

Design Review Board

Official Agenda



AGENDA

DESIGN REVIEW BOARD – URBAN DESIGN PANEL

AGENDA

Regular Meeting

March 3, 2022

4:00 PM

Meeting Location

The City of Greenville Design Review Board – Urban Design Panel will hold an in-person Public Hearing for the following items on Thursday, March 3, 2022 at 4:00 PM at the Public Works Training Room at 475 Fairforest Way Those wishing to provide comment on an item may either provide written comment to staff or attend the in-person meeting.

Citizens may also view the meeting at the following web address:

[HTTPS://WWW.GREENVILLESC.GOV/1694/ONLINE-MEETINGS](https://www.greenvillesc.gov/1694/online-meetings)

- 1. Call to Order**
- 2. Roll Call**
- 3. Welcome and Opening Remarks from the Chair**
- 4. Approval of Minutes – February 3rd, 2022 Regular Meeting**
- 5. Call for Public Notice Affidavit from Applicants**
- 6. Acceptance of Agenda**
- 7. Conflict of Interest Statement**

8. Old Business

A. None

9. New Business (public hearing)

A. CA 22-0109

Application by ADAM ROBERTS for a CERTIFICATE OF APPROPRIATENESS for façade replacement at 221 North Main Street. (TM# 0002000602300)

Documents:

[22-109 AGENDA POSTING 221 N MAIN STREET.PDF](#)

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B. CA 22-0110

Application by NARRAMORE ASSOCIATES for a CERTIFICATE OF APPROPRIATENESS for exterior renovation at 32 Broad Street (TM# 0061000304103).

Documents:

[22-110 AGENDA POSTING 32 BROAD STREET.PDF](#)

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C. CA 22-0111 WITHDRAWN BY APPLICANT

Application by LIGHTHOUSE GREENVILLE for a CERTIFICATE OF APPROPRIATENESS for additional rooftop office space at 322 Rhett Street (TM# 0071000100900).

10. Advice and Comment (Not a Public Hearing)

A. None

11. Informal Review (Not a Public Hearing)

A. MD-19-237M

Application by David Anderssen/Johnston Design Group for a MULTI-FAMILY DEVELOPMENT modification on approximately 1.9 acres located at 301 E. Broad Street for 38 apartment units. ("Broadview") (TM# 0062000100100)

12. Other Business (Not a Public Hearing)

- A. Staff updates on current planning projects

13. Adjournment

You are invited to review documents relating to these applications before the public hearing. Application materials are posted online at <http://www.greenvillesc.gov/drb>. You may contact the Planning Office at (864) 467-4476 for more information. Application materials are subject to change.

You will have the opportunity to voice your comments at the public hearing. Each speaker is limited to 3 minutes. Repetitive statements should be avoided; individuals sharing similar concerns are encouraged to appoint a spokesperson to represent their group. Alternatively, you may submit written comments to: Planning & Development Office, PO Box 2207, Greenville, SC 29602, by fax at (864) 467-4510, or by email at planning@greenvillesc.gov.

Written comments must be received by 2PM Monday before the hearing in order to be given adequate time for consideration by the Board before the hearing. Comments received after 2PM Monday will be provided to the Board at the hearing. Please reference the application number and include your name and address on all correspondence. All comments will be made part of the public record.

In some cases the applicant may be required, as part of the application process, to hold a neighborhood meeting before the application is heard by the Board. Property owners within 500' of the application site would then be notified by mail. A property owner that directly abuts the proposed project or owners of 20% of parcels within 500' may also request a meeting. Contact the Planning and Development Office for further instructions.'

Procedure for Public Comment during Meeting

1. The Design Review Board Chair will read through each agenda item and call for a list of names who wish to speak during public comment. The public shall communicate directly with the Planning Staff Liaison if they wish to speak on the specific agenda item.
2. The Planning Staff Liaison will take a list of names, which will be called in order at the time of the specific agenda item, to provide public comment.
3. The Planning Staff Liaison will communicate directly with the public during the public portion of each item to provide comments on the specific agenda item.
4. Each member of the public shall provide their comments when their name is called by the Planning Staff Liaison.
5. Each member of the public will have 3 minutes to speak on the specific agenda item. When speaking:

- Begin by clearly stating your name and address for the record. Please spell your name if it is prone to be misspelled. The 3-minute timer will start after you provide this information.
 - Please do not repeat information already presented by someone else and avoid off-topic statements. Those who wish to share similar concerns are encouraged to appoint a spokesperson to speak on behalf of the group.
 - Direct all comments and questions to the chairperson, who will respond or direct the question to the appropriate party for response.
6. The Planning Staff Liaison will continue through the list of names until all members of the public who wished to speak on the specific agenda item have had an opportunity.
7. Once all names are called and public comment provided, the public portion for that specific agenda item will be closed.



**Planning Staff Report to
Design Review Board - Urban
February 22, 2022**
for the March 3, 2022 Public Hearing

Docket Number: 22-109
Applicant: Adam Roberts
Property Owner: Howard Dozier/221 N Main St Associates
Property Location: 221 North Main Street
Tax Map Number: 0002000602300
Acreage: .12
Zoning: C-4, Central Business District;
Proposal: Replacement of existing storefront
Staff Recommendation: **Approve with conditions**

Applicable Sections of the City of Greenville Code of Ordinances:

Sec. 19-2.3.8 Certificate of Appropriateness

Staff Analysis:

The applicant proposes the replacement of the existing storefront, which includes the demolition of existing fixed storefront and EIFS below, to be replaced with a new opening storefront and knee wall with horizontal ribbed fiber cement paneling painted to complement the existing canvas awning. The renovation does not alter the footprint of the building or any entrance locations at the ground level on Main Street.

The project is located in the C-4, Halprin District.

Staff Analysis:

Overall, staff finds the request consistent with the character of the existing building and with previous alterations in both design and placement. Given the project location within the Halprin District, special consideration should be given to the quality of materials used in the upfit. While no specific tint is identified for the proposed glass, staff recommends evaluation of the selected material for compliance with section PRI 4.1 and 4.2. Staff also does not have experience with the ribbed fiber cement panel product specified and recommends evaluation of a material board for compliance with section PRI 6.1.

Therefore, staff recommends approval with the following conditions:

1. The applicant shall work with staff and two members of the DRB to select a final tint for the storefront glass.

2. The applicant shall work with staff and two members of the DRB for final approval of the ribbed fiber cement paneling and paint color specified.
3. Any new signage for the tenants will require a separate sign permit and Certificate of Appropriateness and must adhere to the sign regulations and Appendix J.
4. Per the recent Section 19-1.11 LMO Text Amendment, an Affidavit of Substantial Compliance must be signed and notarized by the property owner prior to the issuance of the Certificate of Conformity.
5. This CA is considered a specific site development plan. As such, the CA issued for this project shall be subject to Land Management Ordinance Section 19-2.2.14 *Lapse of approval/vested rights* and the Vested Rights Act, Article 11, of Chapter 29, Title 6, of the Code of Laws of South Carolina, 1976 (S.C. Code §§ 6-29-1510 et seq.). The CA shall be valid for a period of two years from the date of approval by the Board. The Vested Right shall be granted up to five annual extensions upon a written request for an extension that must be received from the applicant at least sixty (60) days before expiration, unless any change or amendment to the land development ordinance or regulations of the City of Greenville's Code of Ordinances were to be amended that would no longer allow execution of the site-specific development plan. At any time during the two-year period or any subsequent Vested Rights extensions, the applicant may be granted a building permit from the City Building Official. Should the CA expire at any time prior to the application for a building permit, such permit shall not be issued until a current CA is provided.

Relevant Design Guidelines:

PRI 3. Entry

- 3.1 Locate entrances at active locations that enable and promote pedestrian walkability and connectivity.
- 3.2 All public entrances that face the public realm must be designed to accommodate all levels of physical ability.
- 3.3 Enhance the design of entry areas with materials, architectural and landscape features such as outdoor gathering spaces, coverings, lighting and landscape elements so that they are clearly identified and will attract and guide pedestrians.
- 3.4 Entry glass must be highly transparent using non-reflective and minimally tinted glass.
- 3.5 Entries must be designed to pronounce their purpose as a destination while not overwhelming the scale, massing and articulation of the rest of the building.
- 3.6 For retail building uses, recess or cover entrances to provide shelter and articulate the point of entry.
- 3.7 For buildings on corner lots, locate entrances at the corner to anchor the intersection and create a seamless transition that captures pedestrian activity from both street frontages.
- 3.8 Residential uses at the ground floor level must include entrances that face the public realm.
- 3.9 Shared entrances to multi-tenant residential units must use architectural elements, furnishings, and/or landscaping to clearly articulate and differentiate from commercial/retail entry.

PRI 4. Activated Ground Floor

- 4.1 Maximize the transparency of the ground floor to the street level to allow views of the use and activity within the building.
- 4.2 Use of darkly tinted and/or reflective glass is prohibited.
- 4.3 Locate publicly accessible commercial spaces, not private spaces, along the ground floor to facilitate a safer and more vibrant environment for pedestrians.
- 4.4 Maintain the simplicity of access to commercial and retail areas to avoid unnecessary or circuitous travel.
- 4.5 Provide ground floor design elements that promote pedestrian activity; for example, windows, retail displays, art, landscaping, canopy covering, etc.
- 4.6 Ensure that landscaping does not create a visual barrier between the building's interior and pedestrians.
- 4.7 Use security systems that do not require the use of security bars or grilles.
- 4.8 Corner buildings have at least two façades visibly exposed to the street and should be designed to respond to their more prominent locations.

PRI 6. Materiality

- 6.1 Use high quality materials that are chosen to be compatible with their surrounding context but also to elevate the existing diversity and character of the area.
- 6.2 Materials used within proximity to pedestrian areas must have durability to withstand heightened activity and wear.
- 6.3 Reuse existing or refurbished materials.
- 6.4 Use materials that convey a sense of human scale; that is, meant to be experienced by the pedestrian, not vehicular, user.
- 6.5 Use authentic materials. When this is not possible, ensure that synthetic materials realistically convey the materials that they represent.
- 6.6 While excessive uniformity and monotony are discouraged, variations in materials and colors must be composed and balanced to create a unified whole.
- 6.7 Use light colored (high albedo) materials for roofing and landscaping to reflect radiant heat.
- 6.8 Brighter, bolder colors (including corporate branding colors) may be applied to areas or elements of the building where they are secondary in application compared to the main body or features of the building (such as signage, canopies, or accent trim), or are otherwise applied in ways that do not dominate the overall color palette or cause the building to look out of place relative to the area. Counteract stronger colors by integrating natural materials and textures in the overall design.



city of
greenville

**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
URBAN DESIGN PANEL**

Contact Planning & Development:
(864) 467-4476

Office Use Only:

Application# _____ Fees Paid _____
Date Received _____ Accepted By _____
Date Complete _____ App Deny Conditions _____

APPLICANT/OWNER INFORMATION

*Indicates Required Field

APPLICANT

PROPERTY OWNER

*Name:	Adam Roberts, AIA	Howard Dozier
*Title:	Architect	Owner
*Address:	1830 North Main St, Greenville, SC 29609	101 Walnut Street
*Phone:	864-900-2262	336-362-6442
*Email:	adam@keelconcepts.com	HOWARDDOZIER@GMAIL.COM

PROPERTY INFORMATION

*STREET ADDRESS 221 NORTH MAIN STREET, GREENVILLE, SC 29601

*TAX MAP #(S) 0002000602300

*SPECIAL DISTRICT CENTRAL BUSINESS DISTRICT

DESCRIPTION OF REQUEST

To include scope of project and justification or response to specific guidelines and special conditions.

