repairs to the exterior of the designated building;
 - b. Alterations to the exterior of the designated building;
 - c. New construction on the property on which the building is located;
 - d. Alterations to interior primary spaces; and
 - e. Any remaining work where the expenditures for such work are being used to satisfy the minimum expenditures for rehabilitation.

Staff Findings: The applicant proposes to renovate and rehabilitate the exterior and interior of the commercial structure.

Proposed Exterior Modifications: The application proposes to replace existing storefronts, windows and doors with aluminum-clad systems featuring historically-accurate profiles. Additionally, the applicant proposed install awnings to the first floor and second floor entrances and replace the exterior staircase on the western building façade. Exterior brick is proposed to be repointed and re-secured with mortar/mortar joints.

Proposed Interior Modifications: The applicant proposes to modify previously-subdivided tenant spaces by rejoining two of the ground-floor units into one unit and subdividing the second-floor space into two units. A new interior staircase and modern elevator are proposed.

Staff finds that this criteria is met based on the appropriateness of the proposed rehabilitation and its consistency with the Secretary of the Interior's Standards for Rehabilitation. Further, the project has received Part 1 for approval for Historic Preservation Certification through SHPO.

3. The minimum expenditures for rehabilitation must exceed 100% of the fair market value of an income-producing property. The fair market value of the property may be the sales price as delineated in a bona fide contract of sale within six months of the time it is submitted. Expenditures for rehabilitation mean the actual cost of rehabilitation relating to one or more of the following:
 - a. Improvements located on or within the historic building as designated;
 - b. Improvements outside of but directly attached to the historic building which are necessary to make the building fully useable (such as vertical circulation), but shall not include rentable/habitable floor space attributable to new construction;
 - c. Architectural and engineering services attributable to the design of the improvements; or
 - d. Costs necessary to maintain the historic character or integrity of the building.

Staff Findings: Per the Greenville County Property Appraiser, the fair market value (FMV) of the entire property is \$151,430. The property will produce income, meaning that the qualifying costs for rehabilitation must exceed 100% of this fair market value. The applicant has provided a cost estimate showing project costs exceeding \$1,000,000.

Staff finds that this criteria is met based on the provided project cost estimate.



city of greenville

APPLICATION FOR HISTORIC PROPERTIES SPECIAL TAX ASSESSMENT

Contact Planning & Development (864) 467-4476

Office Use Only:

Application# _____ Fees Paid _____
Date Received _____ Accepted By _____
Date Complete _____ App Deny Conditions _____

APPLICANT/OWNER INFORMATION

*Indicates Required Field

APPLICANT		PROPERTY OWNER
*Name:	Katie Skoloff / Big AL, LLC	Same
*Title:	Owner	
*Address:	14 Ridgeland Drive, Greenville	
*State:	South Carolina	
*Zip:	29601	
*Phone:	864-607-3153	
*Email:	katie@in-site-designs.com	

PROPERTY INFORMATION

*STREET ADDRESS 1211 Pendleton Street, Greenville SC 29611

*TAX MAP #(S) 0120000400100

*PRESERVATION DISTRICT Suggested Nomination by WLA Studio in 2007 for the Village of West Greenville

PROJECT INFORMATION

*TYPE OF APPLICATION: ☒ Preliminary ☐ Final

*ORIGINAL APPLICATION # (put N/A if not applicable) N/A

*USE: ☐ Owner-occupied ☒ Income-producing

*(ESTIMATED) PROJECT START DATE Nov 15th, 2020

*(ESTIMATED) PROJECT COMPLETION DATE June 1st, 2021

*(ESTIMATED) PROJECT COSTS \$ 1,146,000.00

*(ESTIMATED) QUALIFIED HISTORIC EXPENDITURES \$ 687,600.00

*FAIR MARKET VALUE OF BUILDING/PROPERTY \$ 151,430.00

TAXABLE VALUE OF PROPERTY \$ 151,430.00

HISTORIC DESIGNATION

HISTORIC NAME OF PROPERTY (IF KNOWN) "The Triangle Building" AKA "The Flatiron Building"

***THIS BUILDING IS:** ____ City Landmark Building (Not Yet but will Apply)

____ Contributing structure in local historic district

____ Contributing structure in National Register District

____ National Register Structure

X Other: Give brief overview of the history of the building

The building is located in a suggested historic district for the National Register based on a survey by WLA in 2007. See attachment for the full history brief.

INSTRUCTIONS

1. All applications and fees (made payable to the City of Greenville) must be received by the planning and development office no later than 2:00 pm of the date reflected on the Design Review Board schedule.
 - A. APPLICATIONS FOR OWNER OCCUPIED BUILDINGS \$150.00
 - B. APPLICATIONS FOR INCOME-PRODUCING BUILDINGS \$300.00 Attached Check.
2. The staff will review the application for “sufficiency” pursuant to Section 19-2.2.6, Determination of Sufficiency and will contact the applicant to correct any deficiencies which must be corrected prior to placing the application on the Design Review Board agenda.
3. You must attach the following required documents. The Board may request additional information at any time to fully understand the proposal. Items submitted to the Board become the property of the City and will not be returned.

Please submit the following supporting documentation:

- Approval and or review of a Federal Tax Application from the SC Department of Archive and history, if applicable.
- Value of the property prior to the rehabilitation
- Written narrative indicating how the property qualifies as historic (Sec.40-15 (C and D))
- Plans and other documents detailing the proposed rehabilitation and
- Estimated qualifying rehabilitation expenditures.

Please verify that all required information is reflected in the submittal package. Please submit one paper copy and one (1) electronic version of the submittal package.

4. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant’s behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

5. To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application **is** ____ or **is not** X restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

*Signatures	
Applicant	Big AL, LLC 
Date	09/25/2020
Property Owner/Authorized Agent	Katie Skoloff 
Date	09/25/2020

Special Tax Assessment for Rehabilitated Historic Properties A Quick Reference

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 - C. Removal of historic designation by the Greenville City Council; or
 - D. Rescission of the approval of rehabilitation work by the DRB because of alterations or renovations by the owner or his estate which cause the property to no longer possess the qualities and features which made it eligible for Final Certification.
10. For more information regarding Special Tax Assessment for Rehabilitated Historic Properties see Chapter 40 of the Greenville City Code at www.municode.com/library/sc/greenville/codes/code_of_ordinances?nodeId=COOR_CH40TA



Sep 25, 2020
1211 Pendleton Street
Greenville SC 29611
Special Tax Assessment for Historic Properties Application
Katie Skoloff for Big AL, LLC

Courtney and Kevin,

Thank you both for the opportunity to submit this application for the Special Tax Assessment for our property located at 1211 Pendleton Street in Greenville. Please find enclosed the requested documentation and a copy of the application itself and a check for \$300 for the processing made out to the City of Greenville.

Many thanks,
Katie Skoloff
864-607-3153
katie@in-site-designs.com

SUPPORTING DOCUMENTATION

1. Approval and or review of a Federal Tax Application from the SC Department of Archives and History, if applicable;

The project is under review. Part 1 was approved March 9th, 2020 and Part 2 is currently under review. Part 2 was submitted on Oct 28th, 2020. Part 2 is Attached. (Electronic File Name: "Triangle Building Statement of Significance" and "Triangle Part 2 Submittal")

2. Value of the property prior to the rehabilitation;

Greenville County Property Appraiser's current assessed tax value: \$151,430.00
Documentation Attached. (Electronic File Name: "Current Assessed Value")

3. Written narrative indicating how the property qualifies as 'historic' (Sec. 40-152A)

See Attached Exhibit A in Cover Letter "Historic Brief on 1211 Pendleton Street" (Electronic File Name: "Cover Letter for 1211 Pendleton Street")

4. Plans and other documents detailing the proposed rehabilitation; and

See Attached Exhibit B "Proposed Rehabilitation" also Part 1 Documentation is Attached with this description. Plans are also attached. (Electronic File Name: "Cover Letter for 1211 Pendleton Street")

5. Estimated qualifying rehabilitation expenditures.

\$1,146,000.00. Contractor's Estimate Attached. (Electronic File Name: "1211 Pendleton Street Cost Estimate")



EXHIBIT A: Historic Brief on 1211 Pendleton Street, Greenville SC 29611

Subject Property:

The “Triangle Building” or “Flatiron Building” in West Greenville
1211 Pendleton Street
Greenville, SC 29611

Statement of Significance:

The Triangle Building is significant on the local level under **Criterion A** in the areas of social history, industry, and commerce as an important and unique vestige of Greenville’s long and complex history with the textile industry. The building occupies a prominent location at the center of the Village of West Greenville, at the interface of the historic commercial core of Pendleton Street Commercial District¹ and adjacent residential mill villages. The Triangle Building is situated near the center of what is known locally as Greenville’s “textile crescent”—a roughly crescent-shaped area located west of Greenville that historically included a cluster of 19 textile mills and overlapping villages, some of which are listed in the National Register of Historic Places. Historically, the Triangle Building achieved prominence as a centrally-located and iconic (in part owing to its triangular shape) commercial and industrial building serving the West Greenville community. Its primary significance, however, is achieved through its association with, and use by, several important local social organizations during a period from the early 1930s until the late 1940s.

In the area of social history, the building is associated with the Textile Workers Organizing Committee (TWOC), which formed in 1937. The TWOC was a branch of the Congress of Industrial Organizations (CIO), which led an effort to organize all mass production industries in America during the early twentieth century. As the headquarters of the Greenville TWOC, the Triangle Building recalls mill workers’ efforts to organize in defense of their rights, to secure better wages, and to ensure safe working conditions. The Triangle building stands as a visual reminder of the struggle between workers and mill management that characterized Greenville’s early twentieth-century textile economy and the important civic support the union provided for families in West Greenville.

Association with unionization efforts of the 1930s:

The TWOC held meetings in the Triangle Building from 1937 to 1939. During that time, the building was known locally as the Textile Workers Organizing Committee Hall. Local proponents of unionization of the textile industry held public rallies and TWOC business meetings in the building. Regionally- and nationally-acclaimed leaders of the labor movement were featured at many of the meetings.

¹ In 2018, the South Carolina Historic Preservation Office determined Pendleton Street Commercial District eligible for listing in the National Register of Historic Places as locally significant as a representation of commercial



development coinciding with early industrialization in the West Greenville area.

The Triangle Building's prominence in the heart of Greenville's textile crescent made it the ideal location for the TWOC's hall. While unionization of Greenville's textile industry was, for many local citizens, a long and hard-fought battle that resulted in little to no success, TWOC efforts resulted in at least one major success. In July 1938, a majority of employees of Woodside Mill in West Greenville voted to unionize under the protection of the TWOC. One month later, workers and mill executives met with TWOC officials in the Triangle Building to negotiate worker's terms and finalize a labor contract.² The Triangle Building is the last remaining physical resource with integrity associated with unionization efforts of textile workers in the Greater Greenville area during the early twentieth century.

Association with other important social organizations:

The Triangle Building was constructed sometime between 1924 to 1928. Prior to being used as the TWOC Hall in the late 1930s, the Piedmont Plush Mill operated its "Sewing Department" on the building's second floor—which utilized fabric produced in the mill to produce finished goods for wholesale and retail. Although research has not revealed who designed or built the Triangle Building, Piedmont Plush Mill (at the intersection of Traction and Easley Bridge Road approximately three blocks to the southeast) was constructed at approximately the same time. Prominent local architect J. E. Sirrine designed the mill.

Before the spring of 1933, mill executives moved the Sewing Department operation to a facility located on the grounds of the Piedmont Plush Mill. That year, with the economic hardships of the Great Depression in full effect, W. R. Young, Mayor of West Greenville at the time, and the Reconstruction Finance Corporation (RFC) initiated a local program to "alleviate an unemployment situation in the community."³ The effort involved employing 57 local women in a supervised "sewing room" housed in the Triangle Building. These employees worked in the "West Greenville Sewing Room" five days per week making garments for the American Red Cross from cloth furnished by mills in Greenville. Research has not revealed the exact date that operation of the Sewing Room ended; however, the building was advertised for rent as a storage facility and warehouse space in *The Greenville News* during the late 1930s and the 1940s.

In 1945, the Woman's Missionary Union of the First Baptist Church in West Greenville rehabilitated the former sewing room for use as the "Community Mission Center." As such, the second story of the Triangle Building became "a haven for hundreds of West Greenville children who throng its hall for companionship, fun, and educational advantages."⁴

In the area of industry, the building's association with the development of Piedmont Plush Mill, the first mill established for the manufacture of "plush" textiles in the South, places it within the broad context of the development of Greenville as the self-proclaimed "Textile Center of the South."⁵

² *The Greenville News*, 28 June 1938; *The Greenville News*, 23 July 1938.

³ *The Greenville News*, 18 April 1933.

⁴ *The Greenville News*, 18 February 1945.

⁵ Laura Smith Ebaugh, "The Cotton Mill Village in Retrospect," *The Proceedings and Papers of the*



Greenville County Historical Society 1968-1971, vol. IV (1971): 30-32.

The Triangle Building housed both the Sewing Department of the Piedmont Plush Mill and Standard Decorating Company, a retail outlet for the mill's raw and finished products. Until the late 1930s, when mill executives moved the Sewing Department to the mill site, women operated sewing and finishing machines in an assembly line located on the second floor of the Triangle Building. According to a 1931 advertisement, finished products included "ready-made Draperies, Rich Lustre Velour and Velvets, of cotton, rayon, worsted and mohair... Jacquard Velour, Pillows, Valancing, Piano Scarves, Table Runners, [and] Auto Robes." These goods were then made available for sale in the retail spaces housed on the building's first floor.⁶ The Triangle Building is the only known example in Greenville of a building that housed both industrial and retail spaces associated with textiles in one building. It is therefore a unique representation of the late-1920s efforts of mill executives of Greenville to vertically integrate the local textile industry to include finished products and associated retail operations—a means through which Greenville's textile industry hoped to achieve outstanding success.

In the area of commerce, the Triangle Building is significant as a prominent building associated with development of commerce and the local economy in West Greenville and the Village of West Greenville neighborhood. The building is within the boundary of National-Register-eligible Pendleton Street Commercial District, which developed along Pendleton Street in the late nineteenth and early twentieth centuries. The Triangle Building, however, is distinguished from the rest of the district by its location, historic function as a multi-use space, and its architectural configuration. The building was constructed considerably later than, and separated from, the district's commercial core. Historically, a streetcar line that connected the district to the surrounding mills, mill villages, and the City of Greenville ran directly in front of the building. The Triangle Building, therefore, represents the early twentieth-century expansion of the district into residential areas outside of the earlier commercial core. Additionally, the building is the largest and most iconic commercial building associated with economic expansion of West Greenville's commercial core during the early twentieth century. It represents the culmination of a local building boom that occurred in the 1920s in association with the expansion and infill of the pre-existing streetcar neighborhoods of the late Victorian period in the Village of West Greenville, as described in the 2018 *City of Greenville, South Carolina, Historic Resources Survey*.⁷

⁶ *The Greenville News*, February 1st, 1931.

⁷ City of Greenville, South Carolina, *City of Greenville Historic Resources Survey*, (March 2018): 34-36.

Brief History:

Greenville's Textile Crescent became the site for numerous mills constructed in the late nineteenth and early twentieth century. Brandon Mill, which begun operation in 1899, added a mill village of about 450 homes in the first decade of the twentieth century. Brandon Mill, listed in the National Register, is located approximately four blocks southeast of the Triangle Building. Operations at Woodside Cotton Mill began in 1902 and, by 1925, included a mill village with four hundred homes. Woodside Cotton Mill, also listed in the National Register, is approximately six blocks north of the Triangle Building. Judson Mill, constructed in 1911 and also listed in the National Register, is approximately .8 miles south of the building and Poinsett Mill, which began operation in 1901 and also included a mill village of hundreds of



homes, is approximately .8 miles east. Piedmont Plush Mill, constructed in 1925, is located approximately five blocks southeast of the Triangle Building and is labeled on the 1928 Sanborn Map as the Sewing Department of Piedmont Plush Mill.

During the late eighteenth and early nineteenth centuries, Pendleton Street was a major connector between these mills, mill villages, and downtown Greenville. In 1905, the Mellville Land Company platted a subdivision on land south of Pendleton Street, between Pendleton Street and Brandon Mill's property. Lockwood, Green and Company, an architectural and engineering firm headquartered in Rhode Island and Massachusetts, laid out the subdivision. In 1902, the firm designed the Monaghan Mill, listed in the National Register and located 1.5 miles north of the Triangle Building. The subdivision featured seven blocks, designated A through G. Five of the blocks are clearly residential, filled with fiftyfoot-wide parcels. Two blocks, Block F and Block G are not subdivided, suggesting they were intended for commercial use. The Triangle Building occupies approximately two thirds of Block F, which is triangular in shape and measures 241.5' along Pendleton Street, 230' on Burdett Street, and 76.5' on Smyth Street.

During the first decades of the twentieth century, with the growth of the neighboring mills and mill villages, a robust commercial sector developed along Pendleton Street, including grocery stores, barbershops, cafes, cleaners, gas stations, hardware stores, and an ice-cream parlor. Most of the residential streets in the surrounding neighborhoods feature house types common for this period, including Minimal Traditional houses, Craftsman Bungalows, and some English Vernacular cottages. In 1924, residents of the area signed a petition requesting incorporation, and the town of West Greenville was officially incorporated after an election that November. The new town stretched from the Greenville city limits to the edges of Brandon Mill and Woodside Cotton Mill. The center of the town was the intersection of Pendleton Street and Traction Street (one block from the subject property.) Although research has not revealed the precise date of construction of the Triangle Building, in May 1924, J.H. Meaders sold the majority of the block bounded by Pendleton Street, Burdett Street, and Smyth (now Mason) Street for ten dollars to L.H. Cary and F. S. Miller.⁸ County records identify the property as Lot #1 of Block "F" of the Mellville Land Company subdivision as described above. The deed also states that Meaders retained a portion of the parcel for himself. Meaders had acquired the property from Nora Smith in January 1919.⁹ The ten-dollar sale price suggests that the parcel was unimproved. The building appears on a 1928 Sanborn Map, narrowing its possible construction date to between 1924 and 1928. Cary and Miller sold the property in October 1944 to Roger Scovil. Scovil sold the property in 1984 to John and Roger M. Scovil and Rosemary Tolbert. John Barclay Scovil purchased the property in 1984. John Barclay sold the property to Kathy Harris in 2008, the current owner. The 1924 Greenville City Directory shows J. H. Meaders, owner of the property in 1924, living at 52 Pendleton Street; his house is shown on the 1928 Sanborn Map adjacent to the subject building. Meaders' house appears to be extant. Meaders was a foreman for Charles Kloeckler's construction company. Louis H. Cary, who bought the property in 1924, was a cotton buyer and mill manager. He lived at 324 West Earle Street.



8 Greenville County Deed Book 91, 355.

When the building appears on the 1928 Sanborn Map, it is listed as the Sewing Department of the Piedmont Plush Mill. The building is shown having five separate units, though a note states that the walls were only on the first floor. Piedmont Plush Mill (at the intersection of Traction and Easley Bridge Road) was constructed at approximately the same time as the subject building. The mill was designed by local architect J. E. Sirrine; the architect for the Triangle Building has yet to be determined.

The 1931, Greenville City Directory (City Directory) lists the building as 46-50 Pendleton. The Standard Decorating Company, an interior decorating company and division of Piedmont Plush Mills occupied the building. In 1933, the City Directory lists the building as vacant. By 1935, the Tallie Mattress Company occupied the building. In 1938, Standard Cleaners occupied the building, but a portion of the building was used by the Textile Workers Organizing Committee for their weekly meetings. It was vacant again in 1940.

The building appears again on a 1961 Sanborn Map and is shown as being the Post Office. Very little has changed on adjacent parcels on this map. Most buildings on the 1928 Sanborn Map remain, though the property across Pendleton Street, which was the West Greenville Public School in 1928, has become "The Maternity Shelter Hospital."

By 1947, the municipality of West Greenville struggled to support itself and the next year voters agreed to revoke its charter and merge with the City of Greenville. In the decades following WWII, major changes occurred at the mills. Some shuttered operation and most began selling off their villages. By 1960, most of the homes in the former villages were privately owned. During the 1950s and 1960s, the neighborhoods became predominately African American. Maximizing on cheap property rates in the 1960s and 1970s, new commercial buildings developed along Pendleton Street, including a parcel adjacent to the subject property, with the mansard roof variation typical of the period. In 1971, Highway 123 cut through the north end of the neighborhood to grant quicker access to downtown. During this period and continuing to today, many of the residential buildings built along Pendleton Street have been torn down and replaced with new commercial or institutional buildings.

Today, the commercial center of the Village of West Greenville includes a reviving commercial corridor. Several of the historically significant mills, many within walking distance from the subject building-- Woodside Cotton Mill, Brandon Mill, Poinsett Mill, and Judson Mill-- have undergone or have plans for rehabilitation into residential and mix-use. Many of the historic commercial buildings in West Greenville have been recently renovated. A quick window survey of commercial buildings in West Greenville shows that much of the recent work does not meet Secretary of the Interior Standards for Rehabilitation and include additions of new architectural features or significant modifications to the storefronts.

Additionally, recent redevelopment of the residential areas around the subject property has resulted in the loss of numerous historic homes.

It has been determined a contributing resource to a potentially eligible historic district by the South Carolina State Historic Preservation Office (See Intensive Documentation Form, State Survey of Historic Properties U/45/4684).

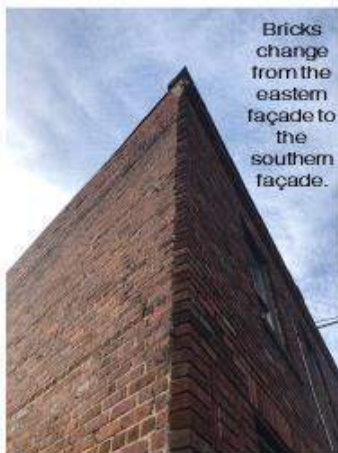
9 Greenville County Deed Book 45, 363.

TRIANGLE BUILDING PHOTOS 2019



1211 Pendleton Street, Greenville SC 29611

TRIANGLE BUILDING PHOTOS taken Nov 26th, 2019



Bricks change from the eastern façade to the southern façade.



Southern façade of building.



Original stairs went from Pendleton Street to upstairs. Now a wooden staircase leads up from the Burdette Street side of the building.



Brick detailing on the eastern façade.



Second Story entry to upstairs



Staircase to second floor.

TRIANGLE BUILDING PHOTOS taken Nov 26th, 2019



Northern façade on Pendleton Street



Eastern façade on Burdette Street.
Photo taken Aug 19th, 2019



Western façade
Pendleton Street to the left
Burdette Street to the right



North western façade



Artists currently occupy the bottom five units in the first floor.



Fenestrations and brick detailing on the eastern façade.

1928 Sanborn Map.
The Triangle Building is noted as Plush Mill Sewing Department.
Highlighted in yellow.

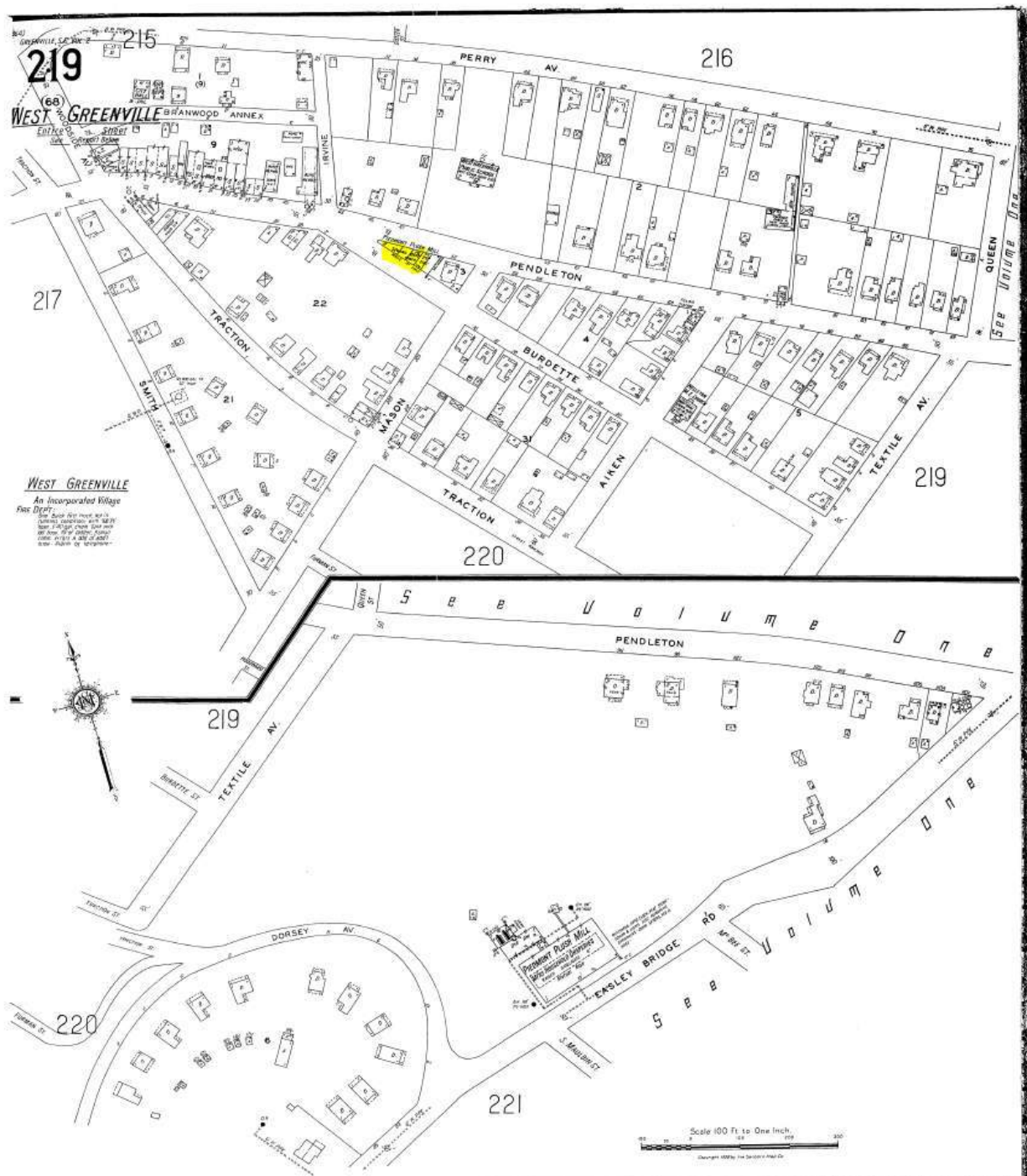




EXHIBIT B: Proposed Rehabilitation

While the formal architectural plans for the building are not yet materialized, the proposed rehabilitation for the Triangle Building at 1211 Pendleton Street is as follows:

Exterior:

The building at the intersection of Pendleton Street and Burdette Street is a two-story, triangular shaped building with built-up roof and parapet wall with corbeled brick cornice. The building is of terra cotta tile construction with running-bond brick veneer on all sides. The brick will be repointed and secured with original style mortar and mortar joints. The brick itself will be cleaned and a few bricks need replacing and will be replaced with similar modules. The exterior of the building is in overall fair condition with the primary threat being the need for routine maintenance of the gutters, downspouts, and site-wide storm water runoff. The roof and water mitigation systems will be replaced so that they look historically accurate yet perform to today's standards.

The western-most ground-floor unit features a formal entry door with transom window on the building's west façade (at the point of the triangular-shaped building), two large display windows on the north and south facades, and a total of six square clearstory windows with fixed panes located just below the building's sign band (which consists of vertical bricks). Four additional ground-floor units have matching symmetrical three-bay storefronts facing Pendleton Street to the north and secondary entries along Burdette Street (south façade). The four storefronts on Pendleton Street feature central entry doorways with sidelights infilled with decorative glass block. Large fixed-pane display windows flank the doorways, and the storefronts include masonry bulkheads and transom windows. Three brick columns in stacked bond separate the individual storefronts. There are five doorways on the building's rear (south) façade, associated with each of the ground-floor units. The doorways include transom windows flanked by double-hung windows on either side. The building's second story features double-hung windows that align symmetrically with those on the ground-floor.

Known alterations of the building are minimal and do not adversely affect character-defining features. The most notable alterations include the replacement of materials from the original store fronts along Pendleton Street (replaced circa 2007 but remaining in the original configuration), replacement of the second-story windows with wood double-hung sash windows (replaced circa 2004), covering of the transom windows with plywood over four of the building's rear (south) entry doors, replacement of at least seven of the building's original exterior doors, enclosure of the east, second-story entry door with plywood, and replacement of the east exterior staircase. All of the fenestrations will be replaced with historically accurate profiles formed from aluminum clad including all storefronts, windows, and doors that model after their original location and function with the exception that Pendleton-facing entry doors will be limited to one point of entry in the second unit which will serve as a common core for the building. All back exit doors will remain but will also be replaced with clad extruded systems. The original steel exterior staircase that once faced Pendleton Street will be put back in its original location. Historically accurate awnings will be added to the first floor entry on Pendleton Street and also at the second story entrance at the top of the exterior staircase.



Interior:

The ground floor consists of five individual commercial units divided by interior firewalls. According to Sanborn Fire Insurance maps from 1928 (attached) and 1961, the second floor of the building was historically a single open unit, accessed via an exterior staircase attached to the building's east façade. An opening in the floor of the building's second level (created at an unknown time, though likely not during the historic period) was once used for an electric lift. While the lift is no longer in use, components of the lift, associated structural systems, and two partial enclosure walls remain in place and will be refinished and put on display in the common area of the building. For the renovation, a second form of egress will exist inside the building's core which will include a staircase and an elevator.

The trim of the building's interior is a simple profile of painted wood for the window casing and small shoe moulding. The ceilings covered entirely on the first floor and partly on the second floor with pressed tin ceiling tiles. The crown moulding is tin as well and all original crown moulding exists on the first floor while none exists any more on the second floor. For the renovation, the second-floor ceiling will be cleaned left with exposed rafters in 30% of the space and the largest spaces will be refit with the historical tin ceiling tiles. Bathrooms and service rooms will have drywall ceilings. An HVAC system will be added to the building's second floor with the ducts hiding in the ceiling. The floors on the ground level are poured concrete and are heart pine on the second floor; both of which would be restored.

On the building's ground floor, four structural fire walls of terra-cotta-tile construction subdivide the interior into five separate commercial spaces; however, at an unknown time, doorway openings were cut out of each of the four fire walls, connecting the interior spaces. The new plan will join two of the original units into one so that each unit has its own bathroom and access to the common core, with the exception to the end unit on the ground floor of the point which will have its own formal entry at the point as it has historically.

The second floor currently consists of one entirely open space. All original framing remains in place on the second floor but modern laminated veneer lumber (LVL) beams have been installed to support the original ceiling joists. The LVL beams are supported by modern wood 4"x4" vertical supports placed to carry the roof's load to the first-floor fire walls below. In order to carry the load of the roof, in the renovation, heart pine columns from reclaimed mills would be used in place of the modern supports. The upper floor would be converted into two units divided by the common core which will be communal use amenities such as a break room and lounge area.

Intent:

The building is currently under the review of the SC State Historic Preservation Office for approval of Part 2 for listing to be passed on for approval of the building as historic on the National Register of Historic Buildings. The goal will be to bring the entire building up to historic standards while also bringing it up to current code and modern systems.



While the Triangle Building has been and remains a landmark of the Village of West Greenville, the city's arts district, it is crucial that we preserve the building while keeping tenant rents at the current going rates. Because the building is one of the known anchors of the arts community, it will be the goal and intent of the new owners to keep all creative industries in the building such as artists' studios, graphic design studios, interior design studios, and functional artist's studios. The mission will be to create safety for the tenants while still encouraging foot traffic from the heart of the Village down to the Triangle Building and beyond towards downtown Greenville.

The Triangle Building is significant on the local level under **Criterion A** in the areas of social history, industry, and commerce as an important and unique vestige of Greenville's long and complex history with the textile industry. The building occupies a prominent location at the center of the Village of West Greenville, at the interface of the historic commercial core of Pendleton Street Commercial District¹ and adjacent residential mill villages associated with Greenville's "textile crescent" (Teresa, can you brief provide a qualifier about this term? Although its meaning is somewhat implied, I think it would help to provide a citation and a short description/general boundary if possible). Historically, the building achieved prominence as a centrally-located and iconic (owing to its triangular shape) commercial and industrial building serving the West Greenville community. Its primary significance, however, is achieved through its association with, and use by, several important local social organizations during a period from the early 1930s until the late 1940s.

In the area of social history, the building is associated with the Textile Workers Organizing Committee (TWOC), which formed in 1937. The TWOC was a branch of the Congress of Industrial Organizations (CIO), which led an effort to organize all mass production industries in America during the early twentieth century. As the headquarters of the Greenville TWOC, the Triangle Building recalls mill workers' efforts to organize in defense of their rights, to secure better wages, and to ensure safe working conditions. The Triangle building stands as a visual reminder of the struggle between workers and mill management that characterized Greenville's early twentieth-century textile economy and the important civic support the union provided for families in West Greenville.

Association with unionization efforts of the 1930s:

The TWOC held meetings in the Triangle Building from 1937 to 1939. During that time, the building was known locally as the Textile Workers Organizing Committee Hall. Local proponents of unionization of the textile industry held public rallies and TWOC business meetings in the building. Regionally- and nationally-acclaimed leaders of the labor movement were featured at many of the meetings. The Triangle Building's prominence in the heart of Greenville's textile crescent made it the ideal location for the TWOC's hall. While unionization of Greenville's textile industry was, for many local citizens, a long and hard-fought battle that resulted in little to no success, TWOC efforts resulted in at least one major success. In July 1938, a majority of employees of Woodside Mill in West Greenville voted to unionize under the protection of the TWOC. One month later, workers and mill executives met with TWOC officials in the Triangle Building to negotiate worker's terms and finalize a labor contract.² The Triangle Building is the last remaining physical resource with integrity associated with unionization efforts of textile workers in the Greater Greenville area during the early twentieth century.

Association with other important social organizations:

¹ In 2018, the South Carolina Historic Preservation Office determined Pendleton Street Commercial District eligible for listing in the National Register of Historic Places as locally significant as a representation of commercial development coinciding with early industrialization in the West Greenville area.

² *The Greenville News*, 28 June 1938; *The Greenville News*, 23 July 1938.

The Triangle Building was constructed sometime between 1924 to 1928. Prior to being used as the TWOC Hall in the late 1930s, the Piedmont Plush Mill operated its “Sewing Department” on the building’s second floor—which utilized fabric produced in the mill to produce finished goods for wholesale and retail. Although research has not revealed who designed or built the Triangle Building, Piedmont Plush Mill (at the intersection of Traction and Easley Bridge Road approximately three blocks to the southeast) was constructed at approximately the same time. Prominent local architect J. E. Sirrine designed the mill.

Before the spring of 1933, mill executives moved the Sewing Department operation to a facility located on the grounds of the Piedmont Plush Mill. That year, with the economic hardships of the Great Depression in full effect, W. R. Young, Mayor of West Greenville at the time, and the Reconstruction Finance Corporation (RFC) initiated a local program to “alleviate an unemployment situation in the community.”³ The effort involved employing 57 local women in a supervised “sewing room” housed in the Triangle Building. These employees worked in the “West Greenville Sewing Room” five days per week making garments for the American Red Cross from cloth furnished by mills in Greenville. Research has not revealed the exact date that operation of the Sewing Room ended; however, the building was advertised for rent as a storage facility and warehouse space in *The Greenville News* during the late 1930s and the 1940s.

In 1945, the Woman’s Missionary Union of the First Baptist Church in West Greenville rehabilitated the former sewing room for use as the “Community Mission Center.” As such, the second story of the Triangle Building became “a haven for hundreds of West Greenville children who throng its hall for companionship, fun, and educational advantages.”⁴

In the area of industry, the building’s association with the development of Piedmont Plush Mill, the first mill established for the manufacture of “plush” textiles in the South, places it within the broad context of the development of Greenville as the self-proclaimed “Textile Center of the South.”⁵ The Triangle Building housed both the Sewing Department of the Piedmont Plush Mill and Standard Decorating Company, a retail outlet for the mill’s raw and finished products. Until the late 1930s, when mill executives moved the Sewing Department to the mill site, women operated sewing and finishing machines in an assembly line located on the second floor of the Triangle Building. According to a 1931 advertisement, finished products included “ready-made Draperies, Rich Lustre Velour and Velvets, of cotton, rayon, worsted and mohair... Jacquard Velour, Pillows, Valancing, Piano Scarves, Table Runners, [and] Auto Robes.” These goods were then made available for sale in the retail spaces housed on the building’s first floor.⁶ The Triangle Building is the only known example in Greenville of a building that housed both industrial and retail spaces associated with textiles in one building. It is therefore a unique representation of the late-1920s efforts of mill executives of Greenville to vertically integrate the local

³ *The Greenville News*, 18 April 1933.

⁴ *The Greenville News*, 18 February 1945.

⁵ Laura Smith Ebaugh, “The Cotton Mill Village in Retrospect,” *The Proceedings and Papers of the Greenville County Historical Society 1968-1971*, vol. IV (1971): 30-32.

⁶ *The Greenville News*, February 1st, 1931.

textile industry to include finished products and associated retail operations—a means through which Greenville’s textile industry hoped to achieve outstanding success.

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⁷ City of Greenville, South Carolina, *City of Greenville Historic Resources Survey*, (March 2018): 34-36.

Select Another Tax Year: 2020 ▾

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GENERAL INFORMATION

Map #:	0120000400100
Tax Year:	2020 * Check Year *
District:	500
Owner(s):	Harris Kathy
Previous Owner:	Scovil John Barclay
Care Of:	Big Al Llc
Mailing Address:	14 Ridgeland Dr Greenville, SC 29601

DESCRIPTION

Acreage:	0.141
Description:	Pt 1
Location:	1211 Pendleton St
Subdivision:	Melville Land Co
Deed Book-Page:	2254 - 1481
Deed Date:	03/05/2007
Will:	
Sale Price:	\$135,000
Plat Book-Page:	A / 97

CLASSIFICATION

Jurisdiction:	1 (County Jurisdiction)
Homestead Code:	No
Assessment Class:	OT - Non-Legal Residence

PROPERTY INFORMATION

Land Use:	520 (General)
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VALUE

Fair Market Value:	151,430
Taxable Market Value:	151,430
Total Rollback:	
Taxes:	Not Available



Southerland Construction Inc.

GENERAL CONTRACTORS

August 9, 2020

Ms. Katie Skoloff
In Site Designs
27 Mohawk Drive
Greenville, SC 29609

Re: 1207 Pendleton Street, Greenville, SC
Historic Restoration and Renovations

Dear Katie,

We are submitting this revised preliminary estimate and qualifications for the probable project cost. Due to the schematic level of design, the probable estimated construction cost is still preliminary and is subject to change upon completion of all construction documents.

Based on updated information received to date and the scope of work detailed below the current estimated probable cost of construction at this time is **\$ 1,146,000**. This cost includes all labor, materials, tools, equipment, permits, license, insurance, etc. as required to properly execute the work.

The scope of work included at this time is detailed as follows:

Site Work:

- The following allowances have been included:
 - Streetscape **\$ 110,000**
 - Landscaping & Irrigation **\$ 10,000**
 - Slab on grade, fencing & gate at trash can area **\$ 5,000**
 - Planters **\$ 4,000**

Selective Demolition:

- Existing rear exterior concrete steps and landings, wood stairs, etc. will be removed.
- All interior doors, frames, walls, ceilings, plumbing and electrical fixtures, mechanical equipment, ductwork, tin ceilings, etc. will be removed as required per the demolition plan.
- Openings in the interior masonry load bearing walls on the lower level will be cut-out and removed.
- Openings in the existing concrete floor will be cut-out and removed as required for the elevator pit and underground plumbing installation.
- All existing exterior doors, transoms, storefront, windows, etc. will be removed.
- All debris will be properly disposed of.
- Any costs associated with the removal of hazardous materials have been excluded.

Concrete:

- New spread footings will be installed to support the new steel stair per structural plans.
- New concrete steps and landings at the rear will be installed as interpreted from the plans. An allowance of **\$ 10,000** has been included for (2) sets of stairs, landings and railings at the rear.
- The elevator pit foundation and walls included per structural plans.
- Lower level floor slab will be properly patched upon completion of underground work.

Masonry:

- Lintels included at lower level masonry openings per structural plans.
- The exterior brick façade will be cleaned and repaired with period brick and mortar as required. An exterior masonry sealer has not been included.

Metals:

- A new steel stair with checkered plate landings and treads, smooth risers and required railings will be fabricated and installed as required. Finish will be powder coat.
- A painted steel wall rail has been included for the interior stair and an elevator pit ladder as required.
- A steel roof ladder has been included in the upper level Janitor Closet.

Wood & Plastics:

- We have included cutting out and framing openings in the upper level floor structure for the elevator and stairwell, and the roof structure for the required elevator headroom clearance. We have also included relocating the existing roof hatch to the Janitor Closet.
- The required wall blocking has been included for elevator rails, casework, toilet accessories, etc.
- All new interior walls have been included as conventional wood framing.
- Mechanical platforms with access panels have been included over the restrooms on the lower level.
- The new interior stair has been included as conventional wood framing with heart pine stair treads and painted wood risers.
- Typical interior trim includes 1x2 door casing, 1x4 window casing, window stools, and upper level base similar to original but taller to accommodate electrical receptacles. Lower level base has been included as 8" tall w/cap similar to upstairs.
- Allowances of **\$ 8,300** and **\$ 4,500** have been included for upstairs kitchen cabinets and countertops respectively. In addition, we have included a **\$ 250** allowance for cabinet hardware.
- We have included a simple ceramic tile backsplash at the kitchen. An allowance of **\$ 150** has been included for the tile and grout.

Moisture & Thermal Protection:

- The existing roofing system will be removed and a new 60 mil TPO roofing system with 24-gauge metal coping will be installed.
- The existing chimney caps will be coated with premium silicone.
- The existing downspouts will be replaced with new copper downspouts and collector boxes.
- We have included 6" spray foam insulation applied to the underside of roof deck in Tenant D space and R-30 fiberglass insulation for the remainder of the roof. 6" fiberglass insulation has been included in the upper level floor system (over lower level ceiling), and fiberglass wall insulation has been included in all new walls.

Doors & Windows:

- An allowance of **\$ 250 each** has been included for typical interior door units. The fire-rated door units at the workroom, and lower and upper level stair entrances have been included at **\$ 650 each**.
- All allowance of **\$ 1,700** has been included for all interior door hardware (locksets, closers, stops, panic devices, etc.).

- All interior storefront and glass doors are conventional aluminum frame with ¼" tempered glass.
- Exterior storefront and doors have been included as conventional aluminum frames with 1" clear low-e insulated glass and 1" insulated flat aluminum panels. The aluminum will be factory finished with a premium Kynar finish that has a standard 20-year finish warranty.
- Exterior windows have been included as aluminum clad w/insulated glass and integral period brickmold.
- Tempered glass has been included in the exterior windows at the stairwell.
- Custom pvc brickmold will be installed at the aluminum storefront on the lower level.

Finishes:

- We have included polishing the existing lower level concrete floor.
- Ceramic tile steps/landings will be installed at lower level floor step downs.
- The upper level wood flooring will be repaired and refinished w/3 coats satin poly.
- We have included 5/8" drywall at all new walls and drywall ceilings.
- Existing plaster walls will be repaired as necessary.
- Tin ceiling tiles, cornice and filler will be replicated to match original.
- All walls, ceilings, doors, frames, stair risers & railing, base trim and interior of windows will be primed and painted with a minimum of (2) coats of finish paint.

Specialties:

- An allowance of \$ **20,000** has been included for the exterior metal awnings.
- A Knox box has been included at the main entrance as required.
- Four semi-recessed fire extinguisher cabinets and three wall-hung fire extinguishers have been included.
- All toilet accessories and appliances are included as selected.
- An allowance \$ **13,000** have been included for signage.
- Any costs for window treatments or mailboxes have been excluded.

Conveying Systems:

- We have included a Schindler 3100MRL traction elevator that does not require a machine room. The unit will include stainless steel hoistway entrances and doors, laminate walls, brushed aluminum handrail, stainless steel LED downlight ceiling and a set of elevator cab pads.
- The equipment for cellular emergency service is included. A telephone line will not be required.

Plumbing:

- We have included all plumbing work as interpreted from the plans. All new waste, supply and vent piping will be installed. Plumbing fixtures are included as selected.
- Sewer line will be stubbed out a maximum of 5'-0" and tied into the City main (assumed at rear).
- New water supply tied-in to existing meter at rear. Any costs for sewer tap fees or water meter fees have been excluded.

HVAC:

- We have included a conventional HVAC system with concealed ductwork. One mini-split system with custom ceiling cassettes has been included for the front portion of Tenant A.
- Restroom exhaust fans and vents are included as required.

Electrical:

- Service, distribution and devices have been included as interpreted from plans. We have included a 600a main panel, (5) 125a sub-panels and (1) 200a sub-panel. Lower level devices will be fed via exposed conduit as previously discussed. We have included building-out the baseboard at the upper level and a portion of the lower level to conceal the wiring along the masonry walls.

- An allowance of \$ **20,000** has been included for lighting fixtures.
- Access control has been included for the Main Entrance to the Common Area and Rear Stair Entrance.

General Requirements:

- SCI will have a full-time project manager/superintendent who will be responsible for ensuring that all work items are executed properly and to only the highest levels of quality and workmanship.
- All mobilization, equipment, tools, vehicles, communications, safety devices and other jobsite expenses are included as required.
- Temporary electrical and water service, toilets, lighting and heat are included as required.
- SCI shall coordinate all work with local City Officials and utility companies.
- SCI shall protect all new finished work from damage. Any finished items that are found damaged or defective will be promptly repaired or replaced.
- SCI shall ensure that all work areas are kept clean and organized.
- Upon completion of the work, SCI shall clean all surfaces in affected work areas to new condition.
- The required workers compensation, general liability and builders' risk insurance is included.
- The costs for all permits, license, plan review, etc. have been included.

Any costs for any other items not specifically detailed above have been excluded.

We are anticipating an approximate eight-month schedule for this project and will make every effort to complete all work items in a timely an efficient manner.

We appreciate your confidence in SCI and look forward to working with you on this project. Please let us know if you have any questions, need any additional information or want to make any changes at this time.

Sincerely,

A handwritten signature in black ink, appearing to read 'Brett Southerland', is written over a horizontal line.

Brett Southerland
President

KATIE SKOLOFF

BIG AL, LLC
14 RIDGELAND DRIVE
GREENVILLE, SC 29601

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CHESLEY WHITE

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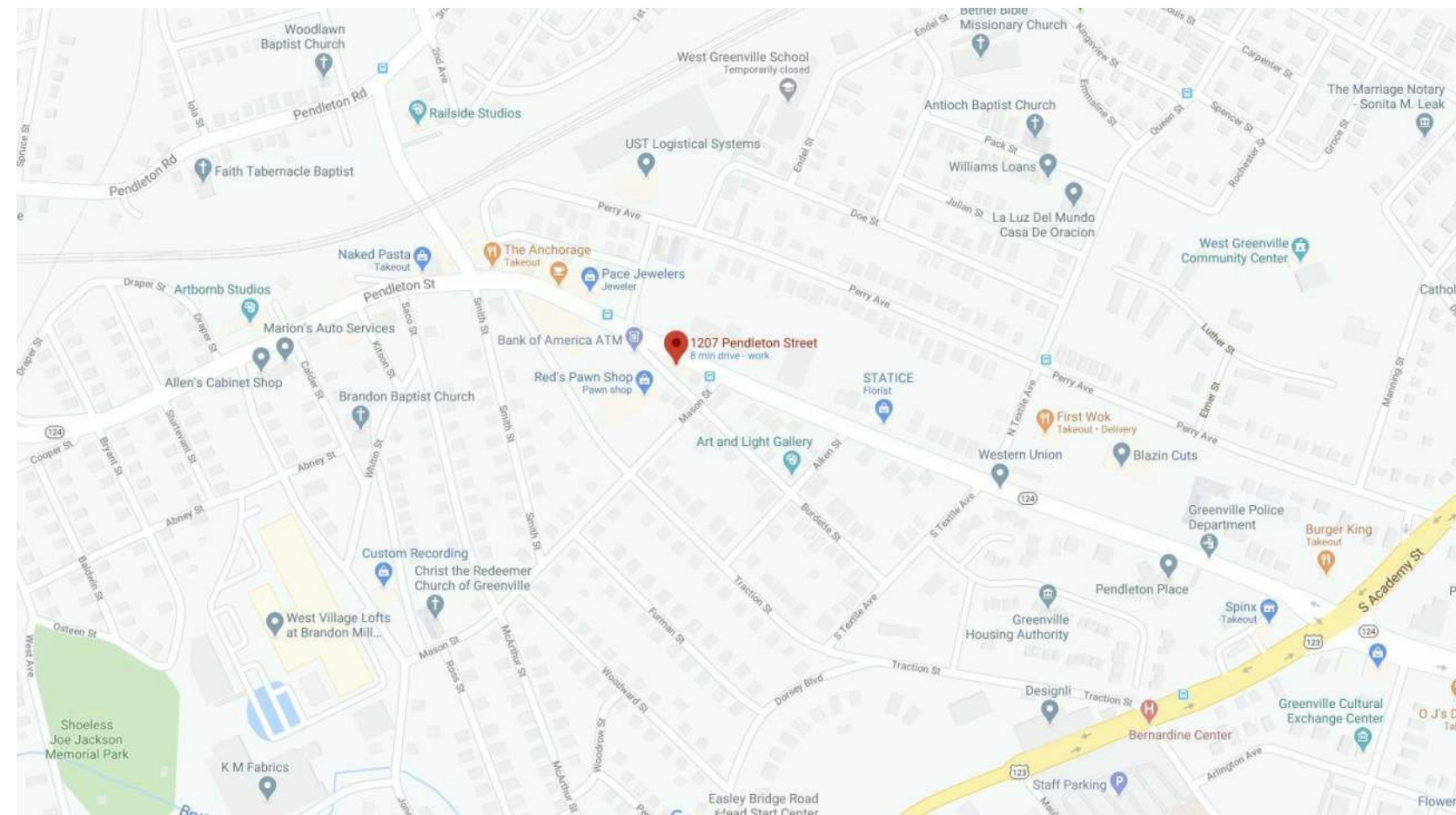
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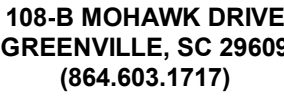
JJOYE@CAROLINAENGR.COM
864.370.9355

Issue Date/ Description: 2020.08.17 Project Status
SHLTR Project No: 1961.00

SHEET NO.	SHEET NAME	REV
G000	COVERSHEET	1
G001	GENERAL PROJECT INFORMATION	0
G002	CODE SUMMARY	1
G101	LIFE SAFETY PLAN	1
S-1	FOUNDATION PLAN	0
S-2	SECOND FLOOR FRAMING PLAN	0
S-3	ROOF FRAMING PLAN	0
AD101	DEMO - FLOOR PLANS	0
A101	FLOOR PLANS	1
A201	REFLECTED CEILING PLANS	1
A301	ENLARGED PLANS/ELEVATIONS	0
A401	BUILDING ELEVATIONS	1
A701	VERTICAL CIRCULATION	1
A801	SCHEDULES	1
P001	PLUMBING SCHEDULES AND DETAILS PLANS	0
P101	PLUMBING PLANS	0
M001	MECHANICAL NOTES AND DETAILS	0
M002	MECHANICAL SCHEDULES	0
M101	MECHANICAL FLOOR PLANS	0
M201	ENLARGED MECHANICAL FLOOR PLANS	0
E001	ELECTRICAL NOTES AND SYMBOLS	0
E002	ELECTRICAL RISER DIAGRAMS	0
E101	LIGHTING PLANS	0
E201	POWER PLANS	0



VICINITY MAP



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FLAT IRON BUILDING
1211 PENDLETON STREET
GREENVILLE, SC 29611

REVISION SCHEDULE

[illegible]

PROJECT NUMBER:	1961.00
DATE:	2020.08.17
DRAWN BY:	CW

G000



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FLAT IRON BUILDING

SA				SF			
STRUCTURE ABOVE				STRUCTURE ABOVE			
CEILING LINE				CEILING LINE			
PLAN				PLAN			
FLOOR LINE				FLOOR LINE			
	SA4	SA6	SA8	-	-		
STUD SIZE	3 5/8"	6	8	-	-	STUD SIZE	
ACTUAL DIMENSION 'X'	4 7/8"	7 1/4"	9 1/4"	-	-	ACTUAL DIMENSION 'X'	
FIRE RATING (WHEN HATCHED)	1-HR (UL #J419)	1-HR (UL #J419)	1-HR (UL #J419)	-	-	FIRE RATING	
ACOUSTICAL RATING (W/ BATTS)	49 STC (SA-870717)	49 STC (SA-870717)	49 STC (SA-870717)	-	-	ACOUSTICAL RATING (W/ BATTS)	

WALL TYPES NOTES

1. PROVIDE HISTORIC TRIM AT FLOORS AND CEILINGS AS REQUIRED BY THE SHPO
2. WALL TYPE SF IS FIRE RATED BY THE CALCULATED FIRE RESISTANCE METHOD ACCORDING TO TABLE 722.2.1.4(2)

WALL TYPES - STEEL STUD

WA							WB							WC																																																																																																
<table><tr><td></td><td>WA4</td><td>WA6</td><td>WA8</td><td>-</td><td>-</td></tr><tr><td>STUD SIZE</td><td>3 1/2"</td><td>5 1/2"</td><td>7 1/2"</td><td>-</td><td>-</td></tr><tr><td>ACTUAL DIMENSION 'X'</td><td>4 3/4"</td><td>6 3/4"</td><td>8 3/4"</td><td>-</td><td>-</td></tr><tr><td>FIRE RATING (WHEN HATCHED)</td><td>1-HR (UL #U305)</td><td>-</td><td>-</td><td>-</td><td>-</td></tr><tr><td>ACOUSTICAL RATING (W/ BATTS)</td><td>34 STC (RAL-TL11-081)</td><td>-</td><td>-</td><td>-</td><td>-</td></tr></table>								WA4	WA6	WA8	-	-	STUD SIZE	3 1/2"	5 1/2"	7 1/2"	-	-	ACTUAL DIMENSION 'X'	4 3/4"	6 3/4"	8 3/4"	-	-	FIRE RATING (WHEN HATCHED)	1-HR (UL #U305)	-	-	-	-	ACOUSTICAL RATING (W/ BATTS)	34 STC (RAL-TL11-081)	-	-	-	-	<table><tr><td></td><td>WB4</td><td>WB6</td><td>WB8</td><td>-</td><td>-</td></tr><tr><td>STUD SIZE</td><td>3 1/2"</td><td>5 1/2"</td><td>7 1/2"</td><td>-</td><td>-</td></tr><tr><td>ACTUAL DIMENSION 'X'</td><td>4 1/8"</td><td>6 1/8"</td><td>8 1/8"</td><td>-</td><td>-</td></tr><tr><td>FIRE RATING</td><td>-</td><td>-</td><td>-</td><td>-</td><td>-</td></tr><tr><td>ACOUSTICAL RATING (W/ BATTS)</td><td>-</td><td>-</td><td>-</td><td>-</td><td>-</td></tr></table>								WB4	WB6	WB8	-	-	STUD SIZE	3 1/2"	5 1/2"	7 1/2"	-	-	ACTUAL DIMENSION 'X'	4 1/8"	6 1/8"	8 1/8"	-	-	FIRE RATING	-	-	-	-	-	ACOUSTICAL RATING (W/ BATTS)	-	-	-	-	-	<table><tr><td></td><td>WC4</td><td>WC6</td><td>WC8</td><td>-</td><td>-</td></tr><tr><td>STUD SIZE</td><td>3 1/2"</td><td>5 1/2"</td><td>7 1/2"</td><td>-</td><td>-</td></tr><tr><td>ACTUAL DIMENSION 'X'</td><td>5 3/8"</td><td>7 3/8"</td><td>9 3/8"</td><td>-</td><td>-</td></tr><tr><td>FIRE RATING</td><td>-</td><td>-</td><td>-</td><td>-</td><td>-</td></tr><tr><td>ACOUSTICAL RATING (W/ BATTS)</td><td>-</td><td>-</td><td>-</td><td>-</td><td>-</td></tr></table>								WC4	WC6	WC8	-	-	STUD SIZE	3 1/2"	5 1/2"	7 1/2"	-	-	ACTUAL DIMENSION 'X'	5 3/8"	7 3/8"	9 3/8"	-	-	FIRE RATING	-	-	-	-	-	ACOUSTICAL RATING (W/ BATTS)	-	-	-	-	-
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GENERAL PROJECT INFORMATION