OWNER WOULD LIKE TO REPLACE EXISTING FIXED PANE STOREFRONT WINDOWS WITH OPERABLE SLIDING WINDOWS. EXISTING STOREFRONT WINDOWS ARE 8'-0" TALL WITH SILL AT FINISHED FLOOR. IT IS PROPOSED THAT THE NEW OPERABLE STOREFRONT WILL SIT UPON A NEW 2'-0" TALL KNEE WALL WITH THE EXTERIOR SIDE CLAD IN FIBER CEMENT PANELING WITH A RIBBED TEXTURE IN HORIZONTAL ORIENTATION. THE PANELING WILL BE PAINTED TO COMPLEMENT THE EXISTING CANVAS AWNING ON THE BUILDING.

INSTRUCTIONS

1. Preliminary meeting with staff is required prior to application submittal.
2. All applications and fees (made payable to the City of Greenville) for Certificate of Appropriateness must be received by the Planning & Development office no later than 2:00 p.m. on the date reflected on the attached schedule.
 - A. URBAN DESIGN PANEL Site plan review \$300.00
 Architectural review \$300.00
 - B. SIGNS \$150.00
 - C. APPLICATION FOR STAFF REVIEW
Major (all site development activity, roof gardens, decks or accessory structures; or any project that requires consultation with a member of the DRB). \$100.00
Minor (color change; replacement of windows/doors; additions, deletions or replacement of awnings; re-roofing; and projects that do not involve structural alterations, increase/decrease in window/door area or removal of architectural features). \$ 50.00
 - D. INFORMAL REVIEW
 - E. MODIFICATION TO AN APPROVED PROJECT
Major (requires review by DRB) ½ original fee
Minor (requires review by staff) \$ 50.00
 - F. REVISIONS (multiple required revisions may be subject to additional fees).
3. The staff will review the application for "sufficiency" pursuant to Section 19-2.2.6, Determination of Sufficiency and will contact the applicant to correct any deficiencies, which must be corrected prior to placing the application on the Design Review Board agenda.
4. If the application requires review by the Urban Design Panel, public hearing signs must be posted on the subject property at least 15 days (but not more than 18 days) prior to the scheduled hearing date.
5. You must attach one (1) complete set of scaled drawings of the property at an appropriate scale such as 1"=20' or ¼" = 1', etc. Although construction drawings are not required, applicants for final approval should be able to provide construction drawings at the Design Review Board's (DRB) request. The Board may request additional information at any time to fully understand the proposal. Items submitted to the Board become the property of the City and will not be returned.

SITE PLAN REVIEW

- Site Plan Drawings (indicating footprint of existing buildings, proposed building, proposed exterior elements, demolition of existing site features, floor plan, proposed exterior equipment, etc.).
- Massing Studies and Images (images shall be high resolution and should depict adjacent building, proposed building massing from various viewpoints, initial architectural details, photos of surroundings to review context, etc.).
- Model (physical or digital model that includes the surrounding context with massing only, no texture or articulation is required). ***The contextual model for the DRB boundary can be downloaded here: <https://greenvillesc.sharefile.com/d-s4197849a61943358>, and is provided as a .skp file. Data is updated monthly.***

ARCHITECTURAL REVIEW

- Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, landscape drawings, design and location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- Detail Drawings (include material and methods of each type of construction affecting the exterior appearance of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and signage).
- Renderings (include perspective drawings, including views from pedestrian and public realm).
- Model (physical or digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed signage).

For more detail on these submittal requirements, please refer to the **Greenville Downtown Design Guidelines**, adopted May 2017.

Please verify that all required information is reflected on the plan(s). Please submit one (1) paper copy and one (1) electronic version of the plan(s).

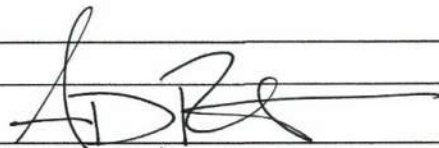
6. Please read carefully:

The applicant and property owner affirm that all information submitted with this application, including any/all supplemental information, is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition, the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

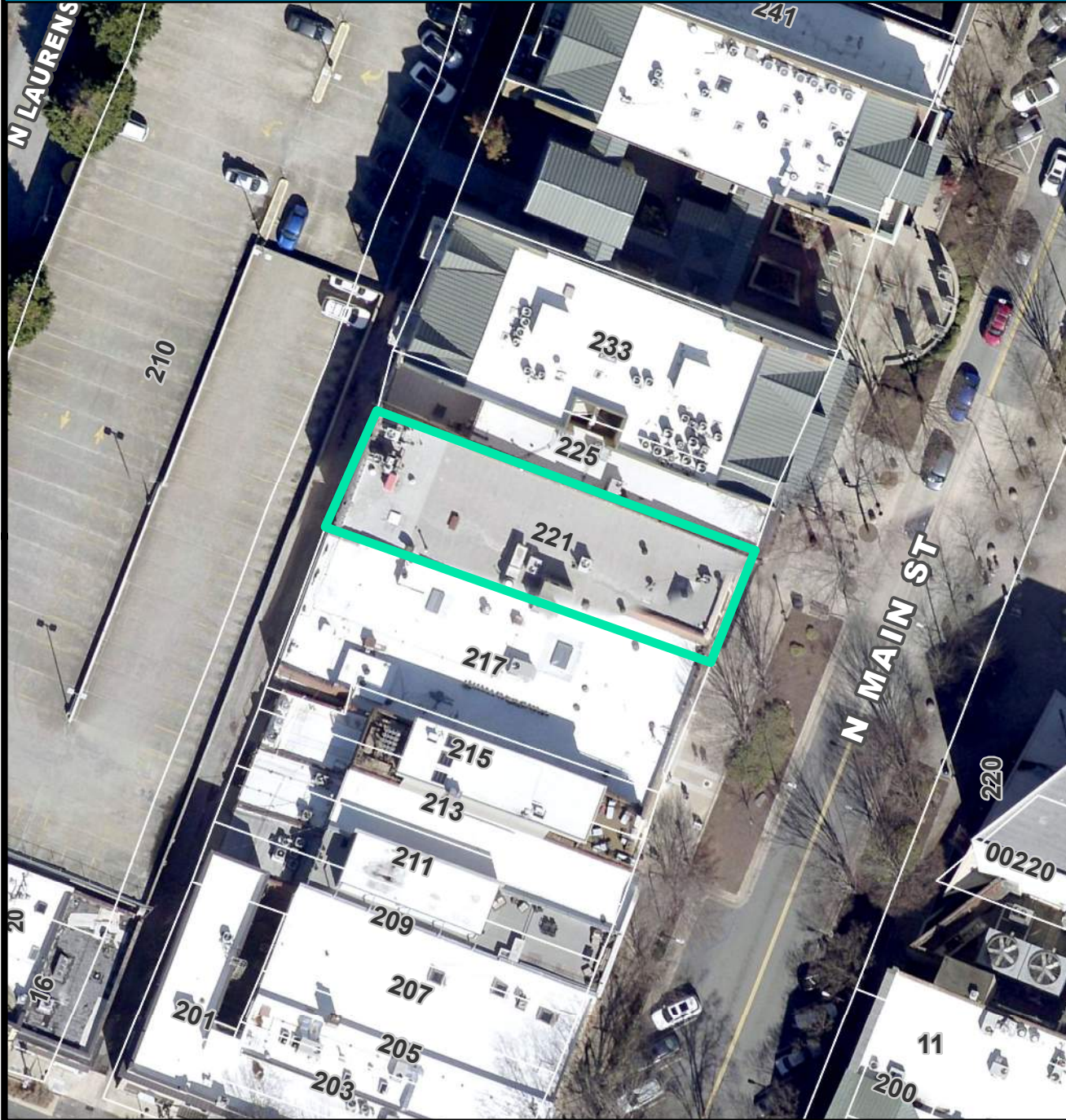
If the Planning & Development office, by separate inquiry, determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner or act to have the restriction terminated or waived, the Planning & Development office will indicate in its report to the Design Review Board that granting the requested change would not likely result in the benefit the applicant seeks.

7. To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application **is** ___ or **is not** ~~X~~ restricted by any recorded covenant that is contrary to, conflicts with or prohibits the requested activity.

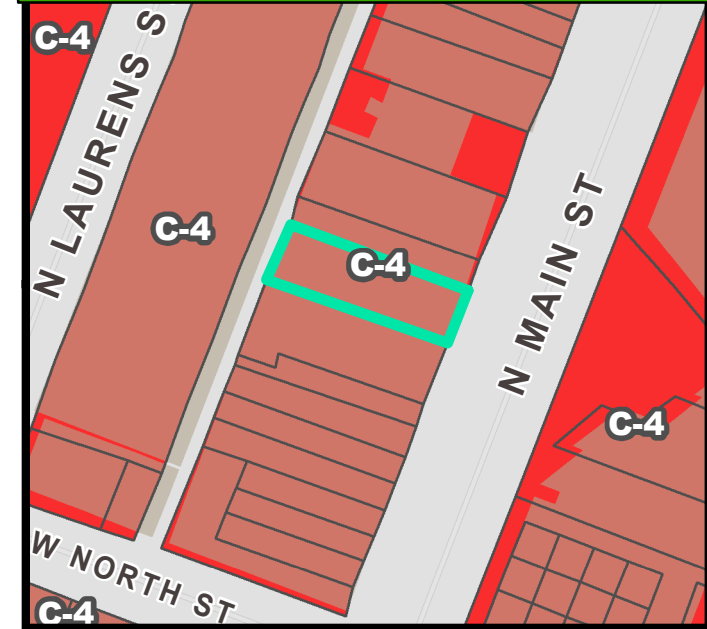
*Signatures	
Applicant	
Date	1/31/2022
Property Owner/Authorized Agent	HD
Date	1/31/2022
Public Hearing Information	
Public Hearing Signs	

CA 22-0109 • 221 NORTH MAIN STREET

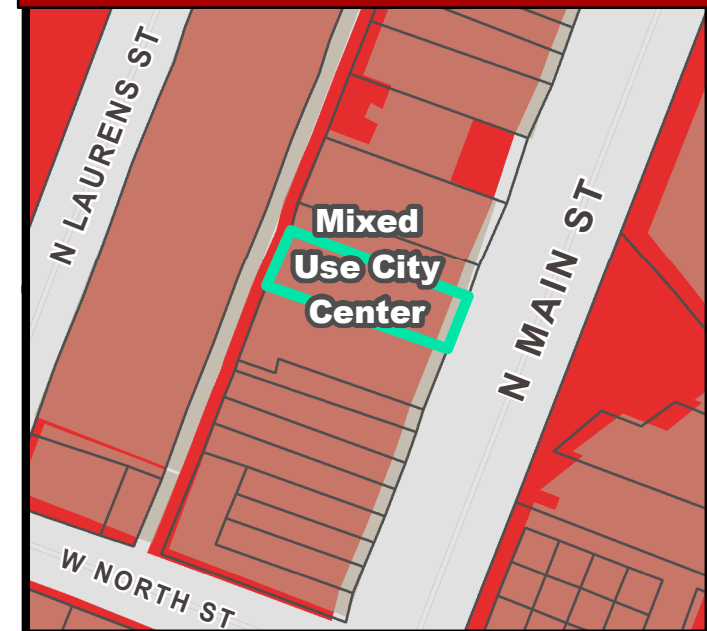
AERIAL VIEW



CURRENT ZONING



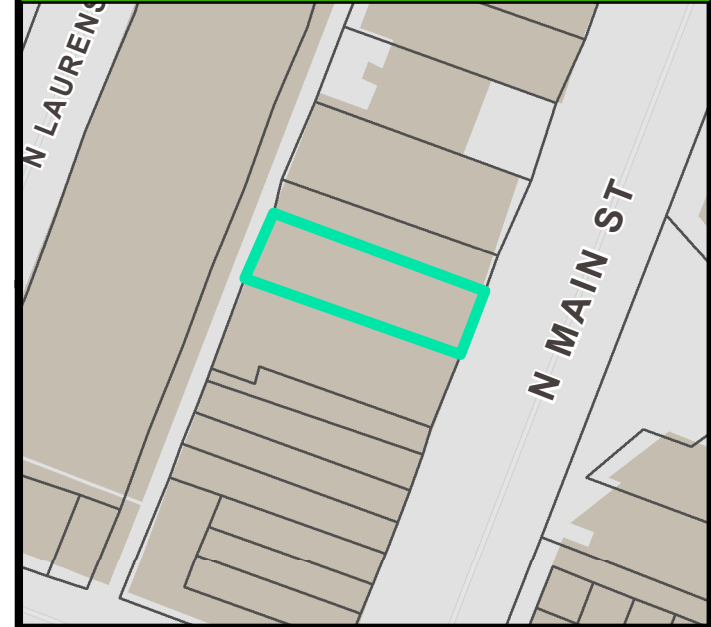
FUTURE LAND USE



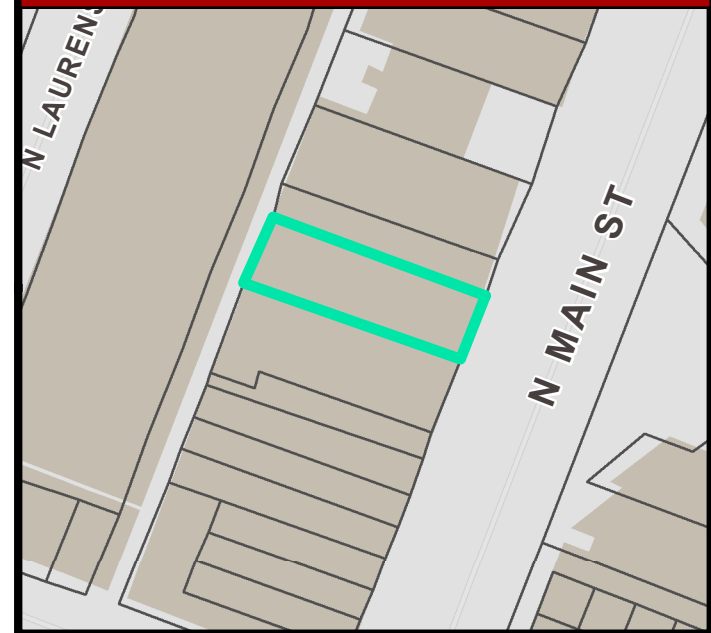
NATURAL / ENVIRONMENTAL FEATURES

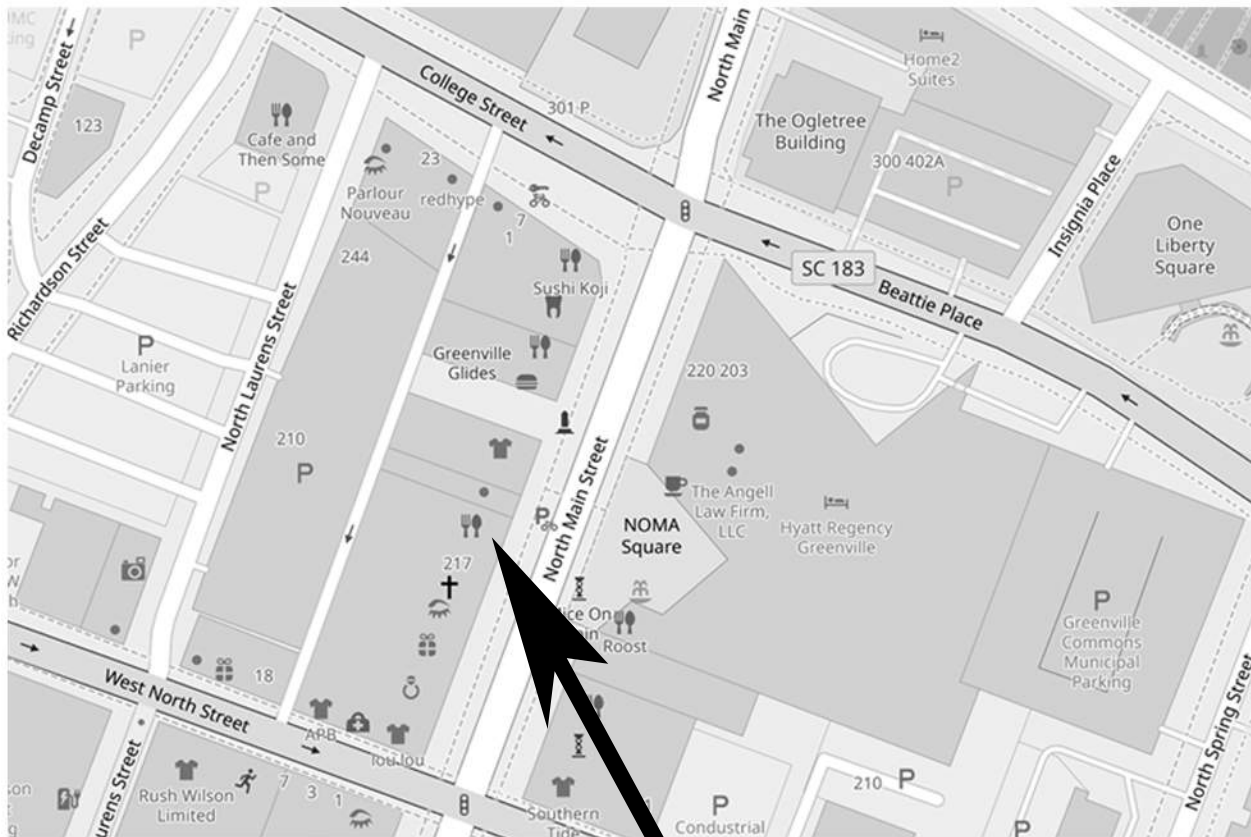


SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS

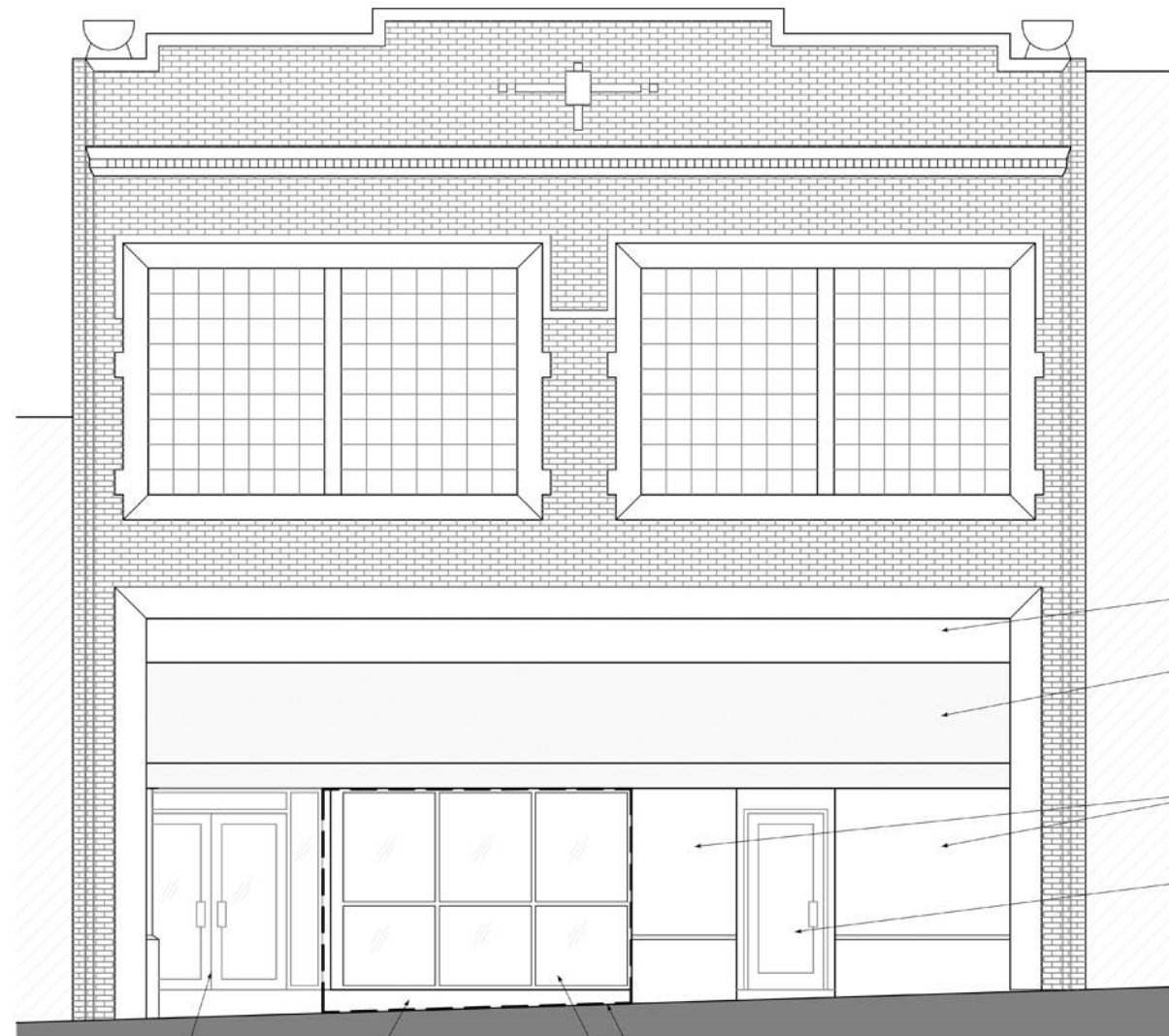




PROJECT LOCATION



EXISTING



EXISTING STOREFRONT ENTRANCE TO REMAIN.

REMOVE EIFS BACK TO CONCRETE FOUNDATION WALL.

DASHED LINE INDICATES LIMITS OF FACADE MODIFICATIONS.
EXISTING FIXED STOREFRONT GLAZING AND FRAMING TO BE REMOVED.