PROJECT NUMBER:	1961.00
DATE:	2020.08.17
DRAWN BY:	CW

G001

Name of Project: FLAT IRON BUILDING
Address: 1211 PENDELTON STREET GREENVILLE, SC 29611
Tax ID #: 0120000400100
Owner/Authorized Agent: KATIE SKOLOFF Phone #: 864.607.3153 E-Mail: KATIE@IN-SITE-DESIGNS.COM
Owned By: ☐ City/County ☒ Private ☐ State
Code Enforcement Jurisdiction: ☒ City ☐ County ☐ State

2018 EBC - EXISTING BUILDING CODE:
(Check all that apply)

☐ Prescriptive	☐ Alteration Level I	☐ Historic Property
☐ Repair	☐ Alteration Level II	☐ Change of Use
☐ Chapter 14	☒ Alteration Level III	

PROPOSED OCCUPANCY(S): (Ch. 3): MIXED - BUSINESS (B) AND MERCANTILE (M)

BASIC BUILDING DATA

GROSS BUILDING AREA TABLE			
FLOOR	EXISTING (SQFT)	NEW (SQFT)	SUB-TOTAL
1ST FLOOR	3,018	0	3,018
2ND FLOOR	3,303	0	3,303
TOTAL: 6,321 SF			

Primary Occupancy Classification(s):

Assembly	☐ A-1	☐ A-2	☐ A-3	☐ A-4	☐ A-5
Business	☒				
Educational	☐				
Factory	☐ F-1 Moderate	☐ F-2 Low			
Hazardous	☐ H-1 Detonate	☐ H-2 Deflagrate	☐ H-3 Combust	☐ H-4 Health	☐ H-5 HPM
Industrial					
I-1 Condition	☐ 1	☐ 2			
I-2 Condition	☐ 1	☐ 2			
I-3 Condition	☐ 1	☐ 2	☐ 3	☐ 4	☐ 5
Mercantile	☒				
Residential	☐ R-1	☐ R-2	☐ R-3	☐ R-4	
Storage	☐ S-1 Moderate	☐ S-2 Low	☐ S-3 High-piled		
	☐ Parking Garage	☐ Open	☐ Enclosed	☐ Repair Garage	
Utility and Miscellaneous	☐				

BUILDING IS A MIXED USE BUILDING AND WILL BE CONSIDERED A NONSEPARATED OCCUPANCY IN ACCORDANCE WITH SECTION 508.3

- ALLOWABLE BUILDING AREA AND HEIGHT SHALL BE BASED ON THE MOST RESTRICTIVE ALLOWANCES FOR THE OCCUPANCY GROUPS UNDER CONSIDERATION
- NO SEPARATION IS REQUIRED BETWEEN NONSEPARATED OCCUPANCIES

STORY NO.	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 (ALLOWABLE AREA)	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
FIRST LEVEL	MERCANTILE (M)	3,303	12,500	NOT NEEDED	12,500
SECOND LEVEL	BUSINESS (B)	3,303	12,500	NOT NEEDED	12,500

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	55'-0"	27' - 10" TO TOP OF PARAPET	TABLE 504.3
Building Height in Stories (Table 504.4)	2	2	TABLE 504.4

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL # AND SHEET #	DETAIL # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
		REQ'D	PROVIDED (W/ REDUCTION)				
Structural Frame, including columns, girders, trusses		0	0				
Bearing Walls							
Exterior							
North	>30'	0	0				
East							
West							
South	>30'	0	0				
Interior		0	0				
Nonbearing Walls and Partitions							
Exterior walls							
North							
East	6'	1	1				
West	>30'	0	0				
South							
Interior walls and partition		0	0				
Floor Construction including supporting beams and joists		0	0				
Floor Ceiling Assembly		0	0				
Columns Supporting Floors		0	0				
Roof Construction, including supporting beams and joists		0	0				
Roof Ceiling Assembly		0	0				
Columns Supporting Roof		0	0				
Shaft Enclosures - Exit		1	1				
Shaft Enclosures - Other		1	1				
Corridor Separation		0	0				
Occupancy / Fire Barrier Separation		0	0				
Party / Fire Wall Separation		0	0				
Smoke Barrier Separation		0	0				
Smoke Partition		0	0				
Tenant / Dwelling Unit / Sleeping Unit Separation		N/A	N/A				
Incidental Use Separation		N/A	N/A				

*Indicate section number permitting reduction

Fire Separation Distance (Feet) from Property Lines	Degree of Openings Protection (Table 705.8)	Allowable Area (%)	Actual Shown on Plans (%)
EAST WALL - 6' FSD	UNPROTECTED, NONSPRINKLERED	10%	2.8%
ALL OTHER WALLS - > 30' FSD	UNPROTECTED, NONSPRINKLERED	NO LIMIT	

Emergency Lighting: ☒ Yes ☐ No

Exit Signs: ☒ Yes ☐ No

Fire Alarm: ☐ Yes ☒ No

Smoke Detection System: ☒ Yes ☐ No

Carbon Monoxide Detection: ☒ Yes ☐ No

	☒ Fire and/or smoke rated wall locations (Chapter 7) ☒ Assumed and real property line locations (if not on site plan) ☒ Exterior wall opening area with respect to distance to assumed property lines (705.8) ☒ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2) ☒ Occupants loads for each area
Max. 200'	☒ Exit access travel distances (1017)
Max. 75'	☒ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
Max. 20'	☒ Dead end lengths (1020.4) ☒ Minimum required corridor width (1020.2) ☒ Clear exit widths for each exit door ☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3) ☒ Actual occupant load for each exit door ☒ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
N/A	☐ Location of doors with panic hardware (1010.1.10) ☐ Location of doors with delayed egress locks and amount of delay (1010.1.9.7) ☐ Location of doors with electromagnetic egress locks (1010.1.9.9) ☐ Location of doors equipped with hold-open devices ☐ Location of emergency escape windows (1030) ☐ The Square footage of each fire area (202) ☐ The Square footage of each smoke compartment for Occupancy Classification I-2 (407.5) ☐ Note any code exceptions or table notes that may have been utilized regarding the items above

INTERIOR WALL & CEILING FINISH REQUIREMENTS BY OCCUPANCY: TABLE 803.11

	NON-SPRINKLERED		
GROUP	EXITS, STAIRS, RAMPS, PASSAGEWAYS	CORRIDORS AND EXIT ACCESS ENCLOSURES	ROOMS AND ENCLOSED SPACES
BUSINESS (B)	A	B	C
MERCANTILE (M)	A	B	C

INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723.

1. PROVIDE FLAME SPREAD CERTIFICATION OF ALL FINISH MATERIALS IN COMPLIANCE WITH SECTION 803 OF THE 2015 IBC
2. IN ADDITION TO REQUIREMENTS OF SECTION 803 OF THE 2015 IBC, ALL INTERIOR FLOOR FINISHES SHALL COMPLY WITH 804 OF THE 2015 IBC

OCCUPANT LOAD:

SPACE DESIGNATION	AREA SQ.FT. (A)	AREA PER OCCUPANT (B)	CALCULATED OCCUPANT LOAD (A/B)
FIRST LEVEL MERCANTILE (M)	3,018 SF	60 GROSS	(112 REQUESTED SEE LIFE SAFETY PLAN)
SECOND LEVEL BUSINESS (B)	3,303 SF	150 GROSS	22.02
TOTAL	6,321 SF		134

PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

PLUMBING FIXTURES REQUIRED.

SPACE DESIGNATION	WATER CLOSETS			URINALS	LAVATORIES			SHOWERS / TUB	DRINKING FOUNTAINS	OTHER REQUIREMENTS
	M	F	U		M	F	U			
FIRST LEVEL MERCANTILE (M)			2				1		1	1 SERVICE SINK
SECOND LEVEL BUSINESS (B)			1				1		1	1 SERVICE SINK

PLUMBING FIXTURES PROVIDED:

SPACE DESIGNATION	WATER CLOSETS			URINALS	LAVATORIES			SHOWERS / TUB	DRINKING FOUNTAINS	OTHER REQUIREMENTS
	M	F	U		M	F	U			
FIRST LEVEL MERCANTILE (M)			2			2			1	1 SERVICE SINK
SECOND LEVEL BUSINESS (B)			2			2			1	1 SERVICE SINK

**108-B MOHAWK DRIVE
GREENVILLE, SC 29609
(864.603.1717)**



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FLAT IRON BUILDING
1211 PENDLETON STREET
GREENVILLE, SC 29611

FLAT IRON BUILDING

AT IRON BUILDING
211 PENDLETON STREET
GREENVILLE, SC 29611

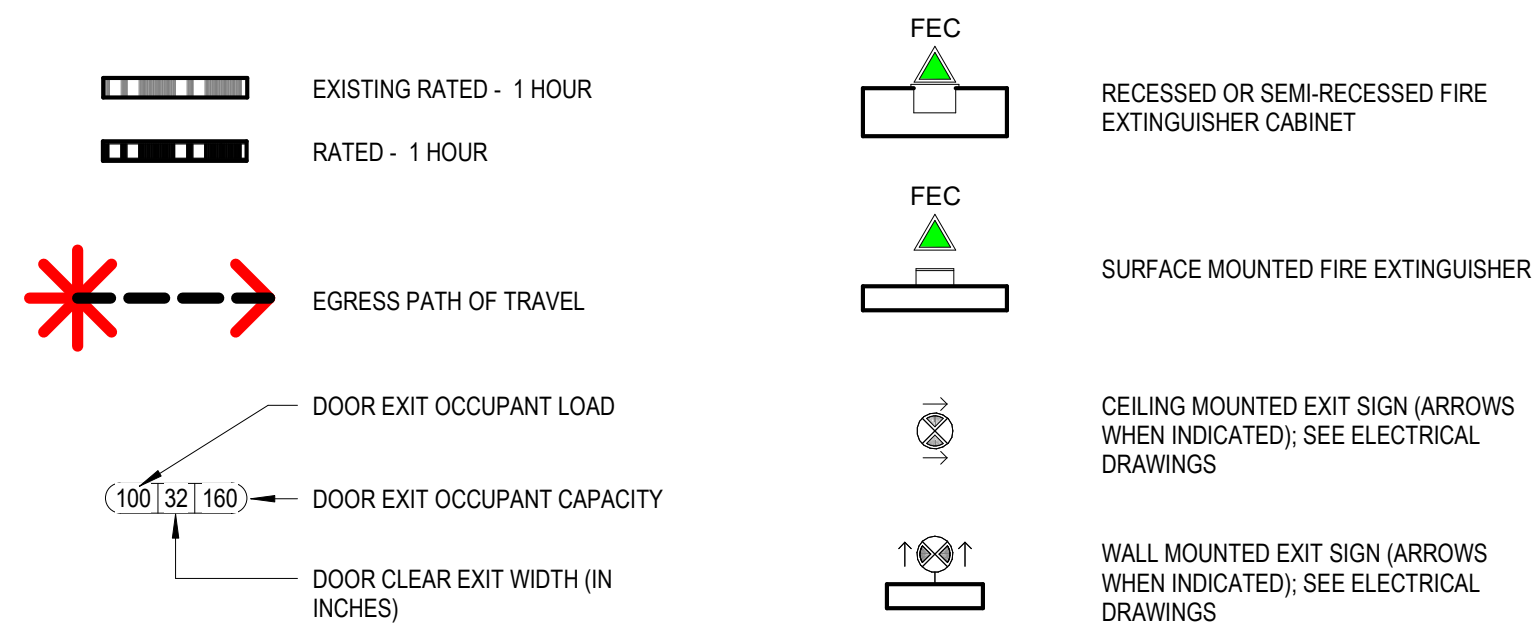
REVISION SCHEDULE

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PROJECT NUMBER:	1961.00
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DRAWN BY:	CW

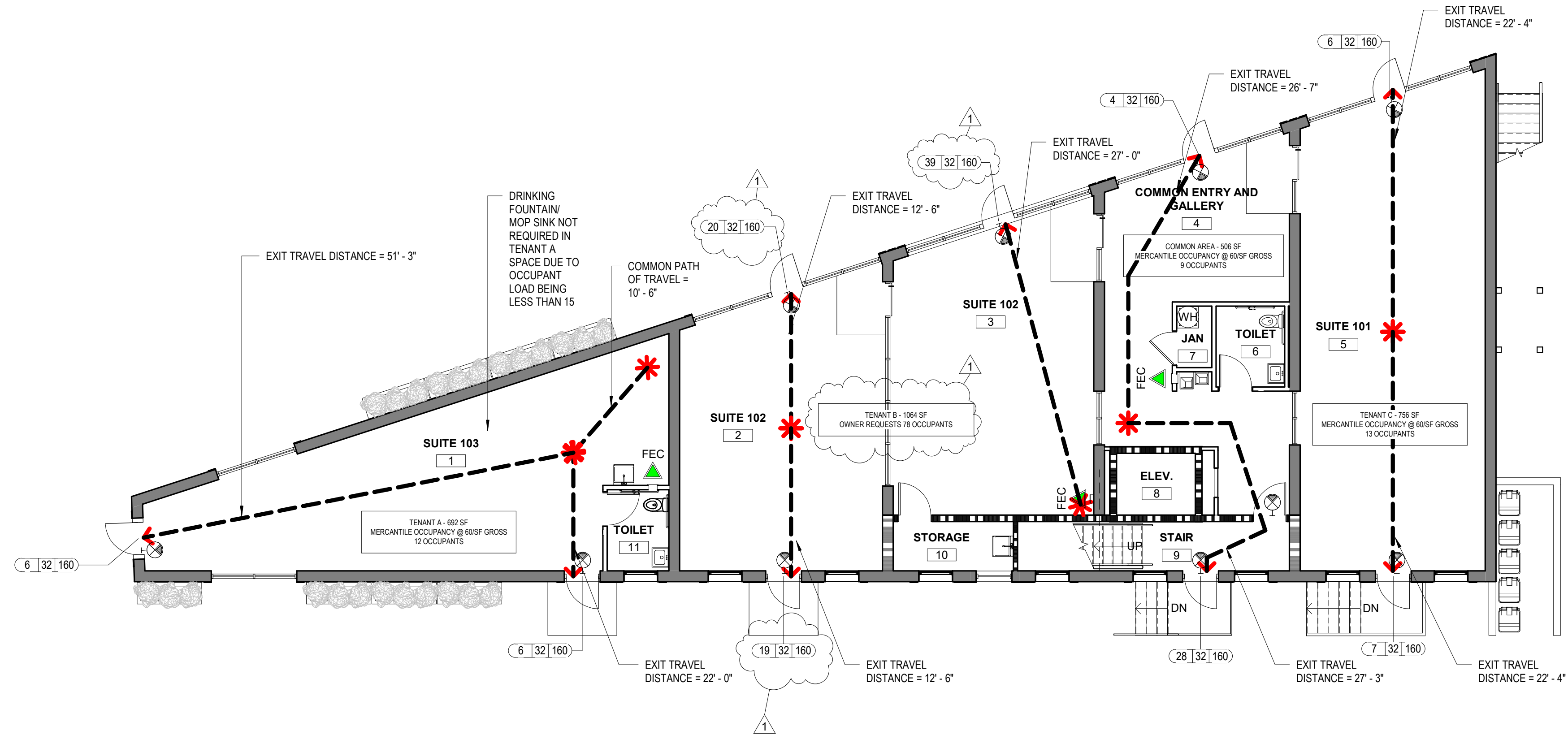
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LIFE SAFETY LEGEND

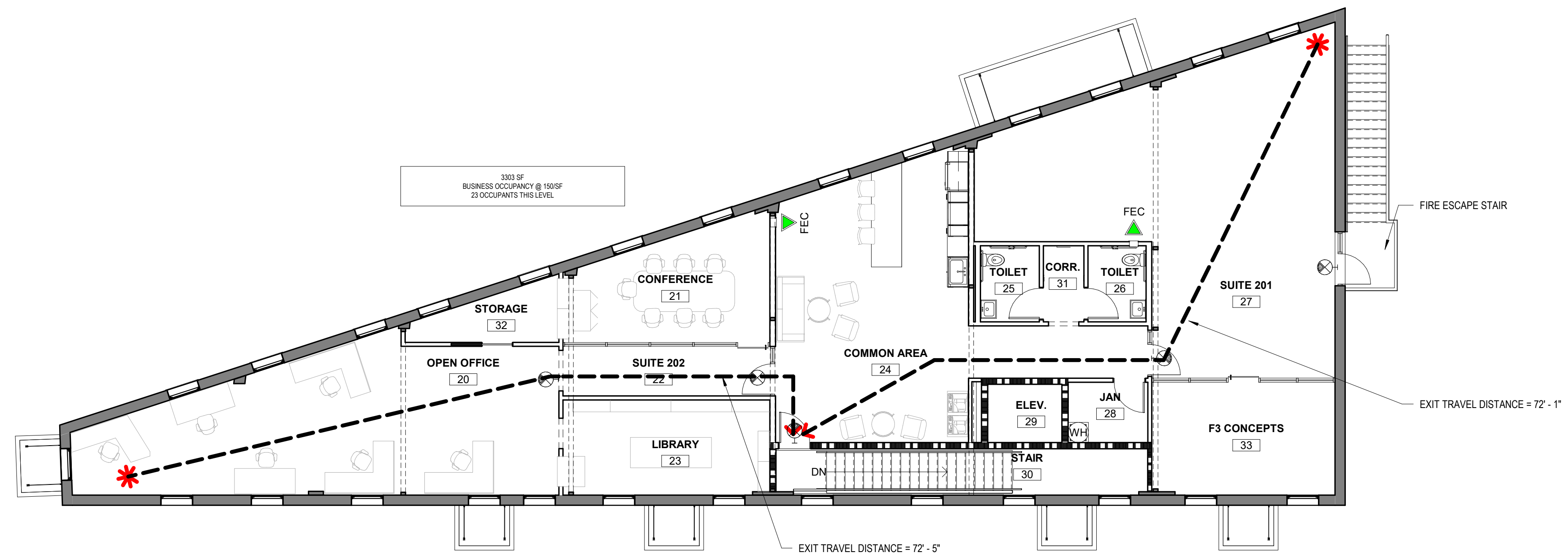


FIRE RATING AND FIRE PROOFING NOTES:

1. SEE FLOOR PLAN(S) AND WALL TYPE SCHEDULE FOR WALL ASSEMBLY TYPES AND CONSTRUCTION
2. FIRE CAULK AROUND ALL ELECTRICAL CONDUIT PASSING THROUGH WALLS.
3. SEE MECHANICAL AND PLUMBING DRAWINGS FOR SPECIAL DETAILS WHERE DUCTWORK AND PIPING PASS THROUGH WALLS.
4. REFER TO SHEET G001 & G002 FOR GENERAL FLOOR, ROOF, AND STRUCTURAL RATING REQUIREMENTS AND RELEVANT PROPOSED PROTECTION SYSTEMS.



① LEVEL 1 LIFE SAFETY PLAN
1/8" = 1'-0"



② LEVEL 2 LIFE SAFETY PLAN
1/8" = 1'-0"

SHLTR
[architects]

108-B MOHAWK DRIVE
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FLAT IRON BUILDING
1211 PENDLETON STREET
GREENVILLE, SC 29611

FLAT IRON BUILDING

AT IRON BUILDING
1211 PENDLETON STREET
GREENVILLE, SC 29611

REVISION SCHEDULE

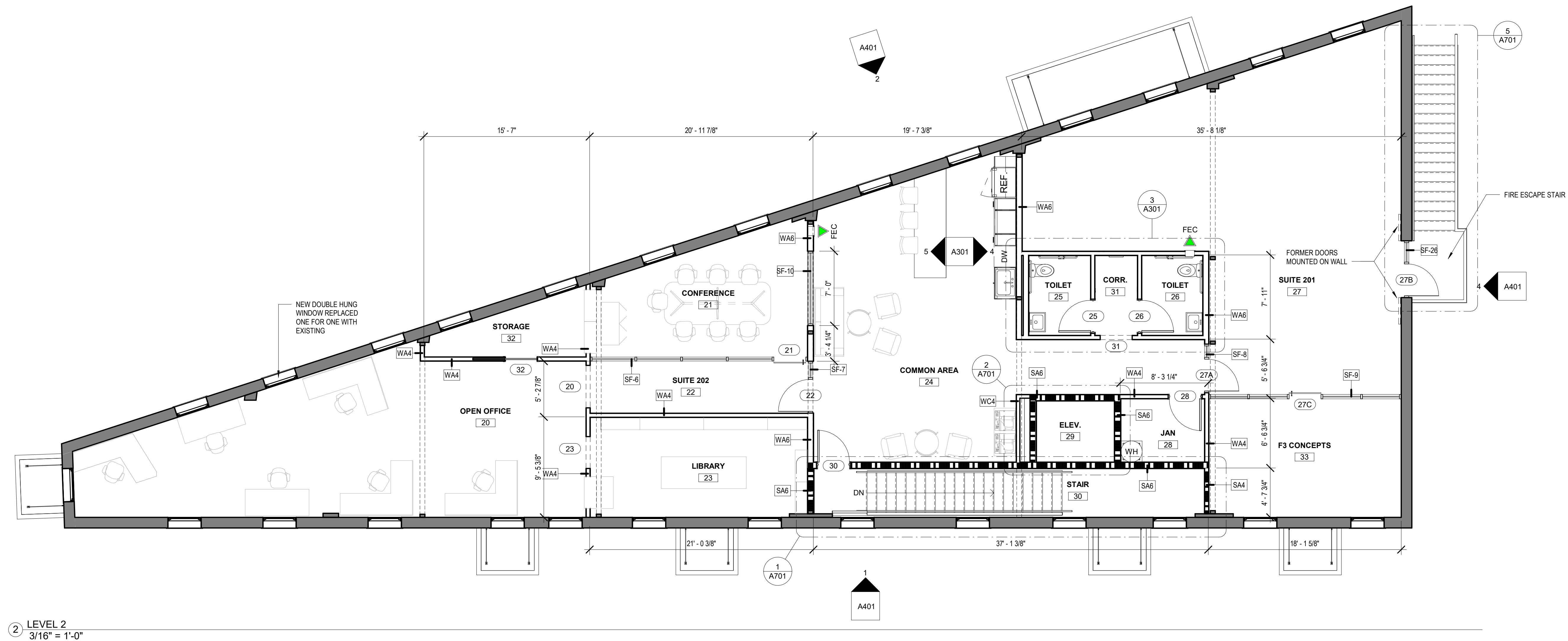
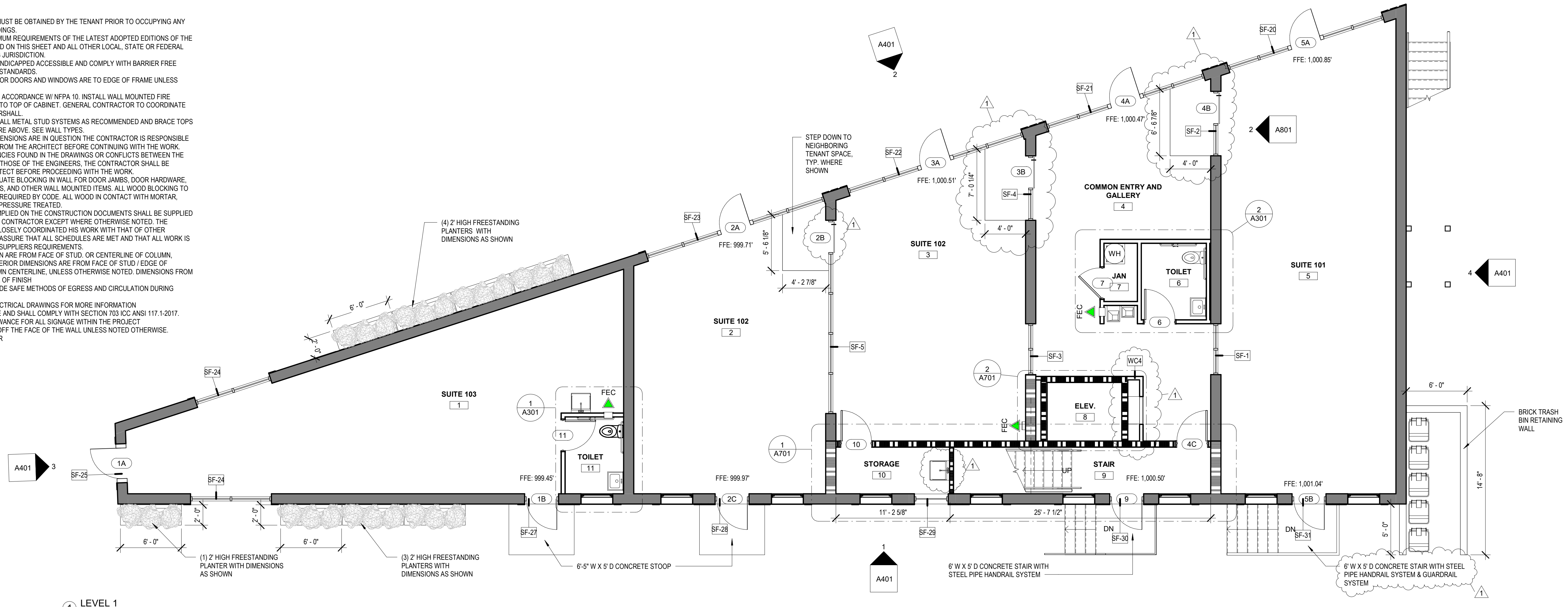
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LIFE SAFETY PLAN

PROJECT NUMBER:	1961.00
DATE:	2020.08.17
DRAWN BY:	CW

G101

1. A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BY THE TENANT PRIOR TO OCCUPANCY ANY BUILDING OR PORTIONS OF BUILDINGS.
2. ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST ADOPTED EDITIONS OF THE APPLICABLE CODES, AS INDICATED ON THIS SHEET AND ALL OTHER LOCAL, STATE OR FEDERAL CODES OR REGULATIONS HAVING JURISDICTION.
3. ALL CONSTRUCTION SHALL BE HANDICAPPED ACCESSIBLE AND COMPLY WITH BARRIER FREE DESIGN AND OTHER APPLICABLE STANDARDS.
4. DIMENSIONS SHOWN FOR EXTERIOR DOORS AND WINDOWS ARE TO EDGE OF FRAME UNLESS OTHERWISE NOTED.
5. PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE W/ NFPA 10. INSTALL WALL MOUNTED FIRE EXTINGUISHERS (FE) AT 4'-0" AFF TO TOP OF CABINET. GENERAL CONTRACTOR TO COORDINATE LOCATIONS WITH LOCAL FIRE MARSHAL.
6. HORIZONTALLY BRACE (STIFFEN) ALL METAL STUD SYSTEMS AS RECOMMENDED AND BRACE TOPS OF ALL PARTITIONS TO STRUCTURE ABOVE. SEE WALL TYPES.
7. IN THE EVENT OF ANY DISCREPANCIES, IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
8. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR CONFLICTS BETWEEN THE ARCHITECTURAL DRAWINGS AND THOSE OF THE ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
9. CONTRACTOR TO PROVIDE ADEQUATE ALLOWANCE IN WALL FOR DOOR JAMBS, DOOR HARDWARE, GRAB BARS, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS. ALL WOOD BLOCKING TO BE FIRE RETARDANT TREATED IF REQUIRED BY CODE. ALL WOOD IN CONTACT WITH MORTAR, CONCRETE, OR MASONRY TO BE PRESSURE TREATED.
10. ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATED HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO THE SUPPLIERS REQUIREMENTS.
11. ALL INTERIOR DIMENSIONS GIVEN ARE FROM FACE OF STUD, OR CENTERLINE OF COLUMN, UNLESS OTHERWISE NOTED. EXTERIOR DIMENSIONS ARE FROM FACE OF STUD / EDGE OF MASONRY, CONCRETE OR COLUMN CENTERLINE, UNLESS OTHERWISE NOTED. DIMENSIONS FROM EXISTING WALLS ARE FROM FACE OF FINISH.
12. THE CONTRACTOR SHALL PROVIDE SAFE METHODS OF EGRESS AND CIRCUITRY DURING CONSTRUCTION.
13. REFERENCE PLUMBING AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
14. ALL WORK SHALL BE ACCESSIBLE AND SHALL COMPLY WITH SECTION 703 (ICC ANS) 117.1-2017.
15. CONTRACTOR TO PROVIDE ALLOWANCE FOR A SIGNAGE WITHIN THE PROJECT.
16. DOORS ARE TO BE LOCATED 6" OFF THE FACE OF THE WALL UNLESS NOTED OTHERWISE.
17. PLANTER TYPE IS TBD BY OWNER.