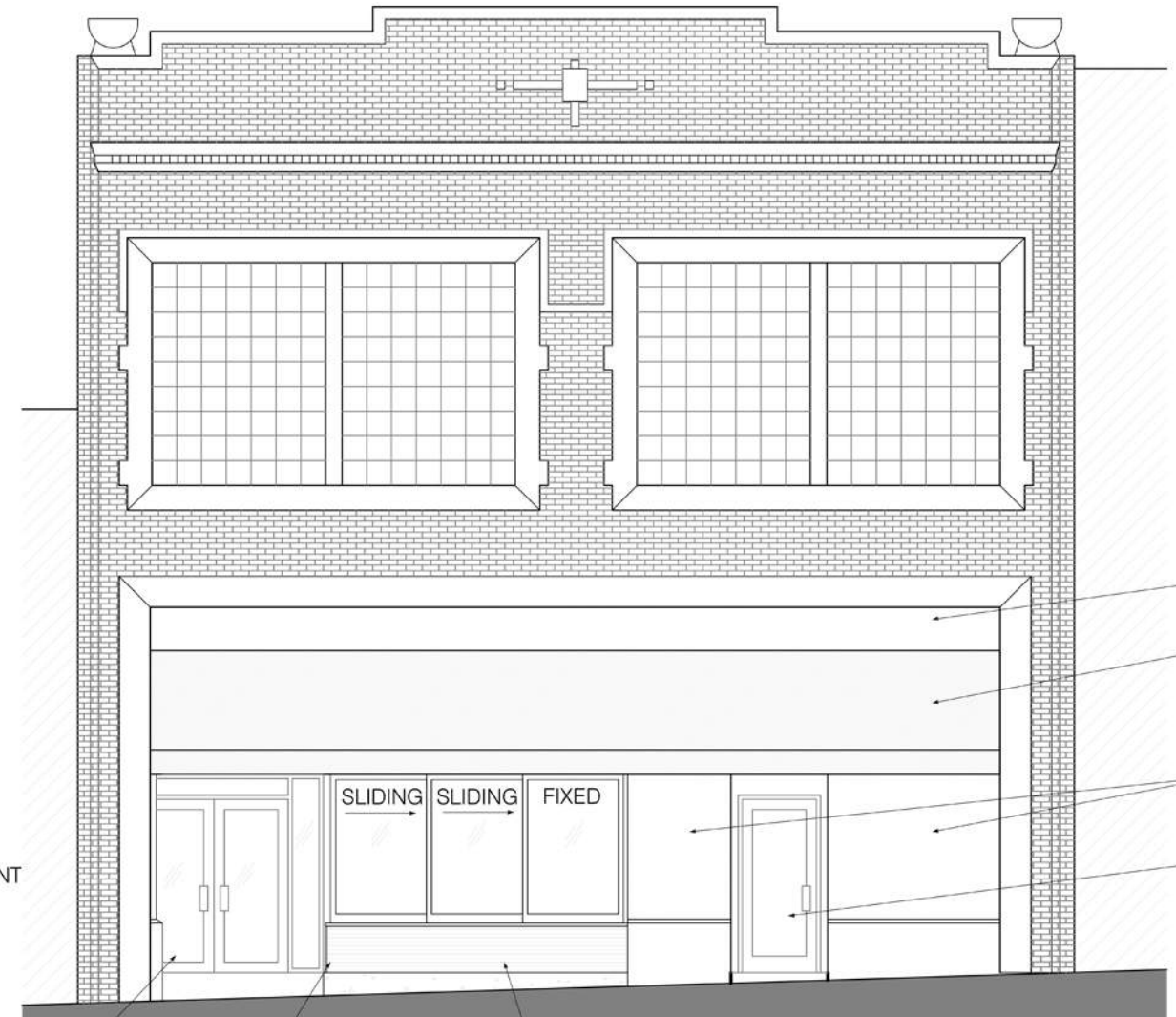
EXISTING EIFS TO REMAIN.

EXISTING BLACK CANVAS AWNING TO REMAIN

EXISTING EIFS TO REMAIN.

EXISTING STOREFRONT DOOR TO REMAIN.

PROPOSED



EXISTING EIFS TO REMAIN.

EXISTING BLACK CANVAS AWNING TO REMAIN

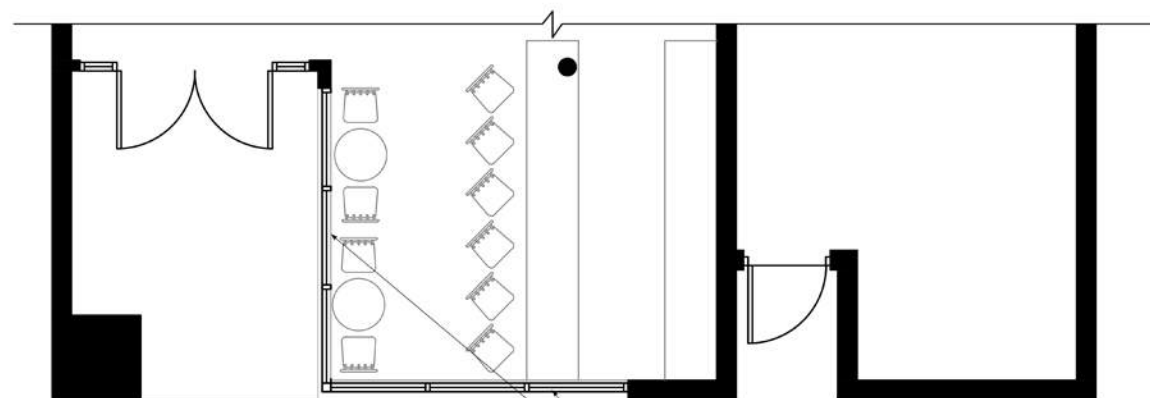
EXISTING EIFS TO REMAIN.

EXISTING STOREFRONT DOOR TO REMAIN.

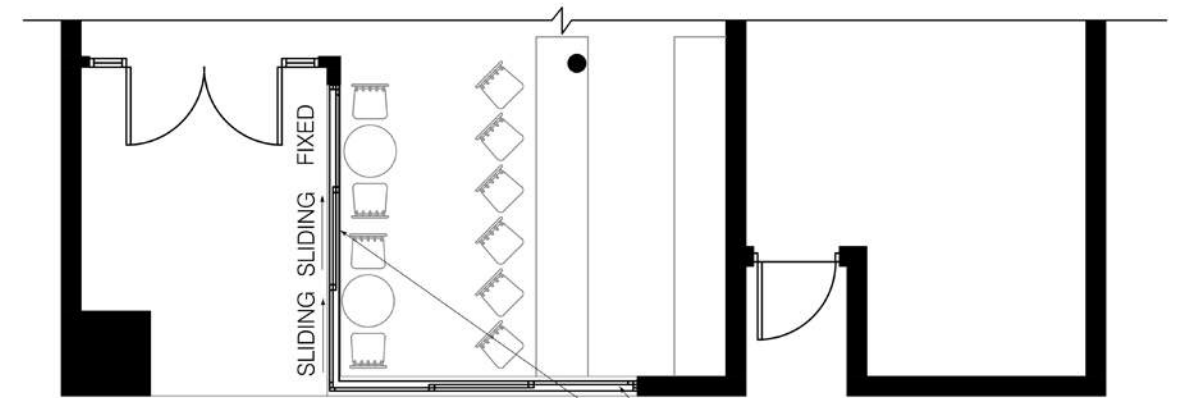
EXISTING STOREFRONT ENTRANCE TO REMAIN.

MATCHING OUTSIDE CORNER BY NICHHA. ALIGN RIBBING

RIBBED FIBER CEMENT PANELING: NICHHA AWP3030. HORIZONTAL ORIENTATION
PAINT SHERWIN WILLIAMS 7020 "BLACK FOX"



EXISTING FIXED STOREFRONT GLAZING AND FRAMING TO BE REMOVED.



SLIDING SLIDING FIXED

OPERABLE SLIDING WINDOW SYSTEM: SOLAR INNOVATIONS SI8000. DARK BRONZE ANODIZED





CLOSED POSITION



OPEN POSITION

SERIES SI8000

PRODUCT DATA SHEET

SLIDING GLASS DOOR SYSTEMS



Effortlessly expand your living space to the outdoors

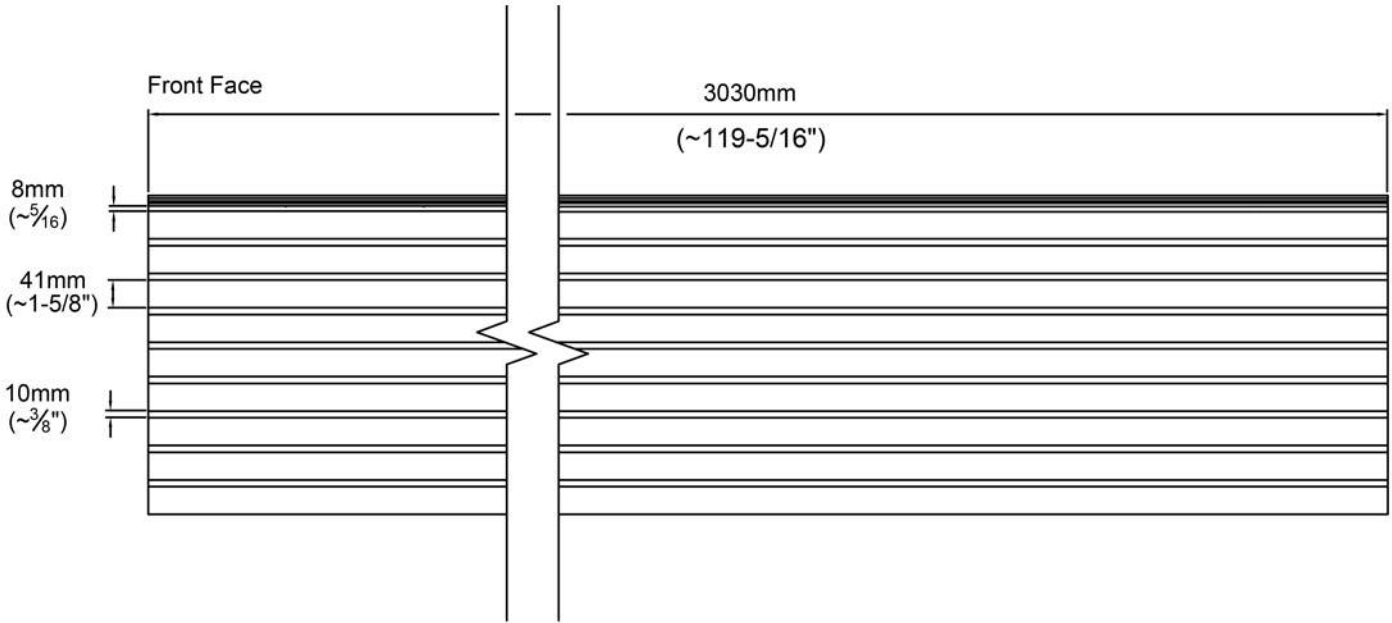
Sliding Glass Door Systems allow for expansive views and create easy access to the outdoors or transitions between two interior spaces. Motorization options, pocketing possibilities, countless configurations, and gigantic panel sizes make our Sliding Glass Doors a flexible design element that complements any space. For completely unobstructed views, pockets can be designed into the system, that allow the doors to be tucked away within the wall cavity while fully opened. Pet and insect screen systems can be integrated into the design to keep insects where they belong — outside!

FEATURES

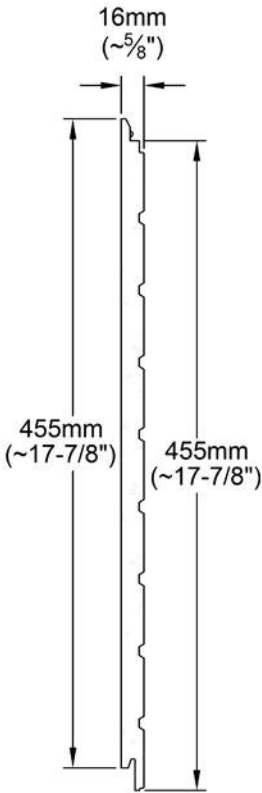
- PANELS**
- Motorized panels and screens possible with wireless remote, keypad, motion sensor, or infrared sensor controls available
 - LEED friendly system including recycled content
 - Designed and manufactured in the U.S.A.
- PERFORMANCE:**
- Weather tight jamb interlock provides outstanding air and water performance
- GLAZING:**
- Designed to accommodate almost any glazing infill including glass and solid-panel infills from ¼" to 1¾"
- HARDWARE**
- Custom manufactured operable hardware
 - Multiple hardware styles and finishes
 - Multiple sill designs, including high performance sill
 - Stainless steel rollers with precision bearings
 - 3" rollers for minimum panel width of 30"
 - 1 13/16" rollers for minimum panel width of 20"
 - Smaller panels may be available upon engineering approval

OPTIONS

- FINISHES:**
- Standard finishes:
 - AAMA 2603: Black, White, Sandstone, and Bronze
 - AAMA 611 Class I Anodized: Clear, **Dark Bronze**
 - Designer finishes:
 - AAMA 2604: Black, White, Sandstone, Natural Clay, and Bronze
 - Custom finishes:
 - Powder coat finish: AAMA 2604, 2605
 - Fluoropolymer (50% or 70%): AAMA 2604, 2605
 - Faux wood
 - Dual finish — interior/exterior applications
- OPTIONS:**
- Matching fixed transoms & sidelites
 - Screen options: folding, sliding, retractable
 - Mullions, decorative muntins, simulated divided lites (SDLs), interior & exterior grids
 - **No post 90° corners** possible
 - Pocketing options: single or double sided
 - Factory installed sill drain tubes, if required



AWP-3030 - RIBBED - PANEL DETAIL
SCALE: 1" = 1'-0"



EXAMPLE OF HORIZONTAL
RIBBED PANEL APPLICATION



**Planning Staff Report to
Design Review Board - Urban
February 22, 2022**
for the March 3, 2022 Public Hearing

Docket Number: 22-0110
Applicant: Chris Bernzott
Property Owner: Cap Camperdown Gvllle News LLC
Property Location: 32 East Broad Street
Tax Map Number: 0061000304103
Acreage: 0.24
Zoning: C-4, Central Business District;
Proposal: Exterior modifications for a restaurant upfit
Staff Recommendation: **Approve with conditions**

Applicable Sections of the City of Greenville Code of Ordinances:

Sec. 19-2.3.8 Certificate of Appropriateness

Application Request:

Applicant proposes exterior modifications for a restaurant upfit. The proposed restaurant is located next to an existing office use and the applicant wishes to redesign the exterior to differentiate the uses.

The exterior changes include upfit to the windows, façade treatments and entryways, along with the placement of site furnishings.

The exterior renovations are as follows:

1. Removal of existing clear anodized curtain walls along south and west elevations
2. Relocation of main entrance from west view to the south elevations
3. Installation of counterweight folding door systems with black steel plate cladding on both the south and west elevations
4. Installation of new black storefront doors and windows
5. Installation of a new entry canopy with black steel plate cladding and vertical wood slats
6. Installation of Nichiha fiber cement panels in Vintagewood cedar as a new façade treatment of both the south and west elevations
7. Installation of raised planters to screen the existing utility grate, and differentiate the outdoor dining space from the plaza and entrances.

8. Outdoor seating and umbrellas for outdoor dining.

Staff Analysis:

Overall, staff finds that the proposed modifications to the existing building comply with the Downtown Design Guidelines. Staff has worked with the applicant on material selection and façade design and has determined that the improvements will provide appropriate contrast to differentiate from the office use.

Staff recognizes the underutilized space between the main entrance and utility grate on the south elevation and recommends filling the space with bench seating or additional planters.

Staff also recommends the planters near the stairwell on the west elevation be reconsidered for sizing as the placement of planters may negatively impede pedestrian traffic and emergency exit. Potential for alternative means of screening should be considered.

Staff finds that Downtown Design Guidelines PRI Entry 3.1, 3.2, and 3.3 are addressed with the modifications and that the proposed design improves the pedestrian entrance to the building. Staff also finds that the proposed design addresses PRI Activated Ground Floor 4.1 and 4.5 with the installation of retractable counterweight doors, the entry canopy and new outdoor dining area. Additionally, PRI Materiality 6.4 and 6.6 are addressed using Nichiha fiber cement panels and new window systems to create a more visually appealing pedestrian experience as well as the use of softer wood textures and black steel cladding to break up the gray and white color palette of the existing office building.

Staff recommends Approval with Conditions:

1. Applicant shall site furnishings so as not to impede ingress or egress, notably at the top of the stairwell along the west elevation.
2. Any signage will require a separate sign permit and Certificate of Appropriateness and must adhere to the sign regulations and Appendix J.
3. Per the recent Section 19-1.11 LMO Text Amendment, an Affidavit of Substantial Compliance must be signed and notarized by the property owner prior to the issuance of the Certificate of Conformity.
4. This CA is considered a specific site development plan. As such, the CA issued for this project shall be subject to Land Management Ordinance Section 19-2.2.14 *Lapse of approval/vested rights* and the Vested Rights Act, Article 11, of Chapter 29, Title 6, of the Code of Laws of South Carolina, 1976 (S.C. Code §§ 6-29-1510 et seq.). The CA shall be valid for a period of two years from the date of approval by the Board. The Vested Right shall be granted up to five annual extensions upon a written request for an extension that must be received from the applicant at least sixty (60) days before expiration, unless any change or amendment to the land development ordinance or regulations of the City of Greenville's Code of Ordinances were to be amended that would no longer allow execution of the site-specific development plan. At any time during the two-year period or any subsequent Vested Rights extensions, the applicant may be granted a building permit from the City Building Official. Should the CA expire at any time prior to the application for a building permit, such permit shall not be issued until a current CA is provided.

Relevant Design Guidelines:

PRIVATE REALM

PRI 3. ENTRY

- 3.1 Locate entrances at active locations that enable and promote pedestrian walkability and connectivity.
- 3.2 All public entrances that face the public realm must be designed to accommodate all levels of physical ability.
- 3.3 Enhance the design of entry areas with materials, architectural and landscape features such as outdoor gathering spaces, coverings, lighting and landscape elements so that they are clearly identified and will attract and guide pedestrians.
- 3.4 Entry glass must be highly transparent using non-reflective and minimally tinted glass.
- 3.5 Entries must be designed to pronounce their purpose as a destination while not overwhelming the scale, massing and articulation of the rest of the building.
- 3.6 For retail building uses, recess or cover entrances to provide shelter and articulate the point of entry.
- 3.7 For buildings on corner lots, locate entrances at the corner to anchor the intersection and create a seamless transition that captures pedestrian activity from both street frontages.
- 3.8 Residential uses at the ground floor level must include entrances that face the public realm.
- 3.9 Use lower scale buildings or building elements to transition taller buildings towards lower scale buildings on adjacent properties.

PRI 4. ACTIVATED GROUND FLOOR

- 4.1 Maximize the transparency of the ground floor to the street level to allow views of the use and activity within the building.
- 4.2 Use of darkly tinted and/or reflective glass is prohibited.
- 4.3 Locate publicly accessible commercial spaces, not private spaces, along the ground floor to facilitate a safer and more vibrant environment for pedestrians
- 4.4 Maintain the simplicity of access to commercial and retail areas to avoid unnecessary or circuitous travel.
- 4.5 Provide ground floor design elements that promote pedestrian activity, for example, windows, retail displays, art, landscaping, canopy coverings, etc.
- 4.6 Ensure that landscaping does not create visual barrier between the building's interior and pedestrians.
- 4.7 Use security systems that do not require the use of security bars or grills
- 4.8 Corner buildings have at least two facades visibly exposed to the street and should be designed to respond to their more prominent locations.

PRI 6. MATERIALITY

- 6.1 Use high quality materials that are chosen to be compatible with their surrounding context but also to elevate the existing diversity and character of the area
- 6.2 Materials used within proximity to pedestrian areas must have the durability to withstand heightened activity and wear.
- 6.3 Reuse existing or refurbished materials.
- 6.4 Use materials that convey a sense of human scale; that is, meant to be experienced by the pedestrian, not vehicular, user.
- 6.5 Use authentic materials. When this is not possible, ensure that synthetic materials realistically convey the materials they represent.
- 6.6 While excessive uniformity and monotony are discouraged, variations in materials and colors must be composed and balanced to create a unified whole.
- 6.7 Use light colored (high albedo) materials for roofing and landscaping to reflect radiant heat.

- 6.8 Brighter, bolder colors (including corporate branding colors) may be applied to areas or elements of the building where they are secondary in application compare to the main body or features of the building (such as signage, canopies, or accent trim), or are otherwise applied in ways that do not dominate the overall color palette or cause the building to look out of place relative to the area. Counteract stronger colors by integrating natural materials and textures into the overall design.



**APPLICATION FOR
CERTIFICATE OF APPROPRIATENESS
URBAN DESIGN PANEL**

Contact Planning & Development:
(864) 467-4476

Office Use Only:

Application# _____ Fees Paid _____
Date Received _____ Accepted By _____
Date Complete _____ App Deny Conditions _____

APPLICANT/OWNER INFORMATION

*Indicates Required Field

	APPLICANT	PROPERTY OWNER
*Name:	Narramore Associates, Inc.	Cap Camperdown Gville News LLC
*Title:	Chris Bernzott - Project Manager	Rebecca Gault
*Address:	310 Mills Ave, Suite 203 Greenville, SC 29605	935 S. Main St. Ste 201 Greenville, SC 29601
*Phone:	864-242-9881	864-331-2965
*Email:	chrisb@narramore.net	rebeccag@capllc.com

PROPERTY INFORMATION

*STREET ADDRESS 32 Broad Street Greenville, SC 29601

*TAX MAP #(S) 0061000304103

*SPECIAL DISTRICT C-4 Central Business District

DESCRIPTION OF REQUEST

To include scope of project and justification or response to specific guidelines and special conditions.

Proposed exterior improvements for a restaurant upfit at 32 E. Broad street facing Camperdown Plaza. We are removing existing clear anodized curtain wall and replacing with dark masonry and large folding glass doors that allow the restaurant to open up to the development. The doors lift and fold into a sort of awning similar to other restaurants in Greenville. The restaurant's new main entrance will receive a new steel canopy with wood slats to the ground on one side.

Overall intent with the design is to set this restaurant apart from the rest of the office building while also using darker colors to tie this design into the Camperdown project which has similar style in some areas.

INSTRUCTIONS

1. Preliminary meeting with staff is required prior to application submittal.
2. All applications and fees (made payable to the City of Greenville) for Certificate of Appropriateness must be received by the Planning & Development office no later than 2:00 p.m. on the date reflected on the attached schedule.

A. URBAN DESIGN PANEL	Site plan review	\$300.00
	Architectural review	\$300.00
B. SIGNS		\$150.00
C. APPLICATION FOR STAFF REVIEW		
	Major (all site development activity, roof gardens, decks or accessory structures; or any project that requires consultation with a member of the DRB).	\$100.00
	Minor (color change; replacement of windows/doors; additions, deletions or replacement of awnings; re-roofing; and projects that do not involve structural alterations, increase/decrease in window/door area or removal of architectural features).	\$ 50.00
D. INFORMAL REVIEW		
E. MODIFICATION TO AN APPROVED PROJECT		
	Major (requires review by DRB)	½ original fee
	Minor (requires review by staff)	\$ 50.00
F. REVISIONS (multiple required revisions may be subject to additional fees).		

3. The staff will review the application for "sufficiency" pursuant to Section 19-2.2.6, Determination of Sufficiency and will contact the applicant to correct any deficiencies, which must be corrected prior to placing the application on the Design Review Board agenda.
4. If the application requires review by the Urban Design Panel, public hearing signs must be posted on the subject property at least 15 days (but not more than 18 days) prior to the scheduled hearing date.
5. You must attach one (1) complete set of scaled drawings of the property at an appropriate scale such as 1"=20' or ¼" = 1', etc. Although construction drawings are not required, applicants for final approval should be able to provide construction drawings at the Design Review Board's (DRB) request. The Board may request additional information at any time to fully understand the proposal. Items submitted to the Board become the property of the City and will not be returned.