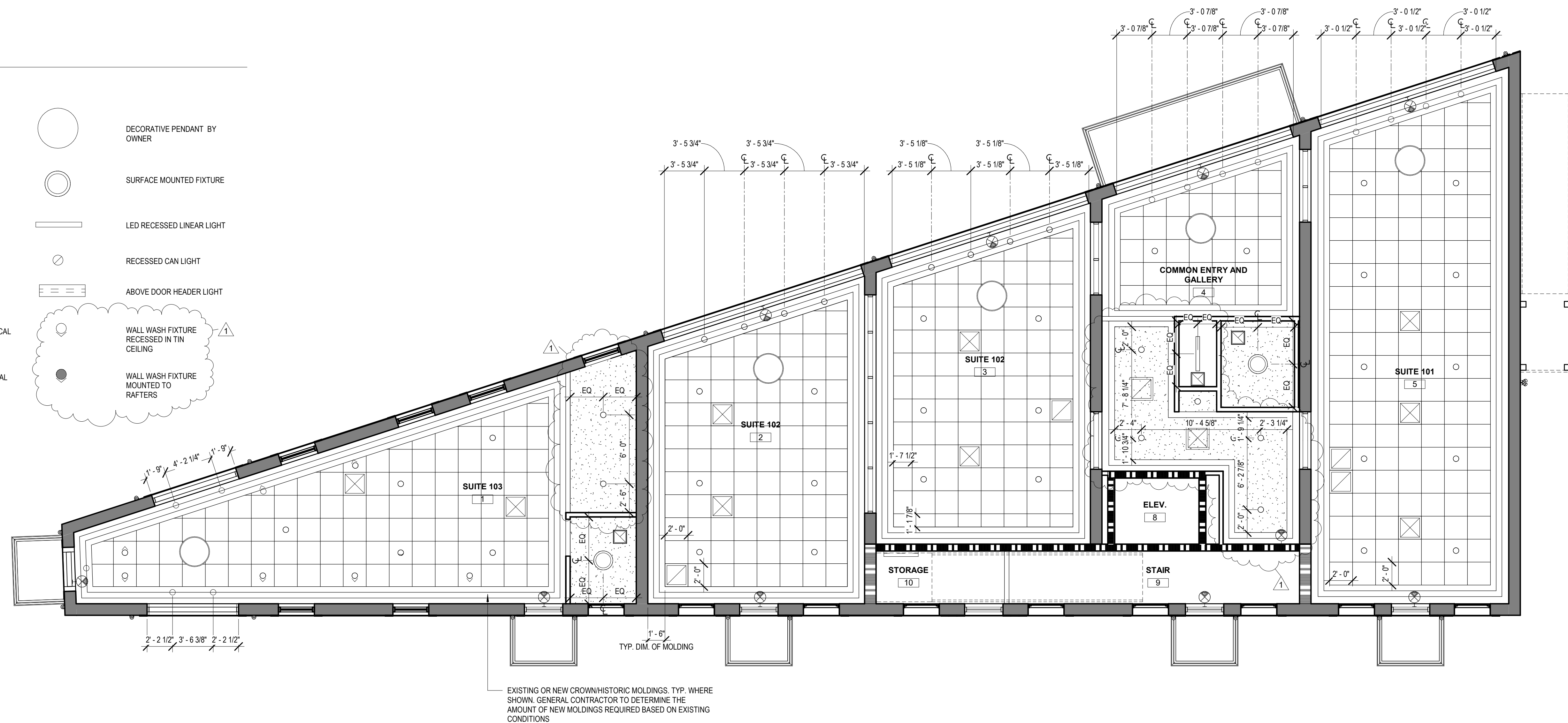
FLAT IRON BUILDING
1211 PENDLETON STREET
GREENVILLE, SC 29611

[illegible]

PROJECT NUMBER:	1961.00
DATE:	2020.08.17
DRAWN BY:	CW

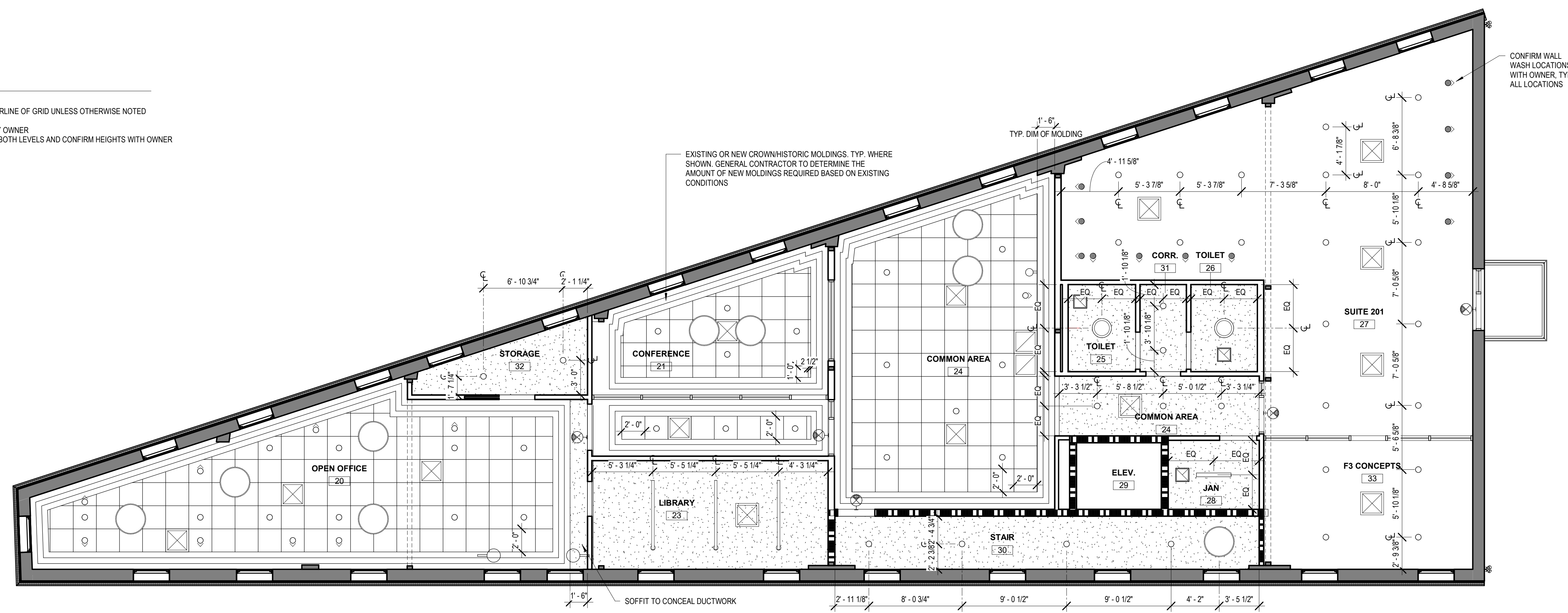
A101

	OPEN ABOVE		DECORATIVE PENDANT BY OWNER
	GWB CEILING		SURFACE MOUNTED FIXTURE
	24" x 24" HISTORICAL PRESSED TIN CEILING		LED RECESSED LINEAR LIGHT
	1'-0" A.F.F.		RECESSED CAN LIGHT
	CEILING TAG CEILING HEIGHT		ABOVE DOOR HEADER LIGHT
	RETURN REGISTER (SEE MECHANICAL DWGS FOR INFO)		
	SUPPLY DIFFUSER (SEE MECHANICAL DWGS FOR INFO)	WALL WASH FIXTURE RECESSED IN TIN CEILING WALL WASH FIXTURE MOUNTED TO RAFTERS	
	EXHAUST (SEE MECHANICAL DWGS FOR INFO)		



① LEVEL 1 REFLECTED CEILING PLAN
3/16" = 1'-0"

1. CEILING GRID DIMENSIONS ARE FROM FACE OF FINISH WALL TO CENTERLINE OF GRID UNLESS OTHERWISE NOTED
2. CENTER LIGHT IN CEILING TILE UNLESS OTHERWISE NOTED
3. ALL DECORATIVE PENDANT LIGHT FIXTURE MOUNTING HEIGHTS TBD BY OWNER
4. CEILING HEIGHTS ARE NOT SHOWN. MAXIMIZE CEILING HEIGHTS FOR BOTH LEVELS AND CONFIRM HEIGHTS WITH OWNER



② LEVEL 2 REFLECTED CEILING PLAN
3/16" = 1'-0"

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FLAT IRON BUILDING
1211 PENDLETON STREET
GREENVILLE, SC 29611

[illegible]

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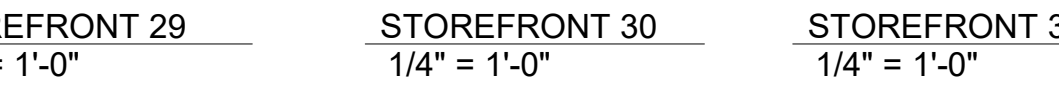
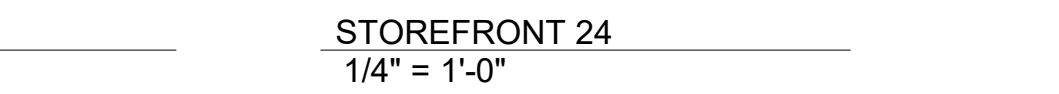
A201

DOOR NO.	DOOR SIZE		FIRE RATING	DOOR		FRAME		DOOR HEAD	DOOR JAMB	COMMENTS
	WIDTH	HEIGHT		TYPE	MTL	TYPE	MTL			
1A	3'-0"	8'-9 1/2"		B	ALUM./GL		ALUM			STOREFRONT 25
1B	3'-0"	8'-3 5/8"		B	ALUM./GL		ALUM			STOREFRONT 27
2A	3'-0"	7'-11 5/8"		B	ALUM./GL		ALUM			STOREFRONT 23
2B	3'-0"	7'-10 1/8"		F	GL		ALUM			STOREFRONT 5
2C	3'-0"	7'-9 3/8"		B	ALUM./GL		ALUM			STOREFRONT 28
3A	3'-0"	7'-2 1/8"		B	ALUM./GL		ALUM			STOREFRONT 22
3B	3'-0"	7'-10 1/2"		F	GL		ALUM			STOREFRONT 4
4A	3'-0"	7'-2 1/2"		B	ALUM./GL		ALUM			STOREFRONT 21
4B	3'-0"	7'-6"		F	GL		ALUM			STOREFRONT 2
4C	3'-0"	7'-0"	60 MIN.	C	WOOD/GL	1	WD			
5A	3'-0"	6'-10"		B	ALUM./GL		ALUM			STOREFRONT 20
5B	3'-0"	6'-8 1/2"		B	ALUM./GL		ALUM			STOREFRONT 31
6	3'-0"	7'-0"		A	WOOD	1	WD			
7	3'-0"	7'-0"		A	WOOD	1	WD			
8	3'-0"	7'-3"		B	ALUM./GL		ALUM			STOREFRONT 30
10	3'-0"	7'-3"	60 MIN.	A	WOOD	1	WD			
11	3'-0"	7'-8"		A	WOOD	1	WD			
20	4'-0"	7'-10"		E	—	2	—			CASED OPENING
21	3'-0"	7'-8"		F	GL		ALUM			STOREFRONT 6
22	3'-0"	7'-8"		D	GL		ALUM			STOREFRONT 7
23	3'-0"	7'-10"		E	—	2	—			CASED OPENING
25	3'-0"	7'-8"		A	WOOD	1	WD			
26	3'-0"	7'-8"		A	WOOD	1	WD			
27A	3'-0"	7'-8"		D	GL		ALUM			STOREFRONT 8
27B	3'-0"	7'-8"		B	ALUM./GL		ALUM			STOREFRONT 26
27C	3'-0"	7'-8"		F	GL		ALUM			STOREFRONT 9
28	3'-0"	7'-8"		A	WOOD	1	WD			
30	3'-0"	7'-8"	60 MIN.	C	WOOD/GL	1	WD			
31	3'-0"	7'-10"		E	—	2	—			CASED OPENING
32	3'-0"	7'-8"		G	WOOD	1	WD			

1. COMMON AREA ENTRY DOORS DOWNSTAIRS TO HAVE KEYPAD LOCKSET
2. ALL HARDWARE TBD BY OWNER AND DOOR LOCKSET/LATCHSET FUNCTIONS BY OWNER
3. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING



1. EXTERIOR STOREFRONT AND WINDOWS TO BE ALUMINUM CLAD WOOD
2. INTERIOR STOREFRONT TO BE PROVIDED BY F3 CONCEPTS BUT IS SHOWN FOR DIMENSIONAL INFORMATION
3. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING



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AT IRON BUILDING
211 PENDLETON STREET
GREENVILLE, SC 29611

SCHEDULES

PROJECT NUMBER:	1961.00
DATE:	2020.08.17
DRAWN BY:	CW

A801



MacRostie Historic Advisors LLC
3 Broad Street, Suite 301
Charleston, SC 29401
(843) 203-5405
www.macrostiehistoric.com

TRANSMITTAL

TO: Dan Elswick	FROM: Kendra Waters
COMPANY: Georgia SHPO	DATE: 9/28/20
PROJECT: Triangle Building, Greenville SC Project Number: 41757	CC:

☐ URGENT ☐ FOR REVIEW ☐ PLEASE COMMENT ☐ PLEASE REPLY ☐ PLEASE RECYCLE

☐ Correspondence	☐ Samples	☐ Drawings	☐ Specification
☐ Photographs	☐ Meeting Minutes	☐	☐
Via:			
☐ US Mail	Hand Deliver	☐ Messenger	☐ Fed Ex

Quantity	Dated	Description
2		Part 2 Applications

COMMENTS:

Mr. Elswick,

Please find enclosed the Part 2 HPCA for the Triangle Building in Greenville, SC (NPS Project Number 41757). If you have any questions or concerns, please contact me at kwaters@mac-ha.com or (843) 735-9540.

Best,

Kendra Waters
MHA Charleston Junior Associate



HISTORIC PRESERVATION CERTIFICATION APPLICATION PART 2 – DESCRIPTION OF REHABILITATION



Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

NPS Project Number

41757

1. Property Name Triangle Building

Street 1211 Pendleton Street

City Greenville County Greenville State SC Zip 29611-4850

Name of Historic District _____

☐ Listed individually in the National Register of Historic Places; date of listing _____

☐ Located in a Registered Historic District; name of district _____

☒ Part 1 – Evaluation of Significance submitted? Date submitted 2/27/2020 Date of certification 4/9/2020

2. Project Data

Date of building c. 1925 Estimated rehabilitation costs (QRE) _____

Number of buildings in project 1 Floor area before / after rehabilitation _____ / _____ sq ft

Start date (estimated) 11/01/2020 Use(s) before / after rehabilitation Office / Office

Completion date (estimated) _____ Number of housing units before / after rehabilitation 0 / 0

Number of phases in project 2 Number of low-moderate income housing units before / after rehabilitation 0 / 0

3. Project Contact (if different from applicant)

Name Kendra Waters Company MacRostie Historic Advisors LLC

Street 3 Broad Street, Suite 301 City Charleston State SC

Zip 29401 Telephone (843) 735-9540 Email Address kwaters@mac-ha.com

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable]:

☐ I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or

☐ if I am not the fee simple owner of the above described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011).

For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Katie Skoloff Signature (Sign in ink) _____ Date _____

Applicant Entity Big AL LLC SSN _____ or TIN _____

Street 14 Ridgeland Drive City Greenville State SC

Zip 29601 Telephone (864) 607-3153 Email Address katie@in-site-designs.com

☐ Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application – Part 2 for the above-named property and has determined that:

☐ the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.

☐ the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.

☐ the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date _____ National Park Service Authorized Signature (Sign in ink) _____

☐ NPS conditions or comments attached

RECORDS RETENTION - PERMANENT. Transfer all permanent records to NARA 15 years after closure. (NPS Records Schedule, Resource Management and Lands (Item 1.A.2) (N1-79-08-1)).

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Triangle Building
1211 Pendleton Street, Greenville SC

Instructions. Read the instructions carefully before completing. Type, or print clearly in black ink. Use this sheet to continue sections of the Part 1 and Part 2 application, or to amend an application already submitted. Photocopy additional sheets as needed.

This sheet: ☐ continues Part 1 ☒ continues Part 2 ☐ amends Part 1 ☐ amends Part 2

NPS Project Number 41757

Number 1

Architecture Feature: Overall Rehabilitation

Approximate Date of Feature: Circa 1925

Existing Feature and Condition:

The Triangle Building at 1203-1211 Pendleton Street is a two-story brick structure that is significant to the commercial development of the Village of West Greenville as an important mill village in South Carolina. As a triangular-shaped building, the Triangle Building anchors a prominent corner in the Village of West Greenville Commercial District. The Triangle Building has been determined to be eligible for listing on the National Register of Historic Places under Criteria A for Industry and Commerce as a finishing and retail building for the Piedmont Plush Mill. While most mills were producing only raw textiles, Piedmont Plush Mill saw the benefit in operating a finishing site and selling completed products directly to consumers. The building has also been determined eligible for listing under Criteria A for Industry and Social History for the building's use during the textile workers unionization efforts from 1937 to 1939. The Textile Workers Organizing Committee (TWOC) of Greenville used the space as their hall during this time. The building has since undergone other uses but has remained a vital part of West Greenville.

The building was constructed c. 1925 as the Sewing Department and retail location for the nearby Piedmont Plush Mill. The mill was completed in 1925 and the Triangle Building first appears on the 1928 Sanborn Fire Insurance Map. On the 1928 Sanborn Map the first floor is divided into five separate store spaces and the second floor has no interior divisions to hold the Sewing Department. The north and west elevations hold the storefronts for the individual retail spaces on the first floor. The west elevation is the narrowest point of the building as it fills the space at the intersection of Pendleton and Burdette Streets. The north elevation along Pendleton Street has four large storefronts.

The building underwent multiple different uses during the subsequent decades, but the appearance and layout of the building stayed the same. The retail spaces were altered to better suit different tenants, but the historic finishes remained a character-defining feature of the interior spaces. The first-floor spaces were most recently used as artist studios. The second floor underwent a rehabilitation effort in 2007, including a new roof, exterior stairs added, and upstairs windows replaced.

Work and Impact on Feature:

The overall rehabilitation plan for the Triangle Building is to convert the building from artist studios and an empty second floor into five commercial spaces: three on the first floor and two on the second. The Village of West Greenville is currently undergoing a revitalization with many nearby historic commercial buildings being rehabilitated into restaurants, retail spaces, and offices. The Triangle Building, with its prominent central location, will provide additional office space to the

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growing community. The rehabilitation project is dedicated to retaining as many historic finishes and appearances as possible.

- Historic pressed metal ceiling will be retained in place where possible and replaced in kind where the ceiling is too damaged
- Exterior brickwork will be cleaned and repaired where necessary
- Retain historic layout of windows and storefronts on all four elevations
- Interior spaces on the first floor will follow the existing layout to continue the appearance of five separate store spaces.

Some interior work is necessary to bring the building up to code.

- The only access point to the second floor is currently an exterior staircase. A staircase will be added to the interior along the south wall.
- New storefronts will be placed along Pendleton Street to replace the current non-historic storefronts.
- A modern elevator and bathrooms are also necessary changes. The design plan has worked to place these components in the least-invasive locations in the building.
- Minimal dividing walls will be added to the second floor to create some separated office space

The only new construction on site will be the addition of a brick retaining wall at the east elevation to enclose the trash receptacles.

This project will be completed in two Phases. All exterior site work and overall building work, including interior dividing walls shown in architectural plans, will be completed in Phase 1. Tenant improvements will be completed in Phase 2 and all work will be submitted in future amendments.

Photos: All

Drawings: All

CONTINUATION/AMENDMENT SHEET
Historic Preservation
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Triangle Building
1211 Pendleton Street, Greenville SC

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NPS Project Number 41757

Number 2

Architecture Feature: Site Work
Approximate Date of Feature: N/A

Existing Feature and Condition:

The Triangle Building site is bounded by Pendleton Street to the north and Burdette Street to the west and south. A lot with a house separates the east edge of the Triangle Building from Mason Street. Pendleton Street is the main commercial corridor through West Greenville. The surrounding area has remained relatively similar to its historic mill village appearance. The building was constructed with a relatively triangular floor plan due to the triangular shape of the lot.

There is a sidewalk along Pendleton Street, and the rest of the lot is grass. An obelisk street marker sits on the sidewalk at the west elevation. A streetlight and some bushes mark the general boundary line to the east of the property.

Work and Impact on Feature:

Site work will be limited and focus on providing necessary elements for tenants. A brick retaining wall will be built in the southeast corner of the building to enclose trash receptacles.

Work on the sidewalk along Pendleton Street is currently being discussed with the city and will be included in Phase 2 and outlined in a future Amendment.

Metal planters will be placed along the north and south elevations at Tenant A.

Photos: *Triangle Building HPCA Part 1* Site Plan and Images 1, 2, 5-8, 13, 17-21
Drawings: *Flat Iron Building - SHLTR* (architects) 08.17.2020
A101 – Floor Plans

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Triangle Building
1211 Pendleton Street, Greenville SC

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NPS Project Number 41757

Number 3

Architecture Feature: Triangle Building - Exterior
Approximate Date of Feature: c. 1925, later non-historic changes

Existing Feature and Condition:

The entire exterior is faced in a deep red brick veneer with a common running bond. Windowsills are brick, and window lintels are a row of soldier bricks. A brick cornice surrounds the west, north and south elevations of the building. It consists of two rows of protruding stretcher courses, a row of soldier course, and finally a row of headers. The parapet above the cornice is running bond brick with metal flashing. The roof is a recent replacement as the previous one was leaking and caused serious damage on the second floor.

West Elevation

The west elevation faces the juncture of Pendleton and Burdette Streets. As such, the elevation is only one bay wide. The first floor has an entrance into the 1211 store space. It is a narrow entry with a wood-framed door and large glass transom above. A concrete step leads up to the entry. Stretcher bricks line the sides of the opening indicating the location of a doorway historically. The second floor contains a single double-hung 1/1 replacement window with a wooden frame.

North Elevation

The north elevation along Pendleton Street consists of five storefronts. Each storefront currently has a separate address from east-to-west numbered 1203, 1205, 1207, 1209, and 1211. Each individual store space will be referred to by their number. A belt course of soldier bricks differentiates the first and second floors. A few non-historic metal sign frames have been bolted into the second floor on this elevation.

The north elevation of the building has five bays along Pendleton Street. The westernmost bay (1211) does not have an entrance as it is served by the west elevation but contains a floor-to-ceiling window with a transom on the first floor and a wood knee-wall. The other four bays have a small single pane window on the ground floor. All five bays on the second floor have one-over-one double hung replacement windows.

Storefronts 1203-1209 are of similar design. Each has a non-historic storefront on the first floor and two one-over-one double hung replacement windows on the second floor. The storefronts are separated by a decorative brick design. The storefronts consist of a single door (1205 and 1207 are glass, the other two are wood) with two large plate glass windows on either side. Glass block surrounds either side of the door. A decorative wood panel sits below each storefront window. While these storefronts appear to have been replaced with more modern material in the late twentieth century their arrangement with a transom and substantial mullions is probably similar to the original.

CONTINUATION/AMENDMENT SHEET
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NPS Project Number 41757

East Elevation

The east elevation is a blank brick wall except for the second-floor historic five panel wood double door that provides the only point of access to the second floor of the building. The brick and mortar is different than those on the other three elevations. It appears to be of lesser quality as the elevation would have been the least visible elevation. A non-historic wood staircase leads from the south of the building to the door. Historic information shows that the staircase originally went from Pendleton Street to the second floor. Remnants of wood joists for a small porch remain to the south of the door.

South Elevation

The south elevation is roughly divided into five separate bays matching the five storefronts. A simple brick belt course runs the entire length of the elevation. All windows except for the first floor of the 1211 store space are 1/1 double hung replacement wood windows. The rear of storefronts 1203-1207 consist of a door with a window on either side on the first floor. A window in each of the store spaces has been covered with plywood. The second floor has two matching windows above the first-floor windows. The rear of 1209 has only a door and a window to the west. The second floor has a window over both the door and the first-floor window. The rear of 1211 consists of two smaller windows and a larger plate-glass window on the first floor and 1/1 double hung windows on the second floor.

There is one original wood-frame window at the 1207 store space that has been painted over. Stairs lead to the rear doors of 1203-1207 due to change in elevation across the site. 1203 has a non-historic CMU stair with a larger landing. 1205 has two small brick steps, and 1207 has a concrete large step with a small brick step to the east. Six chimneys extend up from the roofline on this elevation.

Work and Impact on Feature:

The work on the exterior of the building will focus on repairing and cleaning the existing features. The overall layout and design will not be changed. All elevations will include the following work:

- The historic exterior brick and mortar will be cleaned, repaired, and repointed where necessary following Technical Preservation Services *Brief 1: Assessing Cleaning and Water-Repellent Treatments for Historic Masonry Buildings* and *Brief 2: Repointing Mortar Joints in Historic Masonry Buildings*.
 - The bricks on the north, west, and south elevations appear to be in good condition. There are a few areas where the bricks will need to be cleaned of efflorescence and spray paint. The cleaning will use the gentlest means possible, preferably a water-based cleaning agent. Testing of the agent will be conducted in a less prominent location and test photos will be sent to SHPO and NPS reviewers.

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Triangle Building
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- Mortar on the north, west, and south elevations is in good condition. The mortar will be cleaned following the same guidelines as the brick. Some areas have been previously repaired by the prior owner with a mortar that is not a match to the historic mortar.
- Mortar and brick will be replaced and filled in areas that area currently missing bricks and mortar due to building remnants from previous tenants or separation. Bricks will be chosen to match the color of existing brick.
- Mortar repairs will be made with a mortar that matches the existing mortar's color, strength, and pointing. This will include creating two different mortars if necessary, to match those found on the north/south/west elevations and that on the east elevation.
- Existing external MEP features will be removed as the systems have either been updated already or will be updated during the rehabilitation. Any areas where they were attached to the wall will be repaired.
- Windows, storefronts, and doors will be addressed in Number 5 below. Signage will be addressed in Number 8.

West Elevation

The window and door on the west elevation will be replaced. The door new door will have the same bottom panel, glass door, and transom light as the existing, but will be adjusted to meet modern code regarding door height. A cylinder-shaped light will be added to either side of the door. A flat copper awning will be placed above the door with metal tie-backs. LED lights will be added underneath the awning to provide additional lighting.

North Elevation

The windows and storefronts on the north elevation will be replaced. The only original windows are the small square windows that are severely rotted.

- The storefront window for 1211 Pendleton (west end of the elevation), will be of similar proportions to the current storefront: bottom panel, large window, and window transom. Due to current glass manufacturing sizes, the glass will be divided vertically down the middle into two panes. Lights matching those found on the west elevation will be placed on either side of the storefront.
- The storefronts for 1209-1203 Pendleton will be matching storefronts and follow a similar design as seen currently. The storefronts will be five panels across with the central panel containing a door. A window transom will be above the storefront. The bottom quarter of the storefront and doors will be paneled to match the existing examples. Matching lights will be placed in between each storefront.
- A flat copper awning will extend across the length of 1205 Pendleton. The entrance of 1205 Pendleton opens onto the common first-floor entry and gallery space. The awning will have metal tiebacks and LED lights underneath the awning to provide additional lighting for the entrance.

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- The exterior stairs to the second floor will start at the eastern end of the north elevation. This will return the staircase to its original orientation, providing access off Pendleton Street (the primary street at the site).

East Elevation

The east elevation will remain relatively the same. The access door for the second floor does not currently meet code and will be replaced with a metal and glass door. It will resemble those found on the other elevations and will have a side transom window to fill the opening. The current door will be retained and placed on the interior.

A new simple metal staircase will extend from Pendleton Street to the second floor. This orientation of a staircase can be seen on historic Sanborn Maps. The new stair landing will be placed in the same location as the current landing and will be tied into the wall. Cylinder lights will be placed on either side of the door. Metal posts will support the landing and staircase. A flat copper awning will cover the doorway and use metal tiebacks. A location for trash bins will be placed behind the staircase.

South Elevation

The fenestration pattern on the south elevation will remain unchanged.

- The windows will be replaced, including the large storefront window at the west end of the elevation.
- The non-historic rear doors for 1203, 1205, 1209, and 1211 will be replaced with new doors that meet code requirements and match doors found on the north elevation. The large transom window above the doors will be returned to glass. The door at 1207 will be replaced with a fixed window that matches the layout of the other doors to continue the historic appearance of the rear entrance.
- Due to a change in the interior layout because of the necessary interior staircase, the opening at 1207 will now be storage and does not require exterior access.
- Flat copper awnings with metal tie-backs will be placed above the four operable doors. Exterior lights matching the north and west elevations will be placed around the large storefront window at the west end, the rear door for 1211, and the rear door for 1205.

Currently each rear door has a mis-matched stoop or staircase to accommodate the change in elevation along the building. The stairs at 1203-1207 will be replaced with simple concrete steps that lead from west to east and will have simple metal railings to meet code requirements. 1209 and 1211 will have a simple concrete stoop as no stairs are required.

Photos: *Triangle Building HPCA Part 1* Images 1-23

Drawings: *Flat Iron Building - SHLTR (architects)*
A401 – Building Elevations

08.17.2020

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Triangle Building
1211 Pendleton Street, Greenville SC

Instructions. Read the instructions carefully before completing. Type, or print clearly in black ink. Use this sheet to continue sections of the Part 1 and Part 2 application, or to amend an application already submitted. Photocopy additional sheets as needed.

This sheet: ☐ continues Part 1 ☒ continues Part 2 ☐ amends Part 1 ☐ amends Part 2

NPS Project Number 41757

Number 4

Architecture Feature: Interior
Approximate Date of Feature: c. 1925, later non-historic rehabilitations

Existing Feature and Condition:

The interior of the Triangle Building consists of five finished artist studios on the first floor and a stripped down open second floor that was renovated in 2007 but not completed.

First Floor

The first floor is divided into five store spaces that have since been turned into artist studios. Each has a front and rear entrance with a masonry dividing wall in between. Openings have been cut into the dividing walls to provide movement between spaces, though it is unclear when this change was made. The site slopes downwards to the west so there is some differentiation of floor levels between store spaces, especially the eastern three.

Each store space is relatively unadorned with blank stucco walls and relatively no base molding. A few portions of the infill terra cotta tiles have been exposed in the rear of some spaces. The doors and windows have simple wood trim. The main decorative feature that has been maintained on the first floor is the pressed metal ceiling. It extends throughout all five shop spaces and has been well maintained. As part of a previous restoration effort, the pressed metal has been coated with non-historic paint that has obscured some of the finer detailing. The floor is concrete. Exposed ductwork and lighting provide modern amenities to the space. Bathrooms and storage closets have been enclosed at the rear of each store space. Additional moveable partitions are found in most of the spaces to provide extra gallery walls for the artists. The store spaces with non-historic storefronts have wood paneling beneath the windows.

Second Floor

The second floor is a large open space that has seen years of neglect. The previous owner was in the process of repairing the space when the property was sold. An exterior staircase provides the only access to the second floor. An elevator remains centrally located on the south interior wall but no longer works or meets modern code. A bathroom is also located along the south wall.

The walls are covered in plaster, but some brick or infill terra cotta tile has been exposed due to failing plaster and previous work. All windows are non-historic replacements. Most of the window trim was removed to install the replacement windows. The flooring is original wood planks. The historic pressed metal molding no longer remains except in the northeast corner. The ceiling was historically pressed metal to match the first floor, but the majority was damage or removed due to a failing roof.

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Triangle Building
1211 Pendleton Street, Greenville SC

Instructions. Read the instructions carefully before completing. Type, or print clearly in black ink. Use this sheet to continue sections of the Part 1 and Part 2 application, or to amend an application already submitted. Photocopy additional sheets as needed.

This sheet: ☐ continues Part 1 ☒ continues Part 2 ☐ amends Part 1 ☐ amends Part 2 NPS Project Number 41757

The roof was supported by a metal suspension system which is visible along the larger beams supporting the roof. However, previous damage and sagging of the roof deck required additional support. Interior modern wood support columns have been inserted to help support the weight of the roof.

Work and Impact on Feature:

The overall interior work will focus on retaining the overall layout of the first-floor retail spaces while modifying them to suit new office uses. The second floor will be modified for functional office space. Some necessary changes to the layout of the floor plans will be made to bring the building up to modern building code.

First Floor

The existing five separate retail spaces will be retained and modified into three office spaces with a common entry and gallery space.

- 1211 will retain its layout and become Tenant A. The existing bathroom in the southeast corner will be retained as a single toilet. The main access point will be from the west elevation, with additional access along the south elevation.
 - The existing opening into 1209 will be enclosed to create a fully separate tenant space.
- Tenant B will occupy the 1209 and 1207 spaces. The existing divider wall will be inset with a sliding glass door and a large glass window to allow more fluidity between the two spaces as they will now be occupied by the same tenant.
 - The new glass dividing wall will have an encasement to demonstrate the solid wall that was once there.
 - The existing opening between the two spaces to the north will be retained with a sliding door placed in the opening.
 - The wall between Tenant B and the common entry/gallery will include a glass door with side window and a glass-filled opening at the south end of the wall.
- 1205 will become the main entrance to the building and will hold a common area, gallery, bathroom, the elevator, and entrance to the interior staircase.
 - The existing openings to the retail spaces on either side of 1205 will be enclosed with glass. Sliding glass doors will be added at the north end of each wall to provide access into Tenant B to the west and Tenant C to the east.
 - A bathroom and janitor's closet will occupy space on the east wall of the common area.
 - The elevator will be in the southwest corner of the space.
 - Glass interior windows will be cut into the interior dividing walls to allow for a line of sight into Tenant B and Tenant C to better mimic the larger openings that once defined these spaces.

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Triangle Building
1211 Pendleton Street, Greenville SC

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- A new interior staircase and storage room will be added to the south wall of the 1205 and 1207 retail spaces. There is currently no interior staircase in the building. For building and fire code a staircase is required.
 - The spaces are currently occupied by non-historic closet and bathroom spaces.
 - The storage space will open into Tenant B and the staircase will open into the common entry space.
- 1203 will be occupied by Tenant C. The space will remain largely unchanged. A door will be added in the northwest corner for access to the common area.
- Finishes:
 - The entire first floor ceiling will be covered in a replacement pressed metal tile ceiling where necessary (see attached spec sheet). The current pressed metal ceiling tiles have been painted multiple times by previous owners and in some cases non-removable paint was used. Where noted the existing ceiling tiles will be stripped, painted, and put back in place.
 - The floor will retain its existing poured concrete.
 - Walls will be painted plaster on the exterior walls and drywall for interior partitions.

Second Floor

The second floor will be divided into two separate office spaces (Tenant D to the east and In Site Designs to the west). A common area will separate the two spaces. The current condition of the second floor is unfinished as it has not been used in a few decades and the previous owner had begun undergoing construction work.

Due to necessary roof stabilization, temporary columns have been placed along the existing wall dividers on the first floor (referred in this portion as “bays”). The interior staircase will open into the common area, which is over the existing 1207 bay. The common area extends into the southern half of the existing 1205 bay. The second-floor bathrooms will be in the common area directly above the first-floor bathroom in the 1205 bay. The elevator and janitor’s closet are also in this common area.

Tenant D occupies the 1203 bay and the northern half of the 1205 bay. The space will be accessed from the exterior staircase on the east wall and from the common area to the west. The existing historic exterior doors will be fixed to the interior east wall at the opening.

In Site Design will occupy the 1209 and 1211 bays. The 1209 bay will be divided by a central hallway with access to the common area, with a conference room to the north and a library to the south. The hallway will lead into the open office space in the 1211 bay.

Finishes:

- Tenant D will retain the exposed roof rafters as the current pressed metal ceiling tiles are beyond repair. Due to a particularly low ceiling height, the tenant has requested the ceiling

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Triangle Building
1211 Pendleton Street, Greenville SC

Instructions. Read the instructions carefully before completing. Type, or print clearly in black ink. Use this sheet to continue sections of the Part 1 and Part 2 application, or to amend an application already submitted. Photocopy additional sheets as needed.

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remains exposed. Any salvageable pressed metal pieces will be used elsewhere in the building.

- Flooring will be the restored heart pine hardwood floors. The current flooring will be carefully removed in order to replace the first-floor pressed metal ceiling and to add insulation to the building. Stairwell treads and areas of flooring that need replacing will be replaced with matching reclaimed heart pine floorboards.
- The exterior walls will be covered in new plaster and painted. Interior partition walls will be glass where noted and all others will be gypsum board.
 - Conduit will be run through the baseboards. The majority of the electricals on the second floor have been removed, no longer work, or do not meet code requirements.

Photos: *Triangle Building HPCA Part 1* Images 24-79

Drawings: *Flat Iron Building - SHLTR* (architects)

08.17.2020

AD101 – Demo Floor Plans

A101 – Floor Plans

A201 – Reflected Ceiling Plans

A701 – Vertical Circulation

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Triangle Building
1211 Pendleton Street, Greenville SC

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NPS Project Number 41757

Number 5

Architecture Feature: Windows and Doors

Approximate Date of Feature: N/A

Existing Feature and Condition:

The majority of the existing windows and doors are not historic. The second-floor and south elevation windows were in the process of being replaced by the previous owner. They are 1/1 single hung wood-framed windows.

Some historic doors were found in the building. The second-floor exterior entrance door is a large, wooden double door.

Work and Impact on Feature:

Windows and doors will be replaced to match the existing historic precedents. The current windows are 2004 replacements that have rotted considerably due to improper placement and lack of care. Window and door specs will be provided at a later date. The small square windows are original but have rotted beyond repair.

- Window glass will be clear.
- Windows will be dual glazed for energy efficiency.
- Double-hung windows will be used in large window openings. They will be operable.

Currently there is no trim on the second-floor windows. Some historic trim was kept in the building, and new trim will be based on historic precedents.

The second-floor exterior doors will be affixed in the interior on either side of the original opening. The current doors no longer meet code and will be replaced with a single metal and glass door with a sidelight to fill the remaining space in the opening.

Photos: *Triangle Building HPCA Part 1* Images 3-4, 5, 7-10, 16, 19-22, 33, 37, 48, 60, 77-79

Drawings: *Flat Iron Building - SHLTR (architects)* 08.17.2020
A801 - Schedules

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Triangle Building
1211 Pendleton Street, Greenville SC

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Number 6

Architecture Feature: Mechanical, Plumbing, and Electrical
Approximate Date of Feature: N/A

Existing Feature and Condition:

The MEP systems in the property are not historic. The majority of the MEP are exposed as they were added to the building at a later date. The first floor includes exposed wiring, HVAC, and lighting. The second floor has very little MEP remaining, though some original knob and tube wiring is visible.

HVAC units currently sit on the roof of the building, but due to the tall parapets are not visible from the ground.

Work and Impact on Feature:

All MEP will be replaced in the building.

- Electrical conduit will remain in walls on the first floor. On the second floor they will be in the baseboards. TV drops will also be included inside the walls.
- Mechanical systems will be above bathrooms, storage, and janitors' closets on the first floor.
- HVAC air handling units will be placed on the roof of the building behind the parapet. They will not be visible from the ground.
- Plumbing will be hidden in flooring and walls.
- Lighting fixtures will be industrial contemporary models.

Drawings: *Flat Iron Building* - SHLTR (architects)
A201 – Reflected Ceiling Plans

08.17.2020

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

Triangle Building
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NPS Project Number 41757

Number 7

Architecture Feature: Roof

Approximate Date of Feature: 2007

Existing Feature and Condition:

The roof is not historic and was replaced in 2007. The roof was neglected and currently leaks. There are currently four mechanical units along the southern edge of the roof. The high parapet blocks the units from the ground floor.

Work and Impact on Feature:

Due to the poor quality of the roof, it will be replaced with a compatible built-up roofing material.

Drawings: N/A

CONTINUATION/AMENDMENT SHEET
Historic Preservation
Certification Application

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NPS Project Number 41757

Number 8

Architecture Feature: Signage
Approximate Date of Feature: N/A

Existing Feature and Condition:

The current signage on the north elevation of the building is limited to vinyl flag signs attached to the second story with metal tie-backs. Vinyl window appliques also provide signage for tenants.

Work and Impact on Feature:

Signage will be limited to a building identifier sign and tenant signage. Simple metal letters spelling out "FLAT IRON" will be placed around the northwest corner of the building at the cornice. The sign will have rear lighting to illuminate the letters. Tenant signage will be limited to the windows and the existing vinyl flag sign locations.

Photos: *Triangle Building HPCA Part 1 Images 2, 3, 6, 7*

Drawings: N/A

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VICINITY MAP

**108-B MOHAWK DRIVE
GREENVILLE, SC 29609
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FLAT IRON BUILDING
1211 PENDLETON STREET
GREENVILLE, SC 29611

COVERSHEET

PROJECT NUMBER:	1961.00
DATE:	2020.08.17
DRAWN BY:	CW

G000

WALL TYPES - WOOD STUD

Name of Project: FLAT IRON BUILDING
Address: 1211 PENDELTON STREET GREENVILLE, SC 29611
Tax ID #: 0120000400100
Owner/Authorized Agent: KATIE SKOLOFF Phone #: 864.607.3153 E-Mail: KATIE@IN-SITE-DESIGNS.COM
Owned By: ☐ City/County ☒ Private ☐ State
Code Enforcement Jurisdiction: ☒ City ☐ County ☐ State

2018 EBC - EXISTING BUILDING CODE:
(Check all that apply)

☐ Prescriptive	☐ Alteration Level I	☐ Historic Property
☐ Repair	☐ Alteration Level II	☐ Change of Use
☐ Chapter 14	☒ Alteration Level III	

PROPOSED OCCUPANCY(S): (Ch. 3): MIXED - BUSINESS (B) AND MERCANTILE (M)

BASIC BUILDING DATA

GROSS BUILDING AREA TABLE			
FLOOR	EXISTING (SQFT)	NEW (SQFT)	SUB-TOTAL
1ST FLOOR	3,018	0	3,018
2ND FLOOR	3,303	0	3,303
TOTAL: 6,321 SF			

Primary Occupancy Classification(s):

Assembly	☐ A-1	☐ A-2	☐ A-3	☐ A-4	☐ A-5
Business	☒				
Educational	☐				
Factory	☐ F-1 Moderate	☐ F-2 Low			
Hazardous	☐ H-1 Detonate	☐ H-2 Deflagrate	☐ H-3 Combust	☐ H-4 Health	☐ H-5 HPM
Industrial					
I-1 Condition	☐ 1	☐ 2			
I-2 Condition	☐ 1	☐ 2			
I-3 Condition	☐ 1	☐ 2	☐ 3	☐ 4	☐ 5
Mercantile	☒				
Residential	☐ R-1	☐ R-2	☐ R-3	☐ R-4	
Storage	☐ S-1 Moderate	☐ S-2 Low	☐ S-3 High-piled		
	☐ Parking Garage	☐ Open	☐ Enclosed	☐ Repair Garage	
Utility and Miscellaneous	☐				

BUILDING IS A MIXED USE BUILDING AND WILL BE CONSIDERED A NONSEPARATED OCCUPANCY IN ACCORDANCE WITH SECTION 508.3

- ALLOWABLE BUILDING AREA AND HEIGHT SHALL BE BASED ON THE MOST RESTRICTIVE ALLOWANCES FOR THE OCCUPANCY GROUPS UNDER CONSIDERATION
- NO SEPARATION IS REQUIRED BETWEEN NONSEPARATED OCCUPANCIES

STORY NO.	DESCRIPTION AND USE	(A) BLDG. AREA PER STORY (ACTUAL)	(B) TABLE 506.2.4 (ALLOWABLE AREA)	(C) AREA FOR FRONTAGE INCREASE ^{1,5}	(D) ALLOWABLE AREA PER STORY OR UNLIMITED ^{2,3}
FIRST LEVEL	MERCANTILE (M)	3,303	12,500	NOT NEEDED	12,500
SECOND LEVEL	BUSINESS (B)	3,303	12,500	NOT NEEDED	12,500

	ALLOWABLE	SHOWN ON PLANS	CODE REFERENCE
Building Height in Feet (Table 504.3)	55'-0"	27' - 10" TO TOP OF PARAPET	TABLE 504.3
Building Height in Stories (Table 504.4)	2	2	TABLE 504.4

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING		DETAIL # AND SHEET #	DETAIL # FOR RATED ASSEMBLY	SHEET # FOR RATED PENETRATION	SHEET # FOR RATED JOINTS
		REQ'D	PROVIDED (W/ REDUCTION)				
Structural Frame, including columns, girders, trusses		0	0				
Bearing Walls							
Exterior							
North	>30'	0	0				
East							
West							
South	>30'	0	0				
Interior		0	0				
Nonbearing Walls and Partitions							
Exterior walls							
North							
East	6'	1	1				
West	>30'	0	0				
South							
Interior walls and partition		0	0				
Floor Construction including supporting beams and joists		0	0				
Floor Ceiling Assembly		0	0				
Columns Supporting Floors		0	0				
Roof Construction, including supporting beams and joists		0	0				
Roof Ceiling Assembly		0	0				
Columns Supporting Roof		0	0				
Shaft Enclosures - Exit		1	1				
Shaft Enclosures - Other		1	1				
Corridor Separation		0	0				
Occupancy / Fire Barrier Separation		0	0				
Party / Fire Wall Separation		0	0				
Smoke Barrier Separation		0	0				
Smoke Partition		0	0				
Tenant / Dwelling Unit / Sleeping Unit Separation		N/A	N/A				
Incidental Use Separation		N/A	N/A				

*Indicate section number permitting reduction

Fire Separation Distance (Feet) from Property Lines	Degree of Openings Protection (Table 705.8)	Allowable Area (%)	Actual Shown on Plans (%)
EAST WALL - 6' FSD	UNPROTECTED, NONSPRINKLERED	10%	2.8%
ALL OTHER WALLS - > 30' FSD	UNPROTECTED, NONSPRINKLERED	NO LIMIT	

Emergency Lighting: ☒ Yes ☐ No

Exit Signs: ☒ Yes ☐ No

Fire Alarm: ☐ Yes ☒ No

Smoke Detection System: ☒ Yes ☐ No

Carbon Monoxide Detection: ☒ Yes ☐ No

	☒ Fire and/or smoke rated wall locations (Chapter 7) ☒ Assumed and real property line locations (if not on site plan) ☒ Exterior wall opening area with respect to distance to assumed property lines (705.8) ☒ Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2) ☒ Occupants loads for each area
Max. 200'	☒ Exit access travel distances (1017)
Max. 75'	☒ Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
Max. 20'	☒ Dead end lengths (1020.4) ☒ Minimum required corridor width (1020.2) ☒ Clear exit widths for each exit door ☒ Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3) ☒ Actual occupant load for each exit door ☒ A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
N/A	☐ Location of doors with panic hardware (1010.1.10) ☐ Location of doors with delayed egress locks and amount of delay (1010.1.9.7) ☐ Location of doors with electromagnetic egress locks (1010.1.9.9) ☐ Location of doors equipped with hold-open devices ☐ Location of emergency escape windows (1030) ☐ The Square footage of each fire area (202) ☐ The Square footage of each smoke compartment for Occupancy Classification I-2 (407.5) ☐ Note any code exceptions or table notes that may have been utilized regarding the items above

INTERIOR WALL & CEILING FINISH REQUIREMENTS BY OCCUPANCY: TABLE 803.11

	NON-SPRINKLERED		
GROUP	EXITS, STAIRS, RAMPS, PASSAGEWAYS	CORRIDORS AND EXIT ACCESS ENCLOSURES	ROOMS AND ENCLOSED SPACES
BUSINESS (B)	A	B	C
MERCANTILE (M)	A	B	C

INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723.

1. PROVIDE FLAME SPREAD CERTIFICATION OF ALL FINISH MATERIALS IN COMPLIANCE WITH SECTION 803 OF THE 2015 IBC
2. IN ADDITION TO REQUIREMENTS OF SECTION 803 OF THE 2015 IBC, ALL INTERIOR FLOOR FINISHES SHALL COMPLY WITH 804 OF THE 2015 IBC

OCCUPANT LOAD:

SPACE DESIGNATION	AREA SQ.FT. (A)	AREA PER OCCUPANT (B)	CALCULATED OCCUPANT LOAD (A/B)
FIRST LEVEL MERCANTILE (M)	3,018 SF	60 GROSS	(112 REQUESTED SEE LIFE SAFETY PLAN)
SECOND LEVEL BUSINESS (B)	3,303 SF	150 GROSS	22.02
TOTAL	6,321 SF		134

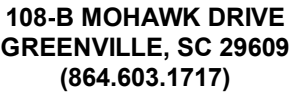
PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)

PLUMBING FIXTURES REQUIRED.