SITE PLAN REVIEW

- Site Plan Drawings (indicating footprint of existing buildings, proposed building, proposed exterior elements, demolition of existing site features, floor plan, proposed exterior equipment, etc.).
- Massing Studies and Images (images shall be high resolution and should depict adjacent building, proposed building massing from various viewpoints, initial architectural details, photos of surroundings to review context, etc.).
- Model (physical or digital model that includes the surrounding context with massing only, no texture or articulation is required). **The contextual model for the DRB boundary can be downloaded here: <https://greenvillesc.sharefile.com/d-s4197849a61943358>, and is provided as a .skp file. Data is updated monthly.**

ARCHITECTURAL REVIEW

- Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, landscape drawings, design and location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- Detail Drawings (include material and methods of each type of construction affecting the exterior appearance of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and signage).
- Renderings (include perspective drawings, including views from pedestrian and public realm).
- Model (physical or digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed signage).

For more detail on these submittal requirements, please refer to the **Greenville Downtown Design Guidelines**, adopted May 2017.

Please verify that all required information is reflected on the plan(s). Please submit one (1) paper copy and one (1) electronic version of the plan(s).

6. Please read carefully:

The applicant and property owner affirm that all information submitted with this application, including any/all supplemental information, is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition, the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the Planning & Development office, by separate inquiry, determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner or act to have the restriction terminated or waived, the Planning & Development office will indicate in its report to the Design Review Board that granting the requested change would not likely result in the benefit the applicant seeks.

7. To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is ___ or is not X restricted by any recorded covenant that is contrary to, conflicts with or prohibits the requested activity.

*Signatures	
Applicant	
Date	01/27/2022
Property Owner/Authorized Agent	Rebecca D. Gault
Date	1/31/22
Public Hearing Information	
Public Hearing Signs	

AERIAL VIEW



CURRENT ZONING



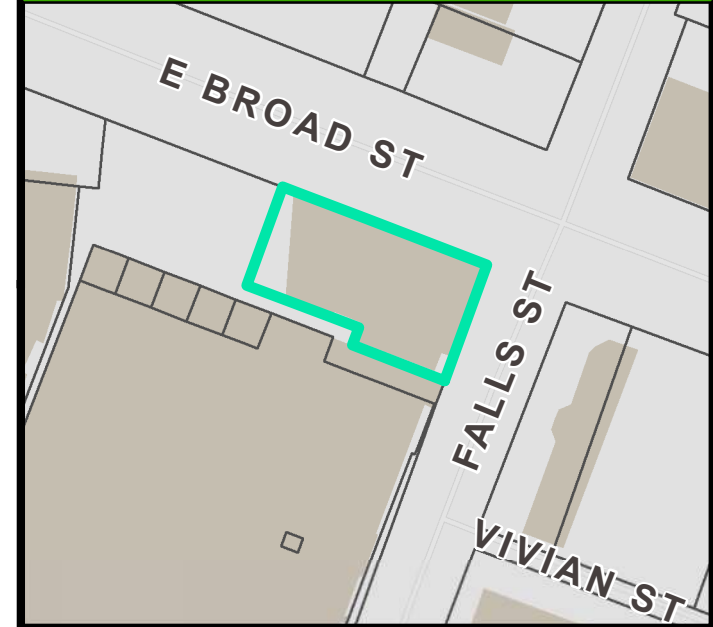
FUTURE LAND USE



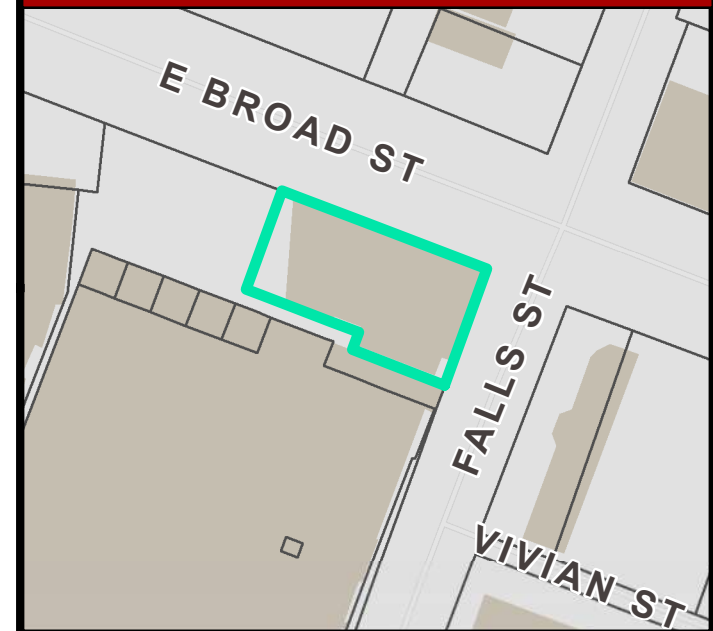
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS



GENERAL DEMOLITION NOTES:

1. ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST ADOPTED EDITIONS OF THE APPLICABLE CODES AS INDICATED ON SHEET G1.0 AND ALL OTHER LOCAL, STATE OR FEDERAL CODES OR REGULATION HAVING JURISDICTION.
2. ALL CONSTRUCTION SHALL BE HANDICAPPED ACCESSIBLE AND COMPLY WITH BARRIER FREE DESIGN AND OTHER APPLICABLE STANDARDS.
3. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD OR CENTERLINE OF COLUMN, UNLESS NOTED OTHERWISE.
4. DO NOT SCALE DRAWING. IF DIMENSIONS ARE IN QUESTION THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
5. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWING AND THOSE OF ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL IN-PLACE STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
7. PROVIDE TEMPORARY WEATHER PROTECTION DURING DEMOLITION TO PROTECT WORK EXPOSED TO THE EXTERIOR.
8. NEW ROOF WORK TO BE PERFORMED BY THE LANDLORDS ROOFING CONTRACTOR SO AS NOT TO VOID MANUFACTURES WARRANTY.
9. G.C. TO COORDINATE NEW ROOF PENETRATIONS AND STRUCTURAL BRACING FOR NEW ROOFTOP EQUIPMENT WITH THE STRUCTURAL ENGINEER AND THE EQUIPMENT SUPPLIER.
10. CAP ALL ABANDONED PLUMBING BELOW SLAB LEVEL, FILL/LEVEL ALL SLAB DEPRESSIONS/VOIDS W/ NEW CONCRETE TO BE FLUSH WITH THE EXISTING FINISH FLOOR.
11. DO NOT PENETRATE OR OTHERWISE INTERRUPT THE FIRE RATING OF RATED BUILDING ELEMENTS.
12. ALL SHORING AND BRACING (IF REQUIRED) AT SCOPE OF DEMOLITION IS TO BE COORDINATED WITH A STRUCTURAL ENGINEER.
13. VERIFY THAT WATER, GAS, ELECTRICAL AND SEWER SERVICES HAVE BEEN INSTALLED IN THE LOCATIONS INDICATED. REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.

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ARCHITECTURE

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plans@narramore.net

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SEAL

The diagram is a detailed architectural floor plan of the main level of a building, intended for demolition. It shows the layout of various rooms and structural elements. Key areas include an existing lobby, two stairwells (Stair #1 and Stair #2), an existing elevator room, an existing storage room, an existing trash chute, an existing employee entrance vestibule, a patio, and an existing utility courtyard located below the main level. The plan also indicates areas where existing curtain walls and stud furring are to be removed. A portion of the curtain wall system is noted to be removed to the underside of an existing canopy. The existing facade is shown to remain. The drawing includes a grid system with vertical lines labeled 1 through 6 and horizontal lines labeled A through D. Dimensions and notes are provided throughout the plan to specify the scope of the demolition work.

1 Main Level Demo Plan
SCALE: 1/8" = 1'-0"

LARKIN'S
est. 2005
AGED STEAKS • FRESH FISH • OLD WINE

LARKIN'S
RESTAURANT UPFIT
32 EAST BROAD STREET
GREENVILLE, SC 29601

REVISIONS

PROJECT DATA
NEW RESTAURANT UPFIT
PROJECT NUMBER
21934
ISSUE DATE
02-09-21

LARKIN'S RESTAURANT
GREENVILLE, SC

D1.1

MAIN LEVEL
DEMO PLAN



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narr@narramore.net

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LARKIN'S
RESTAURANT UPFIT
32 EAST BROAD STREET
GREENVILLE, SC 29601

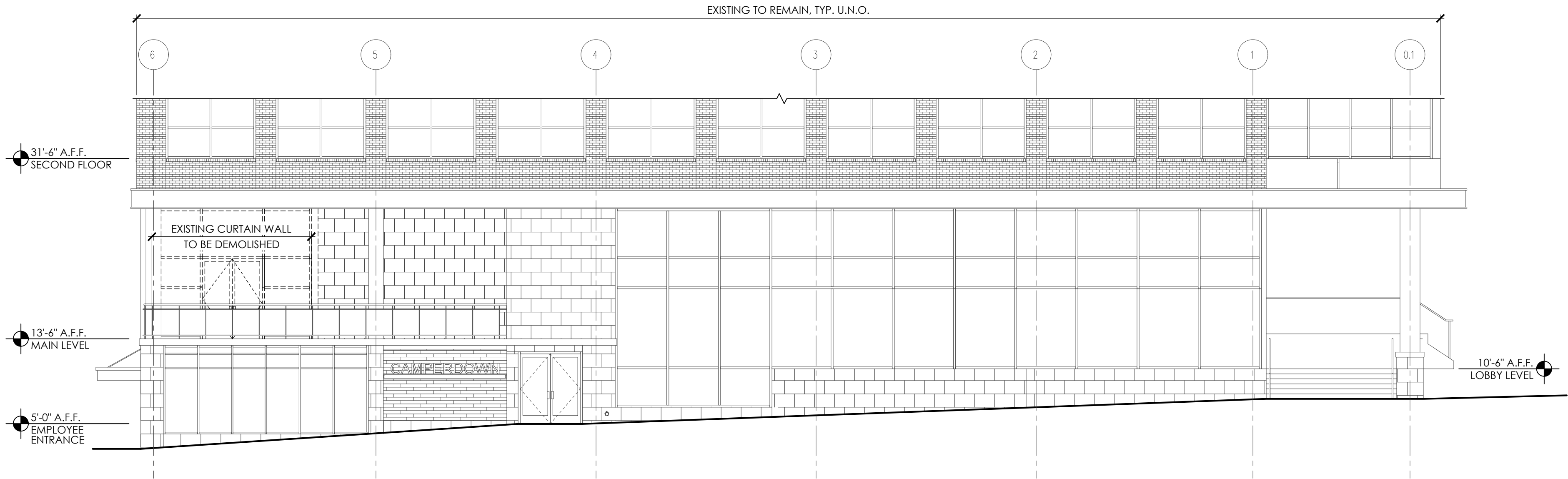
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LARKIN'S RESTAURANT
GREENVILLE, SC