SPACE DESIGNATION	WATER CLOSETS			URINALS	LAVATORIES			SHOWER / TUB	DRINKING FOUNTAINS	OTHER REQUIREMENTS
	M	F	U		M	F	U			
FIRST LEVEL MERCANTILE (M)			2				1		1	1 SERVICE SINK
SECOND LEVEL BUSINESS (B)			1				1		1	1 SERVICE SINK

PLUMBING FIXTURES PROVIDED:

SPACE DESIGNATION	WATER CLOSETS			URINALS	LAVATORIES			SHOWERS / TUB	DRINKING FOUNTAINS	OTHER REQUIREMENTS
	M	F	U		M	F	U			
FIRST LEVEL MERCANTILE (M)			2				2		1	1 SERVICE SINK
SECOND LEVEL BUSINESS (B)			2				2		1	1 SERVICE SINK



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FLAT IRON BUILDING
1211 PENDLETON STREET
GREENVILLE, SC 29611

FLAT IRON BUILDING

AT IRON BUILDING
211 PENDLETON STREET

FLATIRO

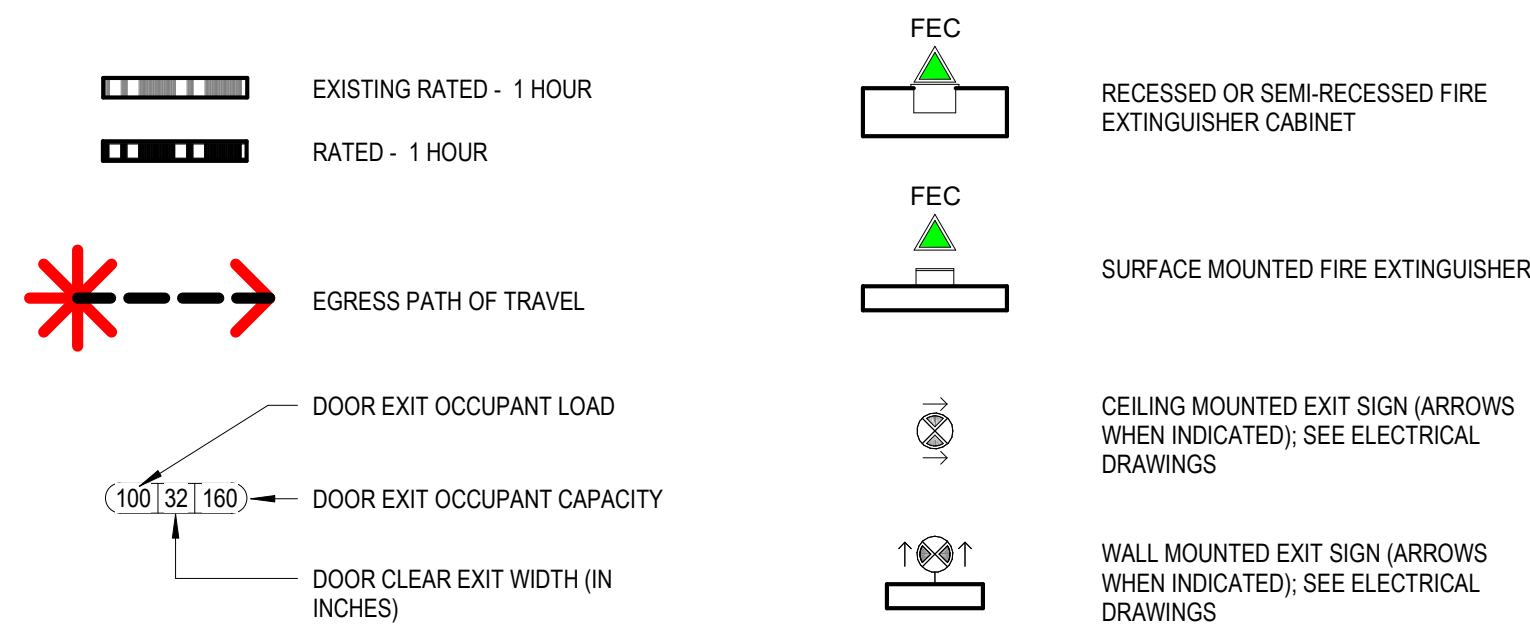
REVISION SCHEDULE

[illegible]

PROJECT NUMBER:	1961.00
DATE:	2020.08.17
DRAWN BY:	CW

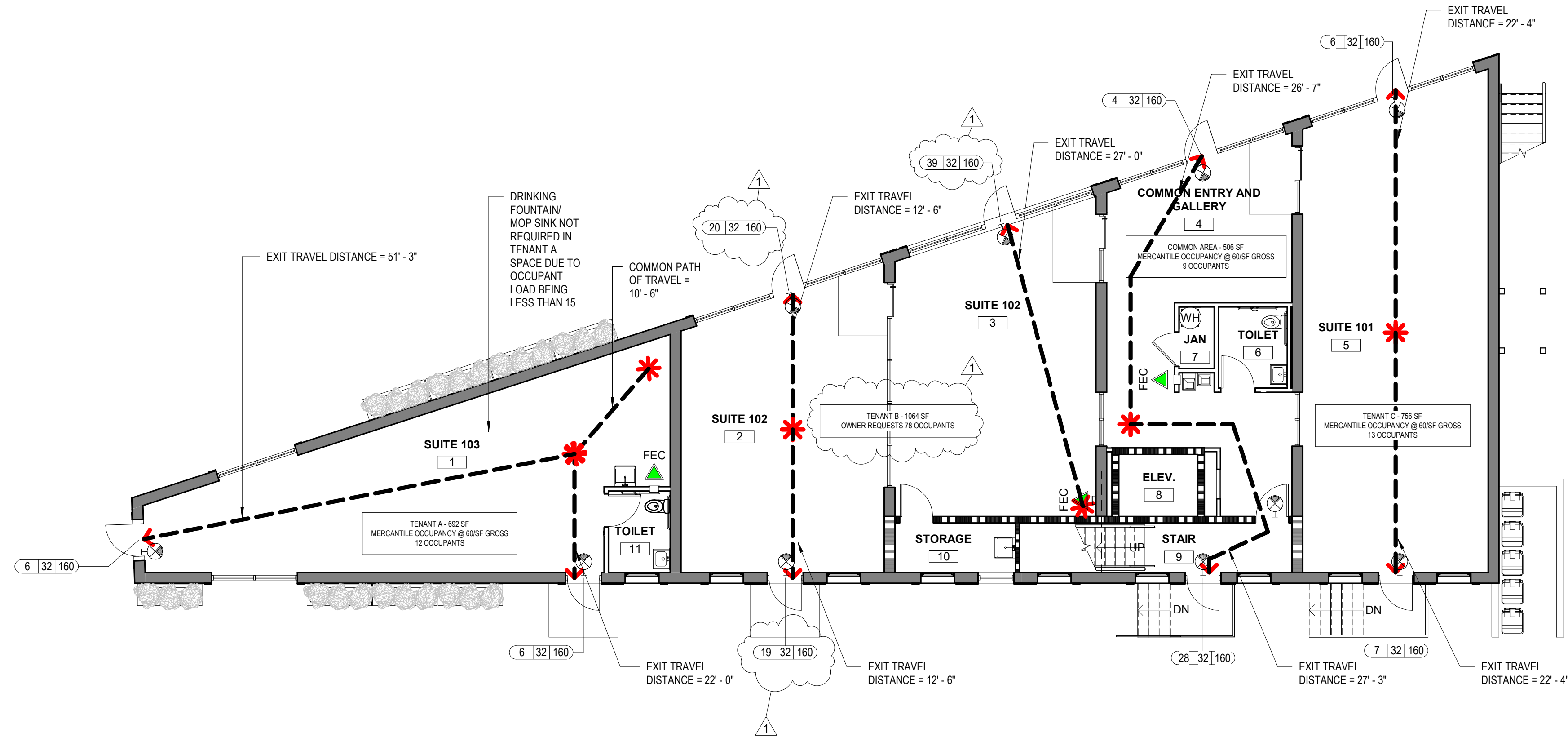
G002

LIFE SAFETY LEGEND

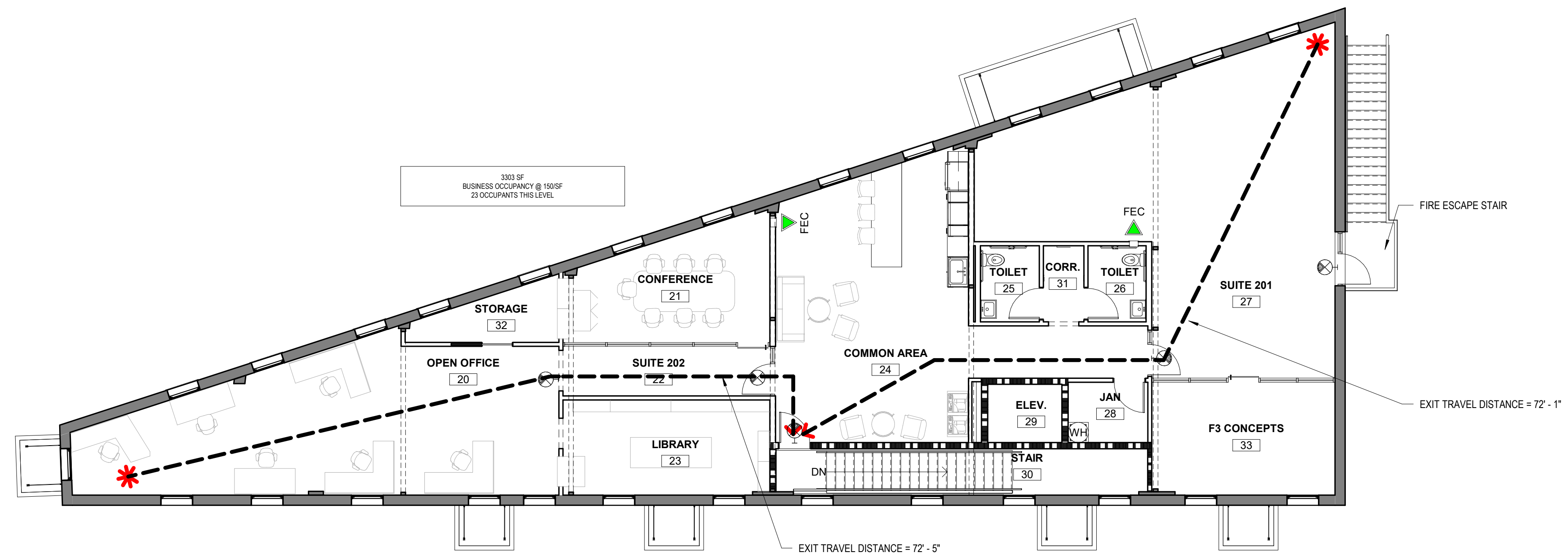


FIRE RATING AND FIRE PROOFING NOTES:

1. SEE FLOOR PLAN(S) AND WALL TYPE SCHEDULE FOR WALL ASSEMBLY TYPES AND CONSTRUCTION
2. FIRE CAULK AROUND ALL ELECTRICAL CONDUIT PASSING THROUGH WALLS.
3. SEE MECHANICAL AND PLUMBING DRAWINGS FOR SPECIAL DETAILS WHERE DUCTWORK AND PIPING PASS THROUGH WALLS.
4. REFER TO SHEET G001 & G002 FOR GENERAL FLOOR, ROOF, AND STRUCTURAL RATING REQUIREMENTS AND RELEVANT PROPOSED PROTECTION SYSTEMS.



① LEVEL 1 LIFE SAFETY PLAN
1/8" = 1'-0"



② LEVEL 2 LIFE SAFETY PLAN
1/8" = 1'-0"

SHLTR
[architects]

108-B MOHAWK DRIVE
GREENVILLE, SC 29609
(864.603.1717)



WWW.SHLTRARCH.COM

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1211 PENDLETON STREET
GREENVILLE, SC 29611

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1211 PENDLETON STREET
GREENVILLE, SC 29611

REVISION SCHEDULE

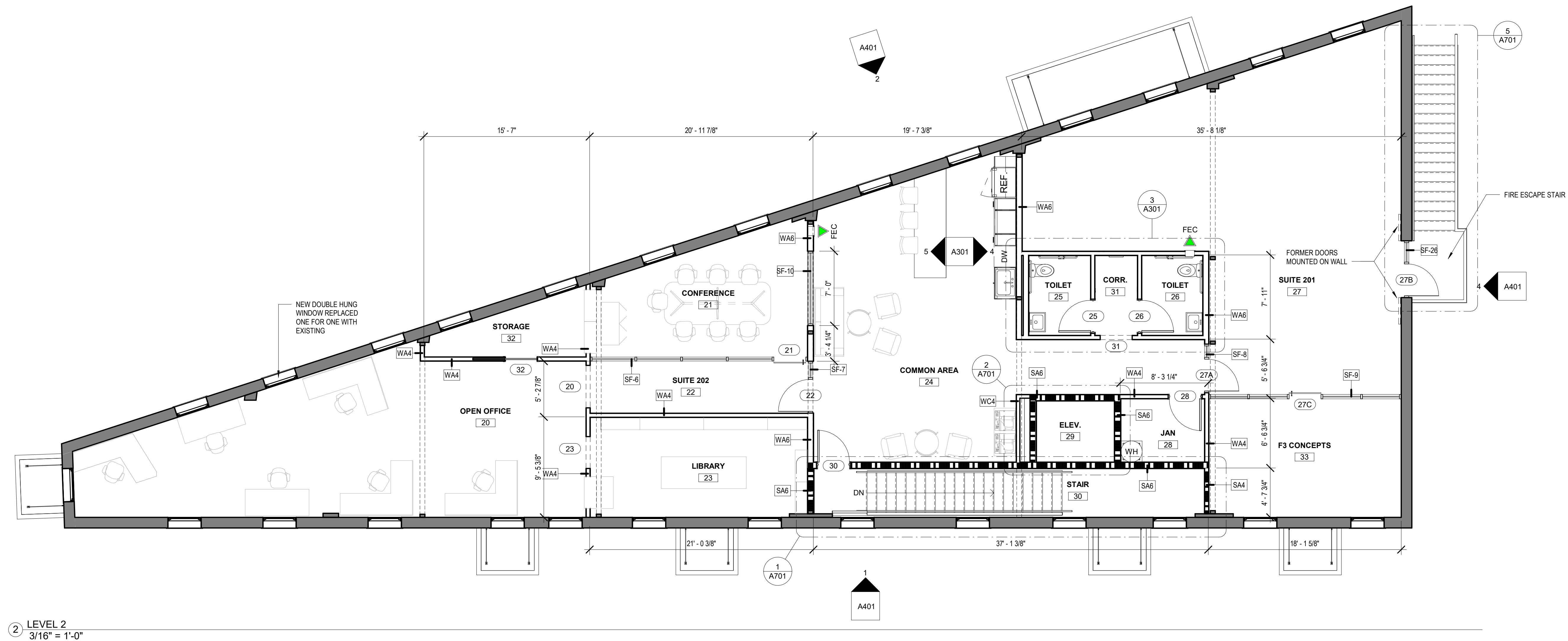
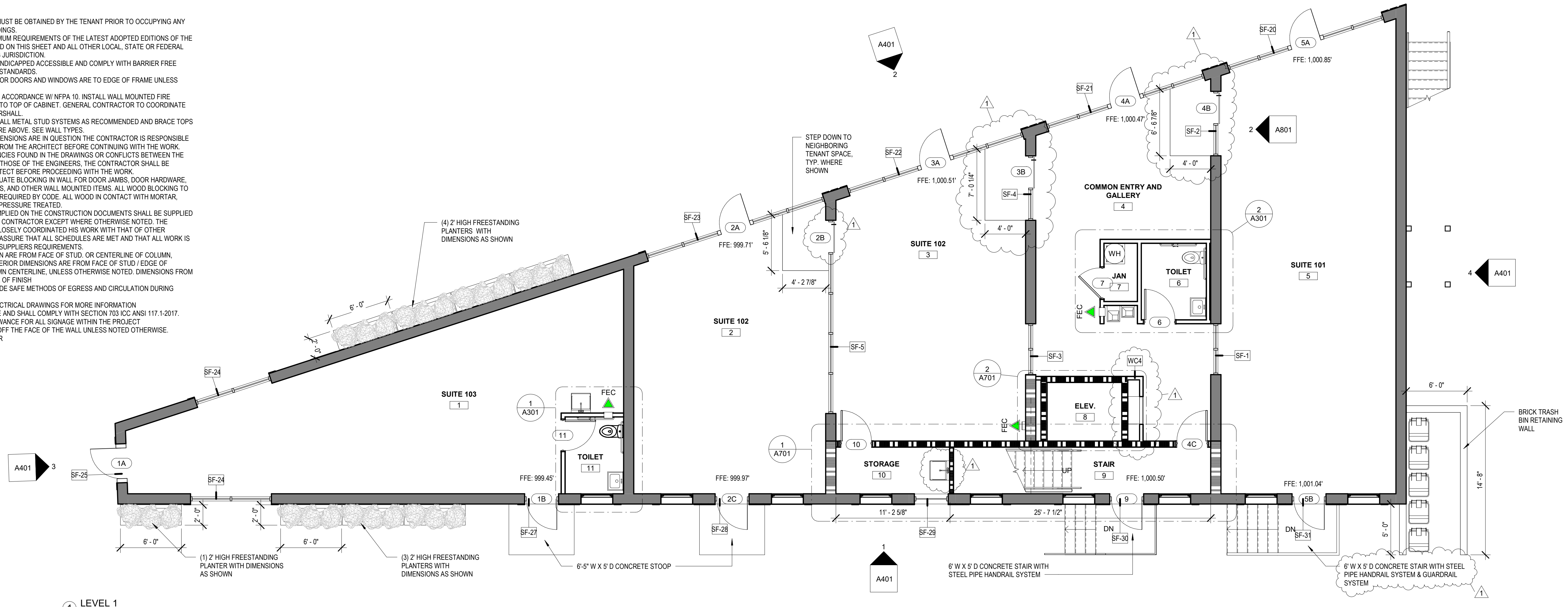
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LIFE SAFETY PLAN

PROJECT NUMBER:	1961.00
DATE:	2020.08.17
DRAWN BY:	CW

G101

1. A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BY THE TENANT PRIOR TO OCCUPANCY ANY BUILDING OR PORTIONS OF BUILDINGS.
2. ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST ADOPTED EDITIONS OF THE APPLICABLE CODES, AS INDICATED ON THIS SHEET AND ALL OTHER LOCAL, STATE OR FEDERAL CODES OR REGULATIONS HAVING JURISDICTION.
3. ALL CONSTRUCTION SHALL BE HANDICAPPED ACCESSIBLE AND COMPLY WITH BARRIER FREE DESIGN AND OTHER APPLICABLE STANDARDS.
4. DIMENSIONS SHOWN FOR EXTERIOR DOORS AND WINDOWS ARE TO EDGE OF FRAME UNLESS OTHERWISE NOTED.
5. PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE W/ NFPA 10. INSTALL WALL MOUNTED FIRE EXTINGUISHERS (FE) AT 4'-0" AFF TO TOP OF CABINET. GENERAL CONTRACTOR TO COORDINATE LIFE LOCATIONS WITH LOCAL FIRE MARSHAL.
6. HORIZONTALLY BRACE (STIFFEN) ALL METAL STUD SYSTEMS AS RECOMMENDED AND BRACE TOPS OF ALL PARTITIONS TO STRUCTURE ABOVE. SEE WALL TYPES.
7. IN THE EVENT OF ANY DISCREPANCIES, IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
8. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR CONFLICTS BETWEEN THE ARCHITECTURAL DRAWINGS AND THOSE OF THE ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
9. CONTRACTOR TO PROVIDE ADEQUATE ALLOWANCE IN WALL FOR DOOR JAMBS, DOOR HARDWARE, GRAB BARS, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS. ALL WOOD BLOCKING TO BE FIRE RETARDANT TREATED IF REQUIRED BY CODE. ALL WOOD IN CONTACT WITH MORTAR, CONCRETE, OR MASONRY TO BE PRESSURE TREATED.
10. ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT THE WORK IS DONE IN CONFORMANCE TO THE SUPPLIERS REQUIREMENTS.
11. ALL INTERIOR DIMENSIONS GIVEN ARE FROM FACE OF STUD, OR CENTERLINE OF COLUMN, UNLESS OTHERWISE NOTED. EXTERIOR DIMENSIONS ARE FROM FACE OF STUD / EDGE OF MASONRY, CONCRETE OR COLUMN CENTERLINE, UNLESS OTHERWISE NOTED. DIMENSIONS FROM EXISTING WALLS ARE FROM FACE OF FINISH.
12. THE CONTRACTOR SHALL PROVIDE SAFE METHODS OF EGRESS AND CIRCULATION DURING CONSTRUCTION.
13. REFERENCE PLUMBING AND ELECTRICAL DRAWINGS FOR MORE INFORMATION.
14. ALL WORK SHALL BE ACCESSIBLE AND SHALL COMPLY WITH SECTION 703 (ICC ANS) 117.1-2017.
15. CONTRACTOR TO PROVIDE ALLOWANCE FOR A SIGNAGE WITHIN THE PROJECT.
16. DOORS ARE TO BE LOCATED 6" OFF THE FACE OF THE WALL UNLESS NOTED OTHERWISE.
17. PLANTER TYPE IS TSD BY OWNER.



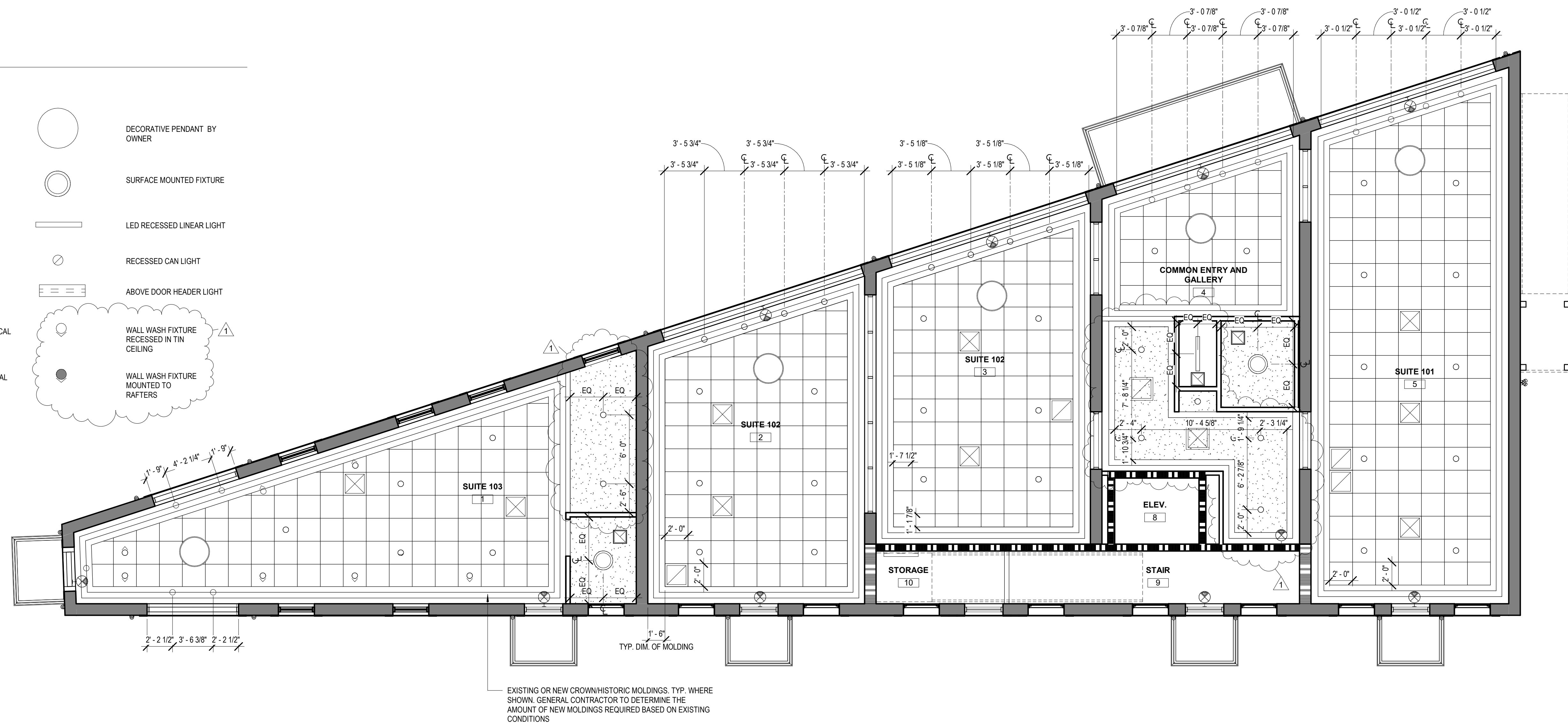
211 PENDLETON STREET
GREENVILLE, SC 29611

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PROJECT NUMBER:	1961.00
DATE:	2020.08.17
DRAWN BY:	CW

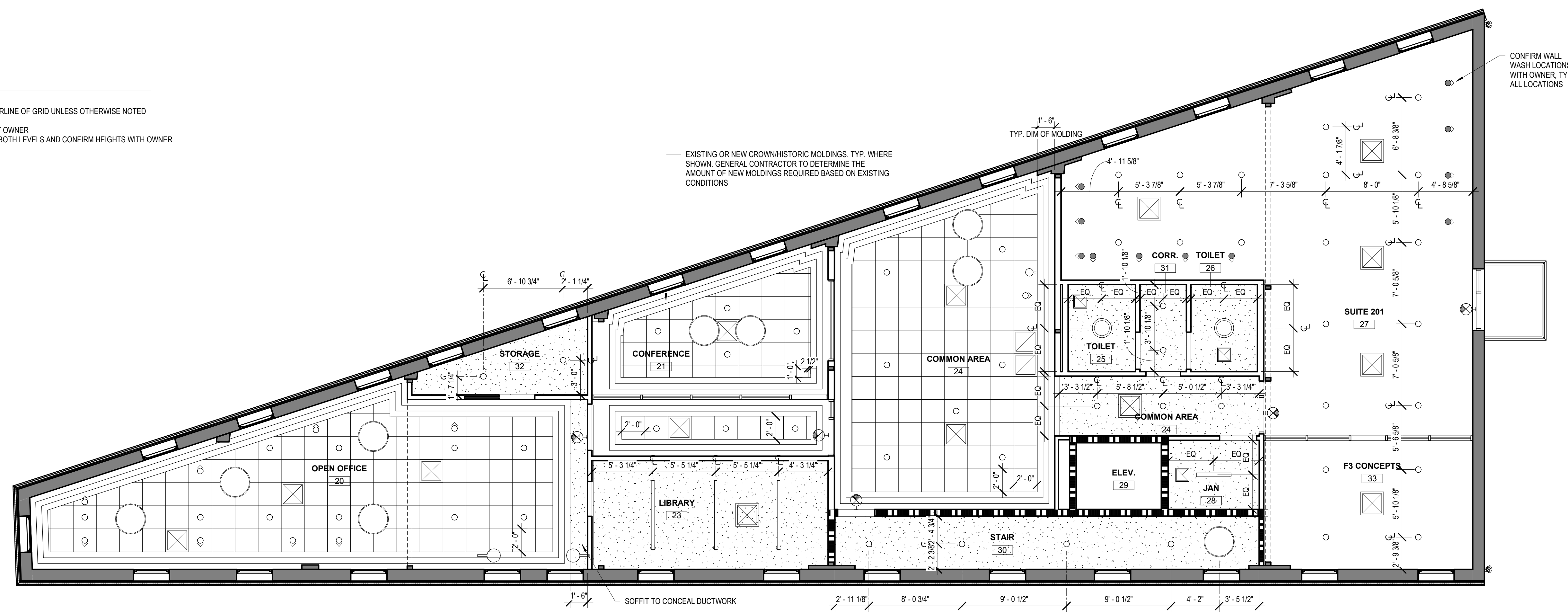
A101

	OPEN ABOVE		DECORATIVE PENDANT BY OWNER
	GWB CEILING		SURFACE MOUNTED FIXTURE
	24" x 24" HISTORICAL PRESSED TIN CEILING		LED RECESSED LINEAR LIGHT
	1'-0" A.F.F.		RECESSED CAN LIGHT
	CEILING TAG CEILING HEIGHT		ABOVE DOOR HEADER LIGHT
	RETURN REGISTER (SEE MECHANICAL DWGS FOR INFO)		
	SUPPLY DIFFUSER (SEE MECHANICAL DWGS FOR INFO)		
	EXHAUST (SEE MECHANICAL DWGS FOR INFO)		



① LEVEL 1 REFLECTED CEILING PLAN
3/16" = 1'-0"

1. CEILING GRID DIMENSIONS ARE FROM FACE OF FINISH WALL TO CENTERLINE OF GRID UNLESS OTHERWISE NOTED
2. CENTER LIGHT IN CEILING TILE UNLESS OTHERWISE NOTED
3. ALL DECORATIVE PENDANT LIGHT FIXTURE MOUNTING HEIGHTS TBD BY OWNER
4. CEILING HEIGHTS ARE NOT SHOWN. MAXIMIZE CEILING HEIGHTS FOR BOTH LEVELS AND CONFIRM HEIGHTS WITH OWNER



② LEVEL 2 REFLECTED CEILING PLAN
3/16" = 1'-0"

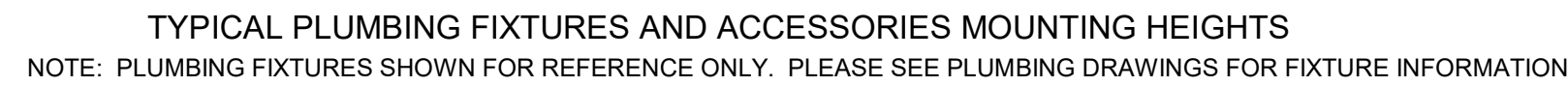
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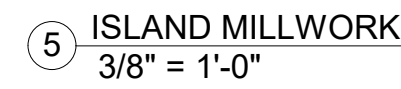
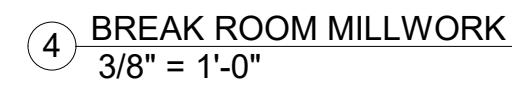
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PROJECT NUMBER:	1961.00
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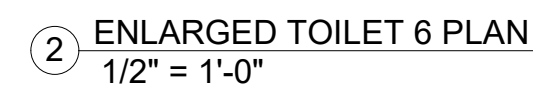
A201



1 ENLARGED TOILET 1A PLAN
1/2" = 1'-0"



TA-1	MIRROR (TBD); MOUNT WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE 40" MAX AFF
TA-2	BRIZO INVARI TISSUE HOLDER LUXE GOLD FINISH - OWNER FURNISHED, CONTRACTOR INSTALLED
TA-3	BRIZO INVARI ROBE HOOK - OWNER FURNISHED, CONTRACTOR INSTALLED
TA-4	ADA GRAB BARS; BRIZO 36" EURO ROUND HORIZONTAL - OWNER FURNISHED, CONTRACTOR INSTALLED
TA-5	ADA GRAB BARS; BRIZO 42" EURO ROUND HORIZONTAL - OWNER FURNISHED, CONTRACTOR INSTALLED
TA-6	ADA GRAB BARS; BRIZO 18" EURO ROUND VERTICAL - OWNER FURNISHED, CONTRACTOR INSTALLED
TA-7	ADA COMPLIANT RESTROOM SIGNAGE



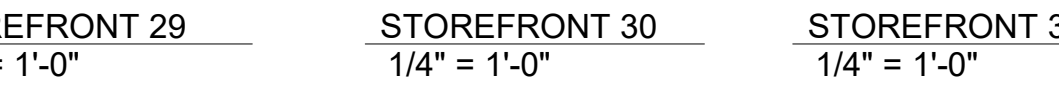
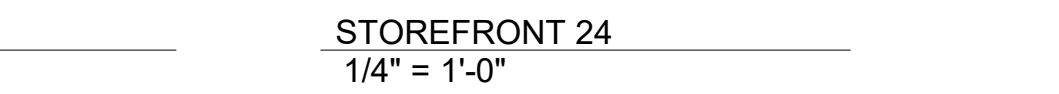
A301

DOOR NO.	DOOR SIZE		FIRE RATING	DOOR		FRAME		DOOR HEAD	DOOR JAMB	COMMENTS
	WIDTH	HEIGHT		TYPE	MTL	TYPE	MTL			
1A	3'-0"	8'-9 1/2"		B	ALUM./GL		ALUM			STOREFRONT 25
1B	3'-0"	8'-3 5/8"		B	ALUM./GL		ALUM			STOREFRONT 27
2A	3'-0"	7'-11 5/8"		B	ALUM./GL		ALUM			STOREFRONT 23
2B	3'-0"	7'-10 1/8"		F	GL		ALUM			STOREFRONT 5
2C	3'-0"	7'-9 3/8"		B	ALUM./GL		ALUM			STOREFRONT 28
3A	3'-0"	7'-2 1/8"		B	ALUM./GL		ALUM			STOREFRONT 22
3B	3'-0"	7'-10 1/2"		F	GL		ALUM			STOREFRONT 4
4A	3'-0"	7'-2 1/2"		B	ALUM./GL		ALUM			STOREFRONT 21
4B	3'-0"	7'-6"		F	GL		ALUM			STOREFRONT 2
4C	3'-0"	7'-0"	60 MIN.	C	WOOD/GL	1	WD			
5A	3'-0"	6'-10"		B	ALUM./GL		ALUM			STOREFRONT 20
5B	3'-0"	6'-8 1/2"		B	ALUM./GL		ALUM			STOREFRONT 31
6	3'-0"	7'-0"		A	WOOD	1	WD			
7	3'-0"	7'-0"		A	WOOD	1	WD			
8	3'-0"	7'-3"		B	ALUM./GL		ALUM			STOREFRONT 30
10	3'-0"	7'-3"	60 MIN.	A	WOOD	1	WD			
11	3'-0"	7'-8"		A	WOOD	1	WD			
20	4'-0"	7'-10"		E	—	2	—			CASED OPENING
21	3'-0"	7'-8"		F	GL		ALUM			STOREFRONT 6
22	3'-0"	7'-8"		D	GL		ALUM			STOREFRONT 7
23	3'-0"	7'-10"		E	—	2	—			CASED OPENING
25	3'-0"	7'-8"		A	WOOD	1	WD			
26	3'-0"	7'-8"		A	WOOD	1	WD			
27A	3'-0"	7'-8"		D	GL		ALUM			STOREFRONT 8
27B	3'-0"	7'-8"		B	ALUM./GL		ALUM			STOREFRONT 26
27C	3'-0"	7'-8"		F	GL		ALUM			STOREFRONT 9
28	3'-0"	7'-8"		A	WOOD	1	WD			
30	3'-0"	7'-8"	60 MIN.	C	WOOD/GL	1	WD			
31	3'-0"	7'-10"		E	—	2	—			CASED OPENING
32	3'-0"	7'-8"		G	WOOD	1	WD			

1. COMMON AREA ENTRY DOORS DOWNSTAIRS TO HAVE KEYPAD LOCKSET
2. ALL HARDWARE TBD BY OWNER AND DOOR LOCKSET/LATCHSET FUNCTIONS BY OWNER
3. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING



1. EXTERIOR STOREFRONT AND WINDOWS TO BE ALUMINUM CLAD WOOD
2. INTERIOR STOREFRONT TO BE PROVIDED BY F3 CONCEPTS BUT IS SHOWN FOR DIMENSIONAL INFORMATION
3. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING



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AT IRON BUILDING
211 PENDLETON STREET
GREENVILLE, SC 29611

SCHEDULES

A801



**Planning Staff Report to
Design Review Board - Neighborhood
January 28, 2022**
for the February 3, 2022 Public Hearing

Docket Number:	CA 22-0040
Applicant:	Luke Sims
Property Owner:	James Kearns
Property Location:	305 Lloyd Street
Tax Map Number:	002100-01-02400
Zoning:	R-6, Single-Family Residential District; Hampton-Pinckney POD
Proposal:	CERTIFICATE OF APPROPRIATENESS FOR EXTERIOR MODIFICATIONS
Staff Recommendation:	Approve with Conditions

Applicable Sections of the City of Greenville Code of Ordinances:

Sec. 19-2.3.8 Certificate of Appropriateness
Sec. 19-6.9 Single-family residential infill standards

Background:

The property is zoned R-6, Single-Family Residential District, located within the Hampton-Pinckney Preservation Overlay District and the National Historic Register District. According to the City's historical survey card for the property, this home was constructed c.1900. The structure is listed as contributing to the National Register.

On 10/7/2021 the Design Review Board – Neighborhood Panel, approved CA 21-703 for 305 Lloyd Street for the renovation of the existing single-family residence. That approval included:

- An addition to the rear of the home, with a half-story above a portion of the historic structure with side dormers.
- Original wood siding to be uncovered, repaired, and reused where needed.
- Replacement of front porch roof with standing seam metal roof.
- Replacement of porch columns with craftsman-style columns.
- Repair of original wood windows and the addition of new windows. (Replacement of windows with similar style wood window to the original was later approved under UH 21-947.)

Application Request:

This application is to alter the details, but not the massing, of the approved home renovation to be more representative of the historic Queen Anne style. As such, the applicant requests to modify the exterior of the structure to include:

- Queen Anne style detailed trim
- Queen Anne style columns
- Gable ornamentation indicative of the Queen Anne Style
- Replacement of existing louver with stained glass
- Replacement of wood siding with Queen Anne style cross hatch siding
- Ornamental brackets indicative of the Queen Anne style
- Stain glass window typical in Queen Anne cottage style architecture

Staff Analysis:

Staff finds that this proposal retains the massing and general features of the original structure and is consistent with massing characteristics of the Queen Anne style; i.e. the hipped roof, the asymmetrical façade and layout, a dominant porch, and a polygonal front room. This application proposes to further evoke the original Queen Anne architecture by bringing the details of the home into stylistic compliance. Details of that era include differing wall textures, classic columns, spindle work trim, and detailed bracketing.

The residence has seen many modifications over its lifetime that have had the cumulative effect of obscuring the home's original design detailing. While a previously approved CA was in keeping with the Craftsman style of the 1930's, and is reflective of *some* of the neighboring properties, the house itself was actually built c. 1900 when the Queen Anne style was prevalent. Additionally, it was recorded during a neighborhood meeting on 10/26/21, that the neighborhood members present preferred and requested that the house be detailed in a Queen Anne Style.

Therefore, staff finds that these details are in keeping with the intent and goals of the Design Guidelines for the Preservation Overlay Districts, specifically the preservation / renovation of historic homes in the Hampton Pinckney District.

Staff recommends approval with the following conditions:

1. **Additional detailing of the home that is in keeping with the Queen Anne style may be approved by staff and a two board-member panel.**
2. **Per the recent Section 19-1.11 LMO Text Amendment, an Affidavit of Substantial Compliance must be signed and notarized by the property owner prior to the issuance of the Certificate of Conformity.**
3. **This CA is considered a specific site development plan. As such, the CA issued for this project shall be subject to Land Management Ordinance Section 19-2.2.14 *Lapse of approval/vested rights* and the Vested Rights Act, Article 11, of Chapter 29, Title 6, of the Code of Laws of South Carolina, 1976 (S.C. Code §§ 6-29-1510 et seq.). The CA shall be valid for a period of two years from the date of approval by the Board. The Vested Right shall be granted up to five annual extensions upon a written request for an extension that must be received from the applicant at least sixty (60) days before expiration, unless any change or amendment to the land development**

ordinance or regulations of the City of Greenville's Code of Ordinances were to be amended that would no longer allow execution of the site-specific development plan. At any time during the two-year period or any subsequent Vested Rights extensions, the applicant may be granted a building permit from the City Building Official. Should the CA expire at any time prior to the application for a building permit, such permit shall not be issued until a current CA is provided.

Applicable design guidelines follow below.

HR.1 Original architectural details should be preserved in place whenever feasible.

- A. Avoid Removing or altering any significant architectural detail.
- B. Avoid adding elements or details that were not part of the original building.
- C. Protect and maintain significant stylistic elements.
- D. All wood surfaces should be painted.

HR.2 Deteriorated architectural details should be repaired rather than replaced, whenever possible.

- A. Repair only those features that are deteriorated.
- B. When disassembly of an historic element is necessary for its restoration, use methods that minimize damage to the original materials.
- C. Use approved technical procedures for cleaning, refinishing and repairing architectural details.

HR.3 Original architectural details that have deteriorated beyond repair should be replaced in kind.

- A. Remove only that which is deteriorated and must be replaced.
- B. Replace missing original details in kind.
- C. Repair or replacement of missing or deteriorated details should be based on original features.
- D. When reconstruction of an element is impossible, developing a compatible new design that is a simplified interpretation of the original is appropriate.
- E. Avoid adding ornamentation or other decorative elements, unless thorough research indicates that the building once had them.

HR.4 Original building materials should be preserved in place, whenever feasible.

- A. Maintain existing wall materials and textures.

HR.5 Deteriorated building materials should be repaired rather than replaced, whenever possible.

- A. Repair deteriorated primary building materials by patching, piecing-in, consolidating or otherwise reinforcing the materials.
- B. Use the gentlest means possible to clean a structure.

- C. Use technical procedures that preserve, clean, refinish or repair historic materials and finishes.

HR.6 Original building materials that have deteriorated beyond repair should be replaced in kind.

- A. Match the original material in composition, scale and finish when replacing it on a primary surface.
- B. Do not use synthetic materials, such as aluminum or vinyl siding or panelized brick, as replacements for primary building materials on an historic structure.

HR.7 The use of synthetic siding materials to cover original building materials or features is not appropriate.

- A. Historic building materials or features should not be covered with synthetic materials.
- B. Consider removing later synthetic or composite materials that cover original siding.

HR.8 Original wood siding should be maintained with a protective coating or paint.

- A. Protect wood features from deterioration.
- B. Plan repainting carefully.
- C. Using the historic color scheme is encouraged.

HR.9 Masonry construction should be preserved in its original condition.

- A. Preserve the original mortar joint and unit size, the tooling and bonding patterns, coatings and color of masonry surfaces.
- B. Repoint mortar joints where there is evidence of deterioration.
- C. Brick that was not painted historically should not be painted.
- D. Protect brick from water deterioration.

HR.14 Maintain a porch and its character-defining features.

- A. Porch supports should be of a substantial enough size that the porch roof does not appear to float above the entry.
- B. Maintain an historic porch and its detailing.
- C. If a new porch is necessary, reconstruct it to match the original in form and detail.
- D. Avoid enclosing an historic front porch with opaque materials.
- E. When considering a new porch or covered entry on an existing residence, design it to be similar to those seen historically.

HR.15 Historic windows and doors significantly affect the character of a structure and should be preserved.

- A. Preserve the position, number, size and arrangement of historic windows and doors in a building wall.
- B. Preserve the functional and decorative features of an historic window or door.
- C. Repair wood features by patching, piecing-in, consolidating or otherwise reinforcing the wood.
- D. Maintain the historic ratio of window openings to solid wall.
- E. Glazing in doors should be retained.
- F. Where existing operable shutters survive, they should be retained and repaired.
- G. Installing window air-conditioners in windows on building fronts is discouraged.
- H. If energy conservation and heat loss are a concern, consider using storm windows and doors instead of replacing an historic window or door.

HR.16 A new or replacement window or door should match the appearance of the original.

- A. When window or door replacement is necessary, match the replacement to the original design as closely as possible.
- B. Maintain the historic ratio of solid-to-void on a primary façade.
- C. A new opening should be similar in location, size and type to those seen traditionally.
- D. On a new or replacement window, wooden snap-in muntins and mullions may be considered.
- E. Windows and door should be finished with trim elements similar to those used traditionally.

HR.17 Preserve the original form and scale of a roof.

- A. Preserve the original roof form of an historic structure.
- B. Regular maintenance and cleaning is the best way to keep your roof in good shape.
- C. Preserve the original eave depth.
- D. Minimize the visual impacts of skylights and other rooftop devices.
- E. Water from downspouts should drain away properly.

HR.18 Roof materials should be used in a manner similar to that seen historically and chosen based on their compatible appearance with a structure.

- A. Preserve original roof materials.
- B. Replacement roof materials for an historic structure should convey a scale and texture similar to those used historically.
- C. Metal roofs should be applied and detailed in a manner that is compatible with the historic character and does not distract from the historic appearance of the building.

HR.25 A building should not be demolished.

- A. A prerequisite for any demolition of an historic building should be a documentation of economic hardship.
- B. If a request for demolition is based on structural instability or deterioration, a technical report prepared by an architect or professional engineer should be submitted.
- C. An application for demolition should be accompanied by a complete plan for a new development proposed on the site.
- D. When, in the interest of public safety, the removal of part of a building or complex is required, the DPC may allow limited removal of structurally unsound construction.
- E. Demolition may be allowed when a building has lost its integrity of design, and its removal would result in a more positive effect on the district.

HR.21 Some additions may have developed significance in their own right and should be preserved.

- A. Preserve an older addition that has achieved significance in its own right.
- B. A more recent addition that is not historically significant may be removed.

AR.10 The visual impacts of parking should be minimized.

- A. A parking pad, carport or garage should be located to the side or rear of a lot, and detached from the main structure.
 - Consider providing only ribbon paving. This will reduce visual impacts – as well as allow more drainage through soils.
 - Consider sharing a single drive and curb cut where multiple driveways are needed.
 - A driveway should lead straight from the street to the parking area.
 - A parking pad located in the front of a residence is inappropriate.

- B. Although it is not encouraged, where a garage or carport must be “attached” to the primary structure, consider the following options:
- C. Minimize the visual impact of parking areas.

AR.12 Design an addition to be compatible with the primary building.

- A. Design a new addition such that the original character can be clearly seen.
- B. Place an addition at the rear of a building or set it back from the front to minimize the visual impacts.
- C. Do not obscure, damage, destroy or remove original architectural details and materials of the primary structure.
- D. An addition should be compatible in scale, materials and character with the main building.
- E. An addition should be set back from any primary, character-defining façade.
- F. The roof form of a new addition should be in character with that of the primary building.

AR.13 A roof-top addition should not visually overpower the primary structure.

- A. When constructing a rooftop addition, keep the mass and scale subordinate to the primary building.
- B. Set a rooftop addition back from the front of the building when this will help preserve the building’s proportions as seen from the street.
- C. When adding a dormer to an existing roof, it should be in character with the primary structure’s design.

AR.14 A new outbuilding should be subordinate to the primary structure on a site.

- A. Locate an outbuilding to the rear of a lot.
- B. Construct an outbuilding that is subordinate in size and character with the primary structure.
- C. An outbuilding should be similar in character to those seen traditionally.
- D. Maintain the simple detailing found on outbuildings.

AR.15 Use colors to create a coordinated color scheme for a building.

- A. The façade should “read” as a single composition.
- B. Employ color schemes that are simple in character.
- C. Base or background colors should be muted.
- D. Reserve the use of bright colors for accents only.



APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Contact Planning & Development (864) 467-4476

Office Use Only:

Application# _____ Fees Paid _____
Date Received _____ Accepted By _____
Date Complete _____ App Deny Conditions _____

APPLICANT/OWNER INFORMATION

*Indicates Required Field

	APPLICANT	PROPERTY OWNER
*Name:	Luke Sims	James Kearns
*Title:	Architect	Property Owner
*Address:	53 Endel Street, Greenville	108 Pinewood Dr., Easley
*State:	South Carolina	South Carolina
*Zip:	29611	29640
*Phone:	864.395.2848	864.607.6556
*Email:	luke.sims@gmail.com	jamespk737@gmail.com

PROPERTY INFORMATION

*STREET ADDRESS 305 Lloyd Street, Greenville, SC 29601

*TAX MAP #(S) 00210000102400

*PRESERVATION DISTRICT/SPECIAL DISTRICT Hampton Pinckney

*ARE THERE EXISTING STRUCTURES ON THE PROPERTY? ☒ Yes ☐ No

DESCRIPTION OF REQUEST

*SELECT APPLICATION TYPE: ☐ CA Neighborhood New ☒ CA Neighborhood Modification (☐ Major/☒ Minor)
☐ CA Urban New ☐ CA Urban Modification (☐ Major/☐ Minor)
☐ CAS Staff New (☐ Major/☐ Minor) **please see item D. for description*
☐ CAS Staff Modification
☐ Informal Review

*ORIGINAL APPLICATION # (put N/A if new application) CA 21-703

To include: scope of project and response to specific guidelines and special conditions.

Revisions to previously approved CA application to include additional Queen Anne-style architectural details & clerestory windows on the rear elevation.

INSTRUCTIONS

1. All applications and fees (made payable to the City of Greenville) for Certificate of Appropriateness must be received by the planning and development office no later than 2:00 pm of the date reflected on the attached schedule.

A. URBAN DESIGN PANEL	\$300.00, <i>site plan review</i>
	\$300.00, <i>architectural review</i>
B. SIGNS	\$150.00
C. NEIGHBORHOOD DESIGN PANEL	\$150.00
D. APPLICATION FOR STAFF REVIEW	
<u>Major</u> : All site development activity, roof gardens, decks, or accessory structures; or any project that requires consultation with a member of the DRB.	\$100.00
<u>Minor</u> : Color change; replacement of windows/doors; additions, deletions or replacement of awnings; re-roofing; and projects that do not involve structural alterations, increase/decrease in window/door area or removal of architectural features. Also, parking lots, service enclosures, exterior lighting and additions to building that do not exceed 25% of existing building footprint, except the West End Preservation Overlay District.	\$50.00
E. MODIFICATION TO AN APPROVED PROJECT	
Major (requires review by DRB)	½ Original Fee
Minor (requires review by staff)	\$50.00
F. INFORMAL REVIEW	\$50.00

2. The staff will review the application for "sufficiency" pursuant to Section 19-2.2.6, Determination of Sufficiency and will contact the applicant to correct any deficiencies which must be corrected prior to placing the application on the Design Review Board agenda.

3. **Public Notice Requirements.** Certificate of Appropriateness applications require a design review board public hearing. The applicant is responsible for sign posting the subject property at least 15 days (but no more than 18 days) prior to the scheduled design review board hearing date.

(To be filled out at time of application submittal)

_____ Public Hearing signs are acknowledged as received by the applicant

***APPLICANT SIGNATURE** _____

1. You must attach one (1) complete set of scaled drawings of the property at an appropriate scale such as 1"=20' or ¼" = 1', etc. Although construction drawings are not required, applicants for final approval should be able to provide construction drawings at the Design Review Board's (DRB) request. The Board may request additional information at any time to fully understand the proposal. Items submitted to the Board become the property of the City and will not be returned.

SITE PLAN REVIEW

- Site Plan Drawings (indicating footprint of existing buildings, proposed building, proposed exterior elements, demolition of existing site features, floor plan, proposed exterior equipment, etc.).
- Massing Studies and Images (images shall be high resolution and should depict adjacent building, proposed building massing from various viewpoints, initial architectural details, photos of surroundings to review context, etc.).

- Model (physical or digital model that includes the surrounding context with massing only, no texture or articulation is required). **The contextual model for the DRB boundary can be downloaded here: <https://greenvillesc.gov/364/Access-GIS-Data>, and is provided as a .skp file.**
Data is updated monthly.

ARCHITECTURAL REVIEW

- Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, landscape drawings, design and location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- Detail Drawings (include material and methods of each type of construction affecting the exterior appearance of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and signage).
- Renderings (include perspective drawings, including views from pedestrian and public realm).
- Model (physical or digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed signage).

For more detail on these submittal requirements, please refer to the **Greenville Downtown Design Guidelines**, adopted May 2017.

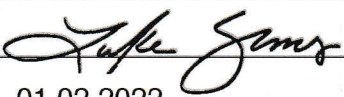
Please verify that all required information is reflected on the plan(s). Please submit one (1) paper copy and one (1) electronic version of the plan(s).

4. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is ___ or is not X restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

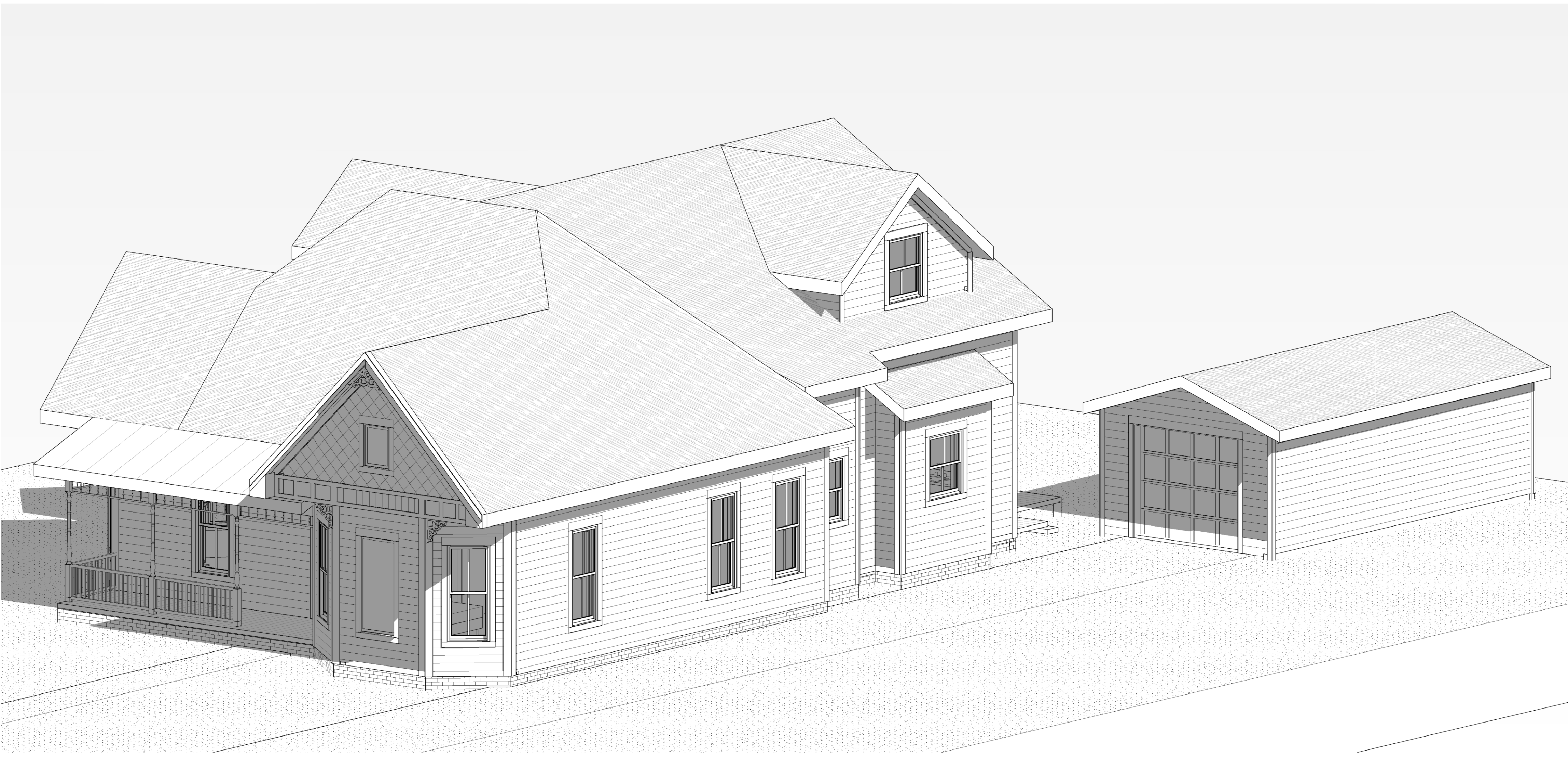
*Signatures	
Applicant	
Date	01.02.2022
Property Owner/Authorized Agent	
Date	01.02.2022
Public Hearing information	
Public Hearing signs	

305 LLOYD STREET

GREENVILLE, SOUTH CAROLINA

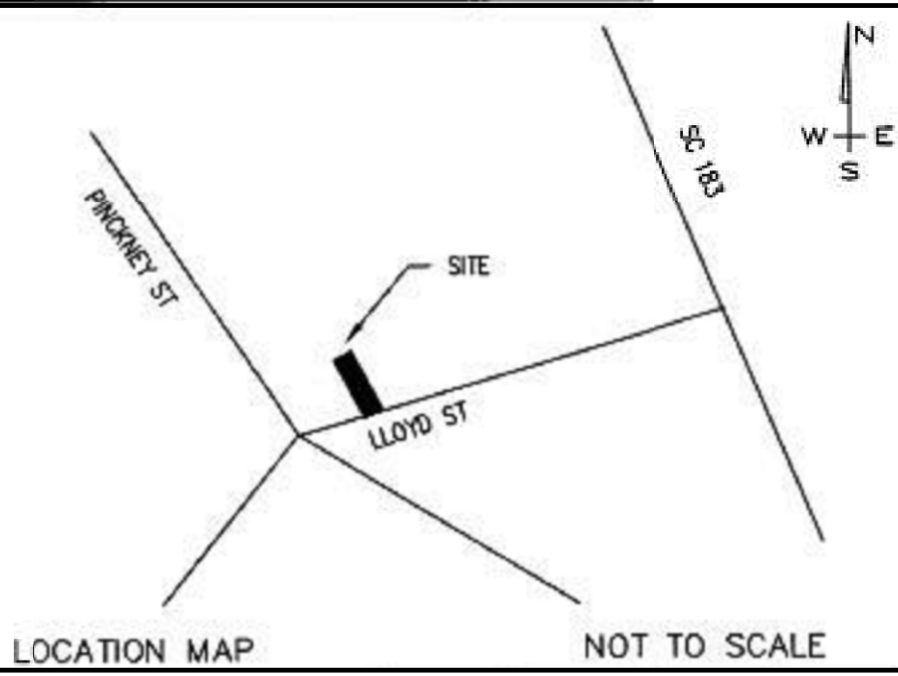
DESIGN REVIEW BOARD SET

JANUARY 3rd, 2022



LIST OF DRAWING SHEETS

A0.0	COVER SHEET
A0.1	ARCHITECTURAL SITE PLAN
A1.1	FLOOR PLANS
A6.1	ELEVATIONS



STANDARD DRAWING SYMBOLS

LINE TYPES

BEYOND ———

CENTERLINE - - - - -

DEMOLISHED - - - - -

HIDDEN - - - - -

OVERHEAD - - - - -

ANNOTATIONS

NORTH ——— NORTH (PROJECT OR TRUE)

PROJECT NORTH ——— TRUE NORTH

WALL TAG ——— ?

CEILING TAG ——— ?

CEILING TYPE (IF / WHEN INDICATED) ——— ?

CEILING HEIGHT ——— AFF

VIEW REFERENCE

PHOTO REFERENCE TAG ——— ?

PLAN VIEW TITLE REFERENCE ——— ?

PLAN NUMBER ——— ?

VIEW SCALE ——— ?

CURRENT SHEET ——— ?