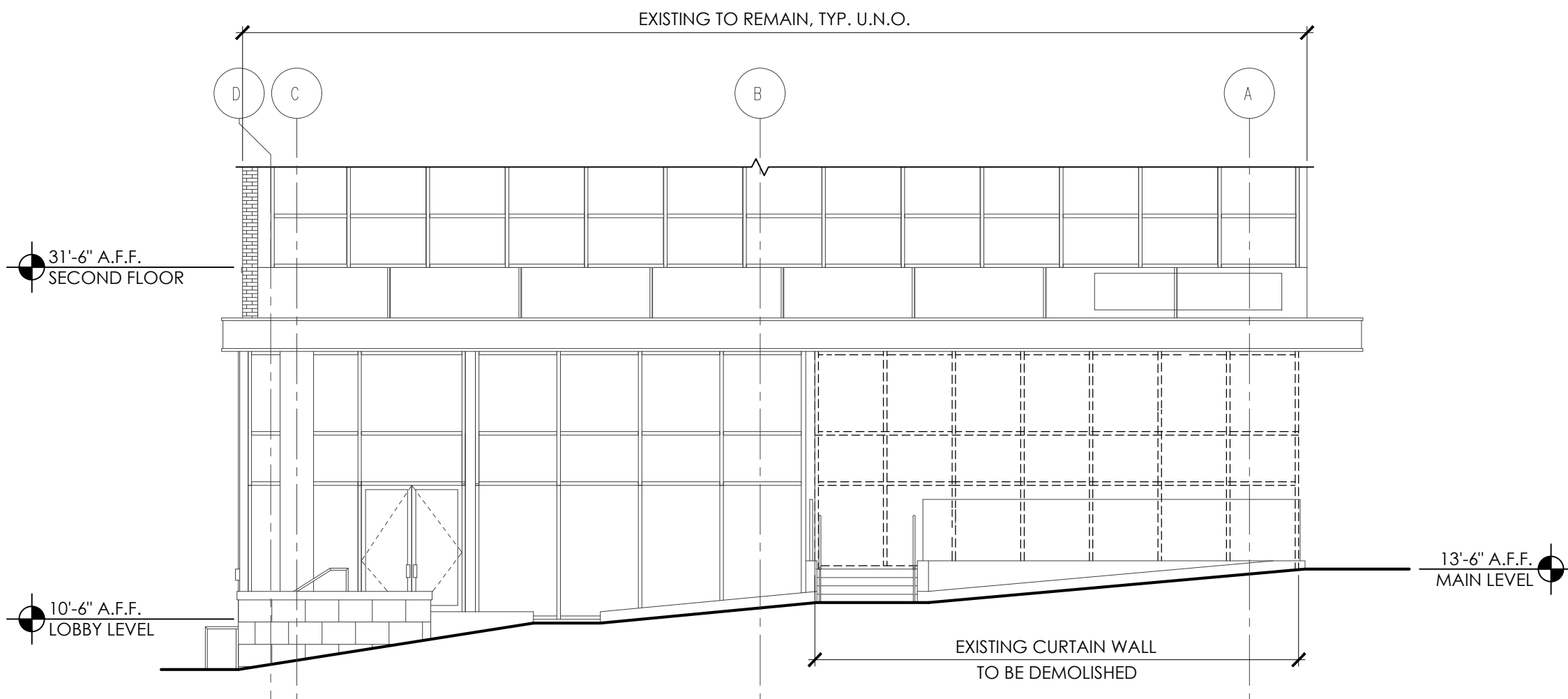
D2.0

DEMO EXTERIOR
ELEVATIONS



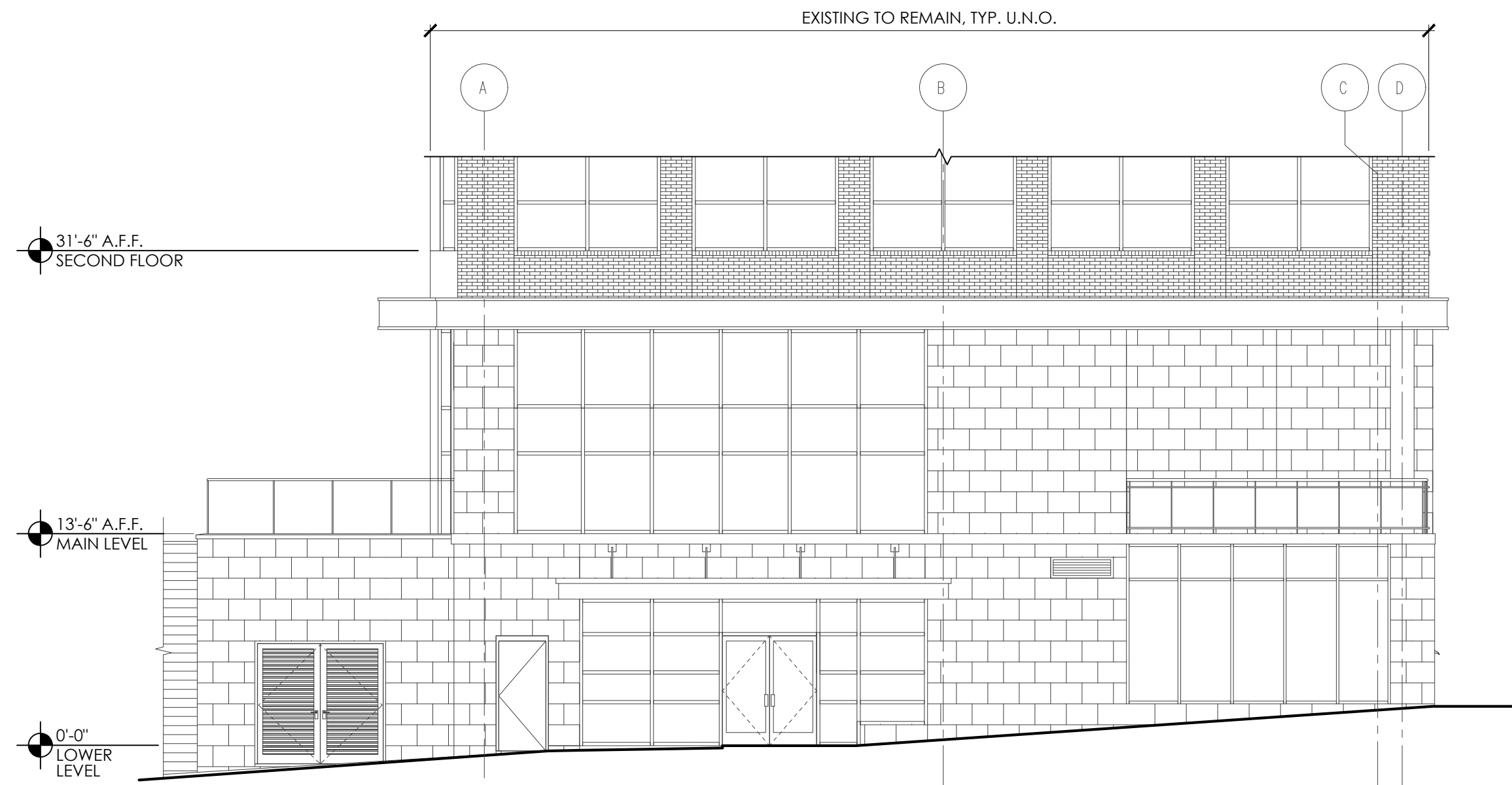
3 Rear Elevation - Facing E. Broad Street

SCALE: 1/8" = 1'-0"



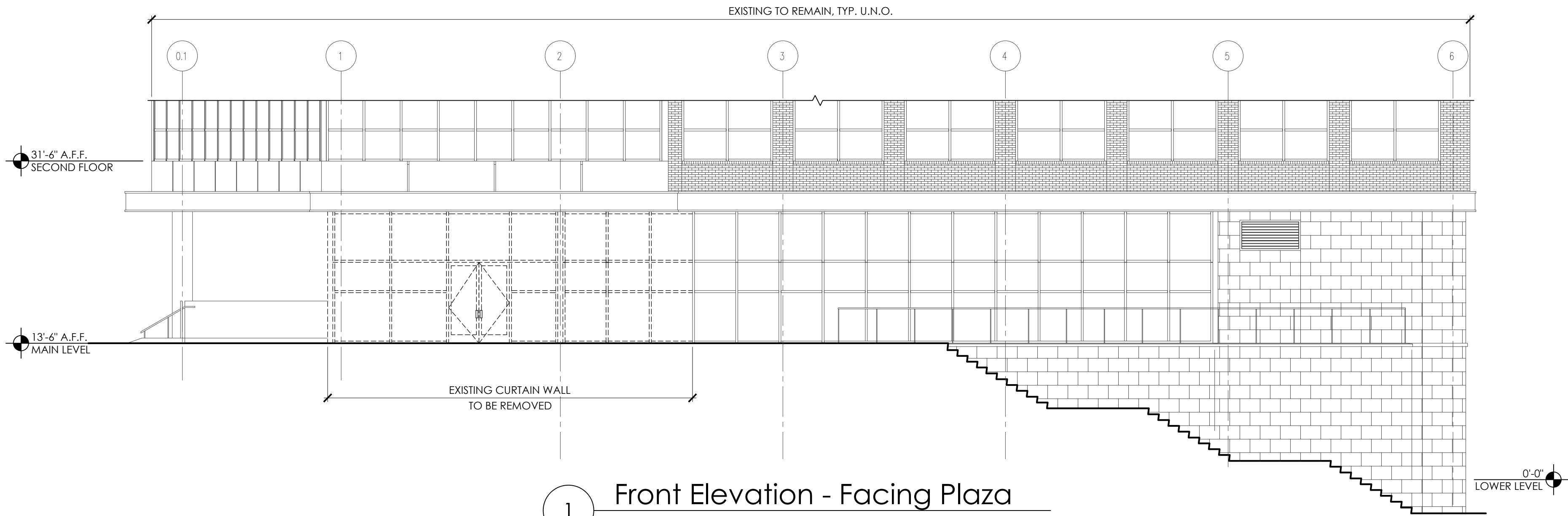
4 Side Elevation - Facing Main Street

SCALE: 1/8" = 1'-0"



2 Side Elevation - Facing Fall Street

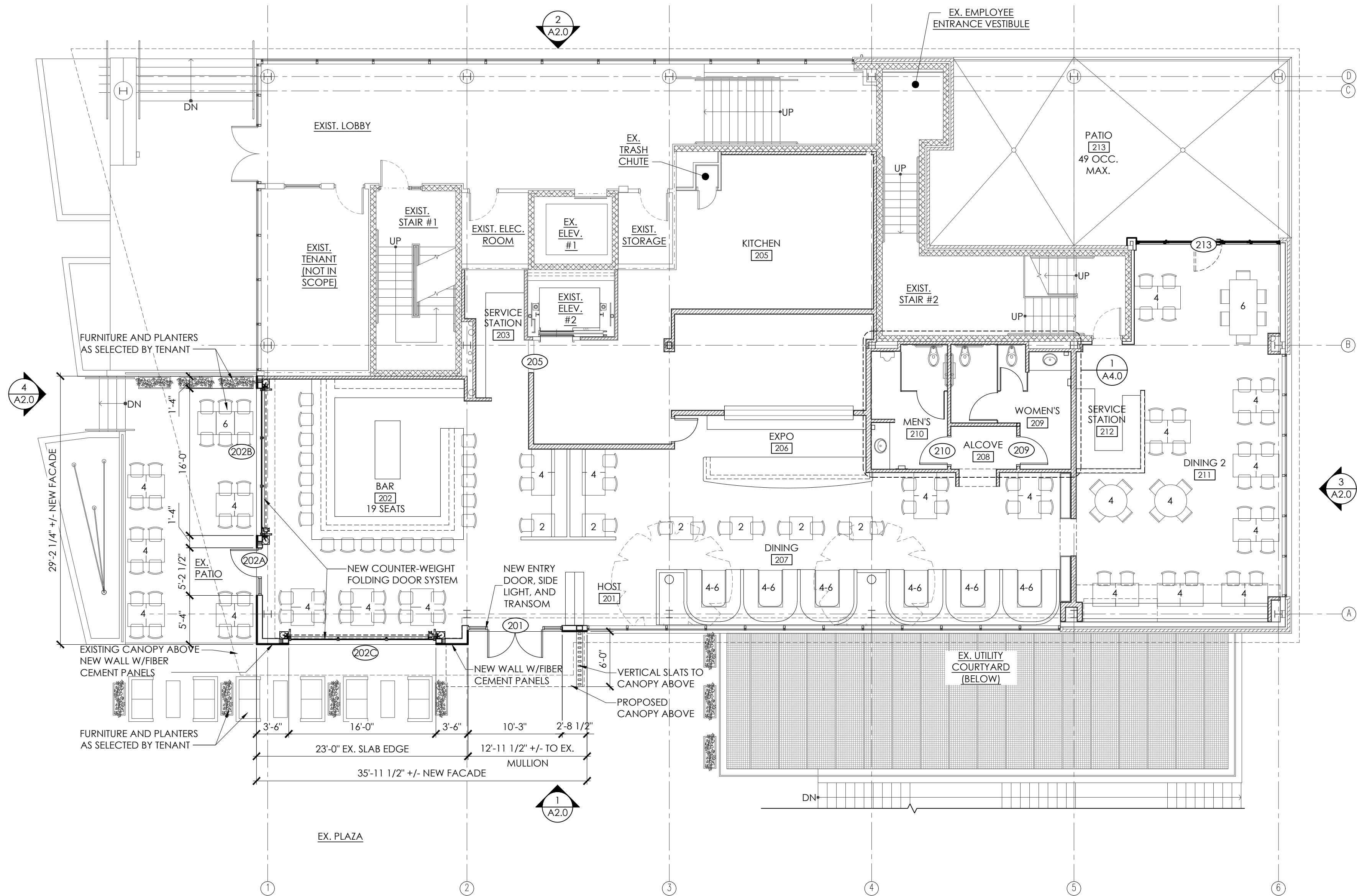
SCALE: 1/8" = 1'-0"