DETAIL VIEW TITLE REFERENCE ——— ?

DETAIL NUMBER ——— ?

VIEW SCALE ——— ?

CURRENT SHEET ——— ?

PLAN / DETAIL CALLOUT ——— ?

REFERENCED SHEET ——— ?

BUILDING SECTION CALLOUT

REFERENCED SHEET ——— ?

WALL SECTION CALLOUT

REFERENCED SHEET ——— ?

DETAIL SECTION CALLOUT

REFERENCED SHEET ——— ?

EXTERIOR ELEVATION CALLOUT

REFERENCED SHEET ——— ?

INTERIOR ELEVATION CALLOUT

REFERENCED SHEET ——— ?

ROOM TAG(S):

ROOM TAG WITH AREA (NO ROOM #) ——— ?

DEPARTMENT OR PHASE (IF SHOWN) ——— ?

ROOM NAME ——— ?

ROOM # = 2 OR 3 DIGITS ——— ?

FLOOR # = 1 OR 2 DIGITS ——— ?

AREA (IF SHOWN) ——— ?

AREA ONLY ——— ?

DOOR TAG:

DOOR RATING (IF SHOWN) ——— ?

WALL OPENING TAG:

REFERENCE SCHEDULE FOR SIZE & NOTES ——— ?

WINDOW TAG:

REFERENCE SCHEDULE FOR SIZE & NOTES ——— ?

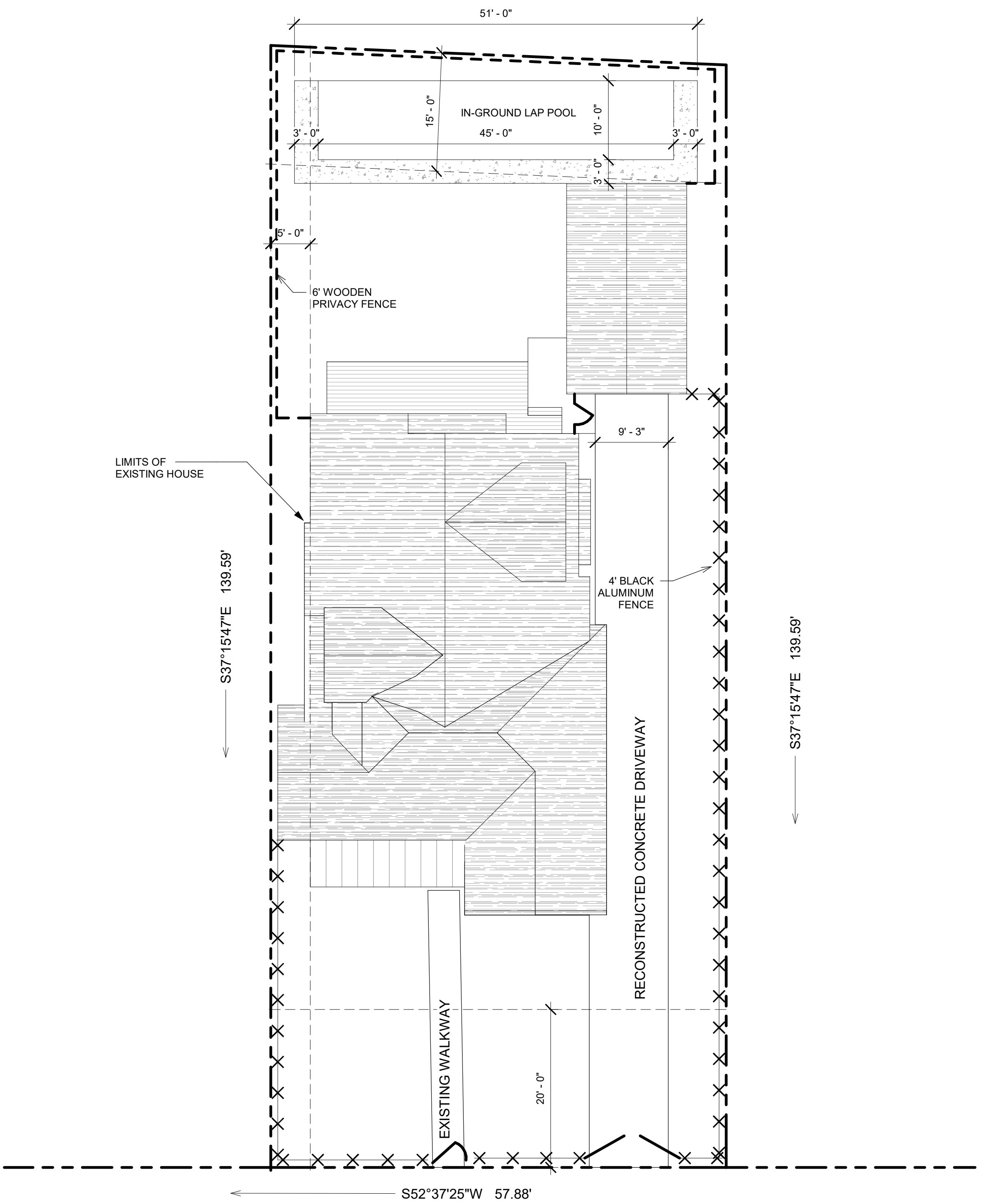
305 Lloyd Street, Greenville, SC

NEW RESIDENCE FOR MR. JAMES KEARNS

THESE DRAWINGS WERE PREPARED UNDER A LIMITED SERVICE AGREEMENT AND ARE INTENDED TO REPRESENT DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING STRUCTURAL, MECHANICAL, AND ELECTRICAL DESIGN AND COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND BUILDING CODES.

No.	Description	Date
1 A	DRB REVIEW SET	2022.01.03

COVER SHEET	
Project number	21.14
Date	2022.01.03
A0.0	
Scale 12" = 1'-0"	

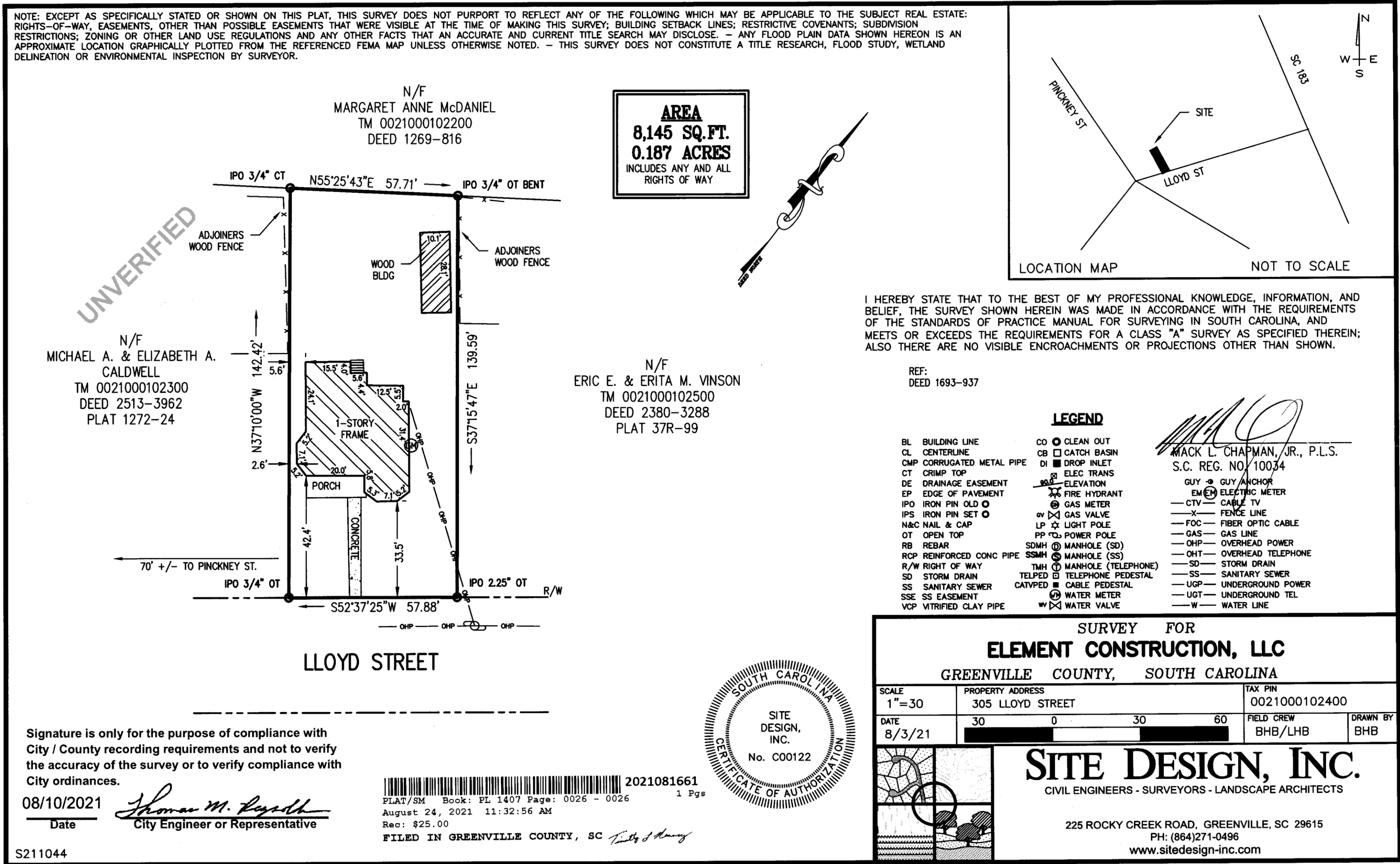


LLOYD STREET

- PROPERTY LINE
--- 6' WOOD PRIVACY FENCE
X-X-X 4' BLACK ALUMINUM FENCE

LAND COVERAGE CALCULATIONS
TOTAL LOT SIZE = 8,145 SF (0.187 ACRES)
TOTAL BUILDING = 2,351 SF (28.9%)
TOTAL HARDSCAPE = 2,308 SF
TOTAL COVERAGE = 4,659 SF
PERCENTAGE OF COVERAGE = 57.2%

1 ARCHITECTURAL SITE PLAN
1" = 10'-0"



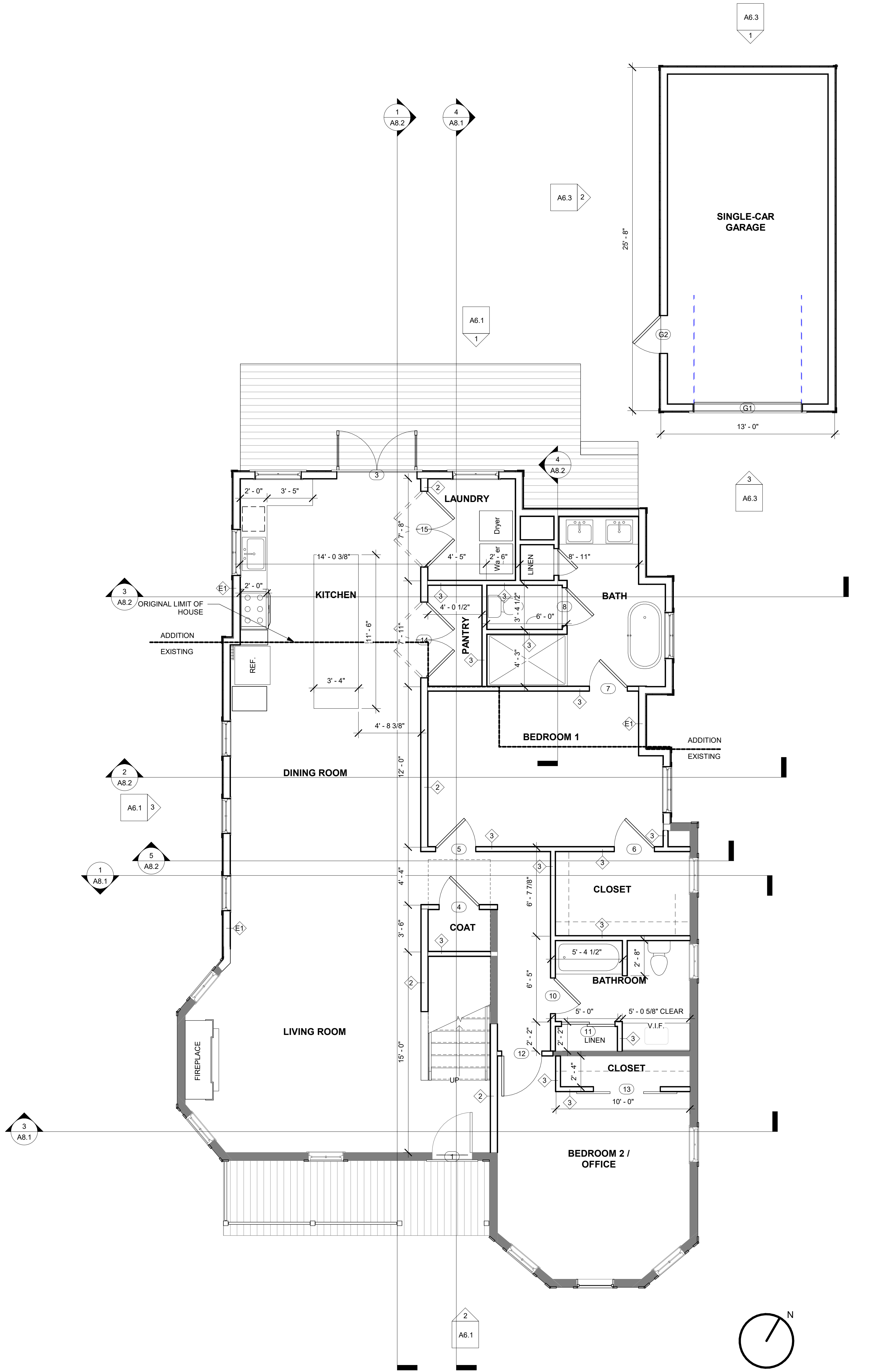
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No.	Description	Date
A	DRB REVIEW SET	2022.01.03

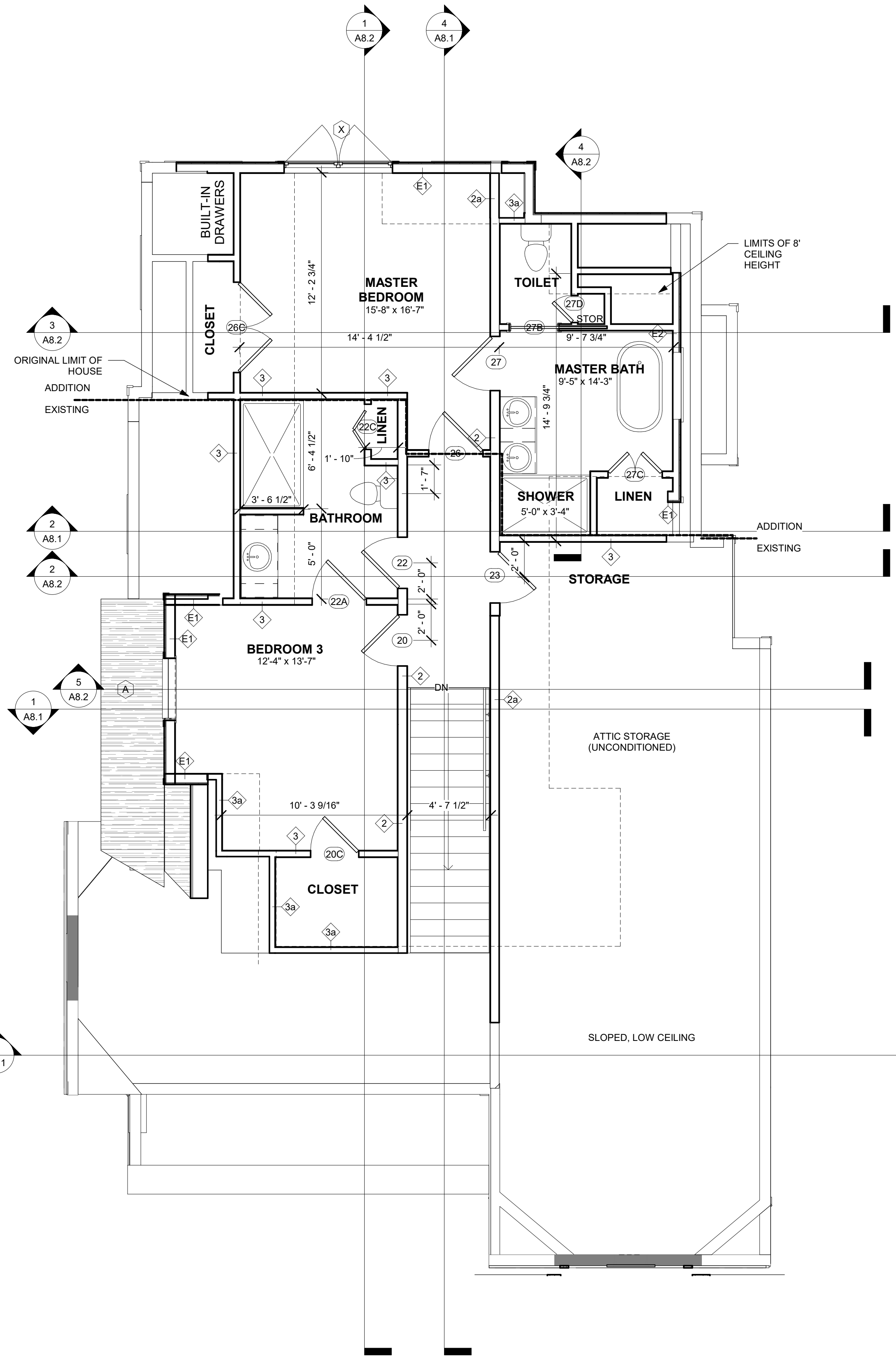
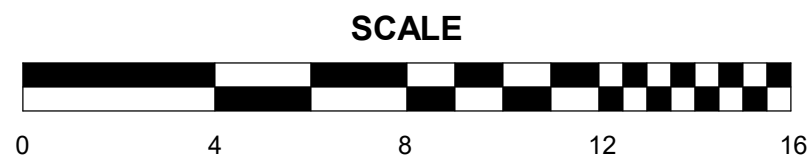
ARCHITECTURAL SITE PLAN
Project number 21.14
Date 2022.01.03
A0.1
Scale 1" = 10'-0"

1/2/2022 5:05:38 PM



1 FIRST FLOOR NEW CONSTRUCTION
1/4" = 1'-0"

FIRST FLOOR CONDITIONED SPACE = 1,903 SF
SECOND FLOOR CONDITIONED SPACE = 849 SF
TOTAL CONDITIONED SPACE = 2,752 SF
EXCLUDES OUTDOOR SPACES



2 SECOND FLOOR NEW CONSTRUCTION
1/4" = 1'-0"

PLAN NOTES

- DIMENSIONS TO FACE OF STUD. SIMILAR SIDE EXCEPT IN CASE OF OUTSIDE FACE OF WALL
- DO NOT SCALE DRAWINGS. CONTACT ARCHITECT AT 864.395.2848 IF ANY ADDITIONAL DIMENSIONS ARE NEEDED.
- THESE DRAWINGS WERE PREPARED UNDER A LIMITED SERVICE AGREEMENT AND ARE INTENDED TO REPRESENT DESIGN INTENT ONLY.
- FINAL MATERIAL & DESIGN APPROVAL REQUIRED BY LOCAL DESIGN REVIEW BOARD.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING STRUCTURAL, MECHANICAL, AND ELECTRICAL DESIGN AND COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND BUILDING CODES.

305 Lloyd Street, Greenville, SC
NEW RESIDENCE FOR MR. JAMES KEARNS

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No.	Description	Date
A	DRB REVIEW SET	2022.01.03

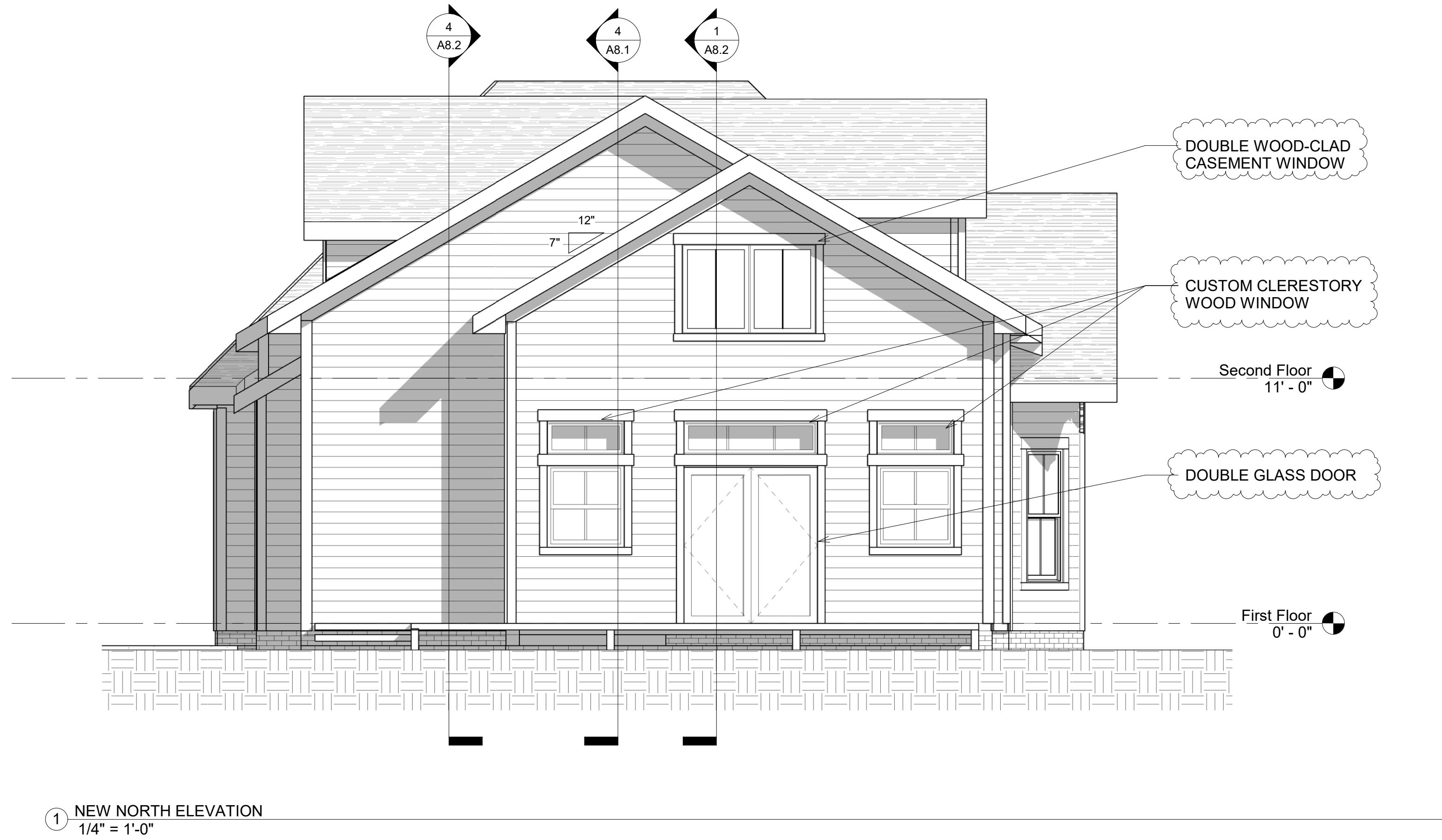
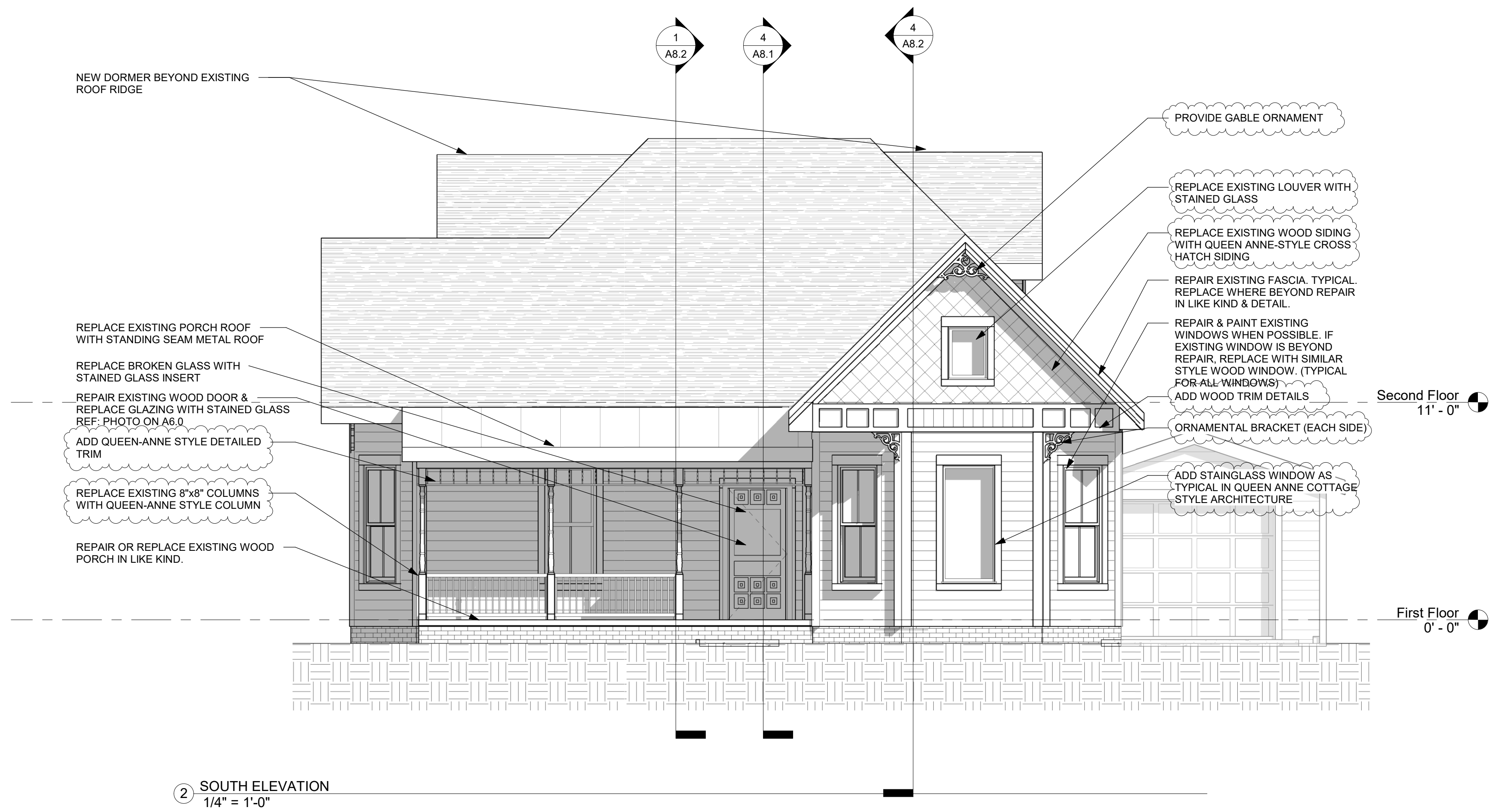
FLOOR PLANS

Project number 21.14
Date 2022.01.03

A1.1

Scale 1/4" = 1'-0"

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305 Lloyd Street, Greenville, SC
NEW RESIDENCE FOR MR. JAMES KEARNS

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No.	Description	Date
1 A	DRB REVIEW SET	2022.01.03

ELEVATIONS
Project number 21.14
Date 2022.01.03

A6.1

Scale 1/4" = 1'-0"

1/2/2022 5:05:43 PM