1 Front Elevation - Facing Plaza

SCALE: 1/8" = 1'-0"

WALL TYPES	
1A	TYPICAL INTERIOR WALL 3-5/8" 20 GA. METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM WALLBOARD EACH SIDE. ASSEMBLY TO EXTEND TO UNDERSIDE OF ROOF DECK OR EXISTING HARD CEILING.
1B	PARTITION 1A EXCEPT GYPSUM WALL BOARD STOPS 6" (MIN.) ABOVE FINISHED CEILING.
1C	PARTITION 1A EXCEPT GYPSUM WALL BOARD ONLY ON ONE SIDE AND STOPS 6" (MIN.) ABOVE FINISHED CEILING.
1D	PARTITION 1A EXCEPT GYPSUM WALL BOARD ONLY ON ONE SIDE EXTENDS ROOF DECK.
2A	TYPICAL INTERIOR LOW-WALL 3 5/8" 22 GA. METAL STUDS @ 16" O.C. WITH 5/8" GYPSUM WALLBOARD ON EACH SIDE. EXTEND TO 4'-6" A.F.F. PROVIDE 1x6 WOOD CAP TO FINISH TOP OF WALL. PROVIDE DIETRICH PW24 PARTIAL WALL FRAMING CONNECTOR @ 6'-0" O.C.
2B	TYPICAL INTERIOR LOW-WALL PARTITION TYPE 2A EXCEPT EXTEND TO 6'-0" A.F.F.
2C	TYPICAL INTERIOR LOW-WALL PARTITION TYPE 2A EXCEPT GYPSUM WALL BOARD ONLY ON ONE SIDE
3A	TYPICAL 6" INTERIOR WALL 4" 20 GA. METAL STUDS @ 16" O.C.(MAX) WITH 5/8" M.R. GYPSUM WALLBOARD EACH SIDE. ASSEMBLY TO EXTEND TO UNDERSIDE OF ROOF DECK OR EXISTING HARD CEILING.
3B	PARTITION 3A EXCEPT GYPSUM WALL BOARD STOPS 6" (MIN.) ABOVE FINISHED CEILING.
3C	PARTITION 3A EXCEPT GYPSUM WALL BOARD ONLY ON ONE SIDE AND STOPS 6" (MIN.) ABOVE FINISHED CEILING.



1 Main Level Floor Plan
SCALE: 1/8" = 1'-0"

GENERAL FLOOR PLAN NOTES:

1. THESE DOCUMENTS ARE INTENDED TO DESCRIBE THE WORK REQUIRED TO CONSTRUCT THE TENANT UPFIT AS DELINEATED. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE THE SPECIFIC TENANT REQUIREMENTS TO INCLUDE: INTERIOR WALL LOCATIONS, MECHANICAL REQUIREMENTS, POWER & LIGHTING REQUIREMENTS, DOOR LOCATIONS, EQUIPMENT REQUIREMENTS, ETC.
2. FOR ALL DOOR HARDWARE SCHEDULES AND DOOR SCHEDULES, REFER TO SHEET A6.0.
3. (EXPOSED PIPES AND SURFACES) HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL NOT BE SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
4. PROVIDE TYPE 2-A FIRE EXTINGUISHERS. FIRE EXTINGUISHERS SHALL BE LOCATED PER FIRE MARSHALL. A TYPE "K" FIRE EXTINGUISHER IS REQUIRED IN THE KITCHEN.
5. SEE SHEET A1.2 & A1.3 FOR EQUIPMENT PLAN & SCHEDULE.
6. ALL DIMENSIONS ARE TO FACE OF STUD FRAMING U.N.O.
7. GC TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR COORDINATION.
8. ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST ADOPTED EDITIONS OF THE APPLICABLE CODES AS INDICATED ON SHEET G1.0 AND ALL OTHER LOCAL, STATE OR FEDERAL CODES OR REGULATION HAVING JURISDICTION.
9. ALL CONSTRUCTION SHALL BE HANDICAPPED ACCESSIBLE AND COMPLY WITH BARRIER FREE DESIGN AND OTHER APPLICABLE STANDARDS.
10. DO NOT SCALE DRAWING. IF DIMENSIONS ARE IN QUESTION THE

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
11. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWING AND THOSE OF ENGINEERS, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 12. HORIZONTALLY BRACE (STIFFEN) ALL METAL STUD SYSTEMS AS RECOMMENDED AND BRACE TOPS OF ALL PARTITIONS TO STRUCTURE ABOVE.
 13. ALL NEW ROOF WORK TO BE PERFORMED BY LANDLORDS ROOFING CONTRACTOR SO AS NOT TO VOID MANUFACTURERS WARRANTY.
 14. G.C. TO COORDINATE NEW ROOF PENETRATIONS AND STRUCTURAL BRACING FOR NEW ROOFTOP EQUIPMENT WITH A STRUCTURAL ENGINEER AND EQUIPMENT SUPPLIER.
 15. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL IN-PLACE STRUCTURAL ELEMENTS FROM DAMAGE DURING CONSTRUCTION.
 16. ALL BLOCKING TO BE FIRE RETARDANT IF REQUIRED BY CODE. ALL WOOD IN CONTACT WITH MORTAR CONCRETE, MASONRY TO BE PRESSURE TREATED.
 17. DO NOT PENETRATE OR OTHERWISE INTERRUPT THE FIRE RATING OF RATED BUILDING ELEMENTS.
 18. G.C. TO COORDINATE ALL FLOOR AND WALL FINISHES TO ALLOW FOR A SMOOTH, LEVEL TRANSITION BETWEEN MATERIALS.
 19. G.C. SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES, SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL SUSPENDED OR WALL MOUNTED MECHANICAL, ELECTRICAL, OR MISC. EQUIPMENT.

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SEAL

LARKIN'S

est. 2005

AGED STEAKS • FRESH FISH • OLD WINE

LARKIN'S

RESTAURANT UPFIT

32 EAST BROAD STREET

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REVISIONS

PROJECT DATA

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ISSUE DATE

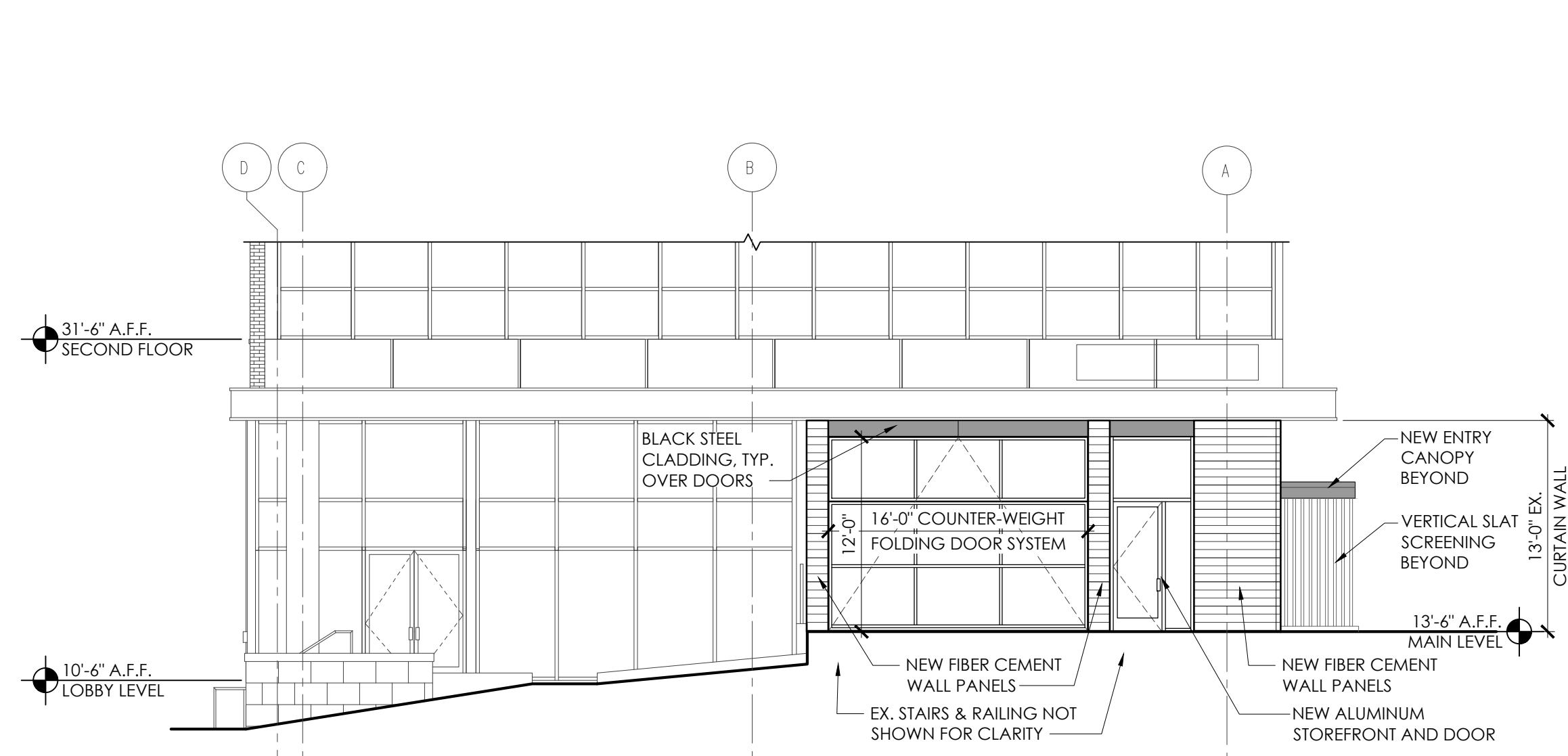
02-09-21

LARKIN'S RESTAURANT

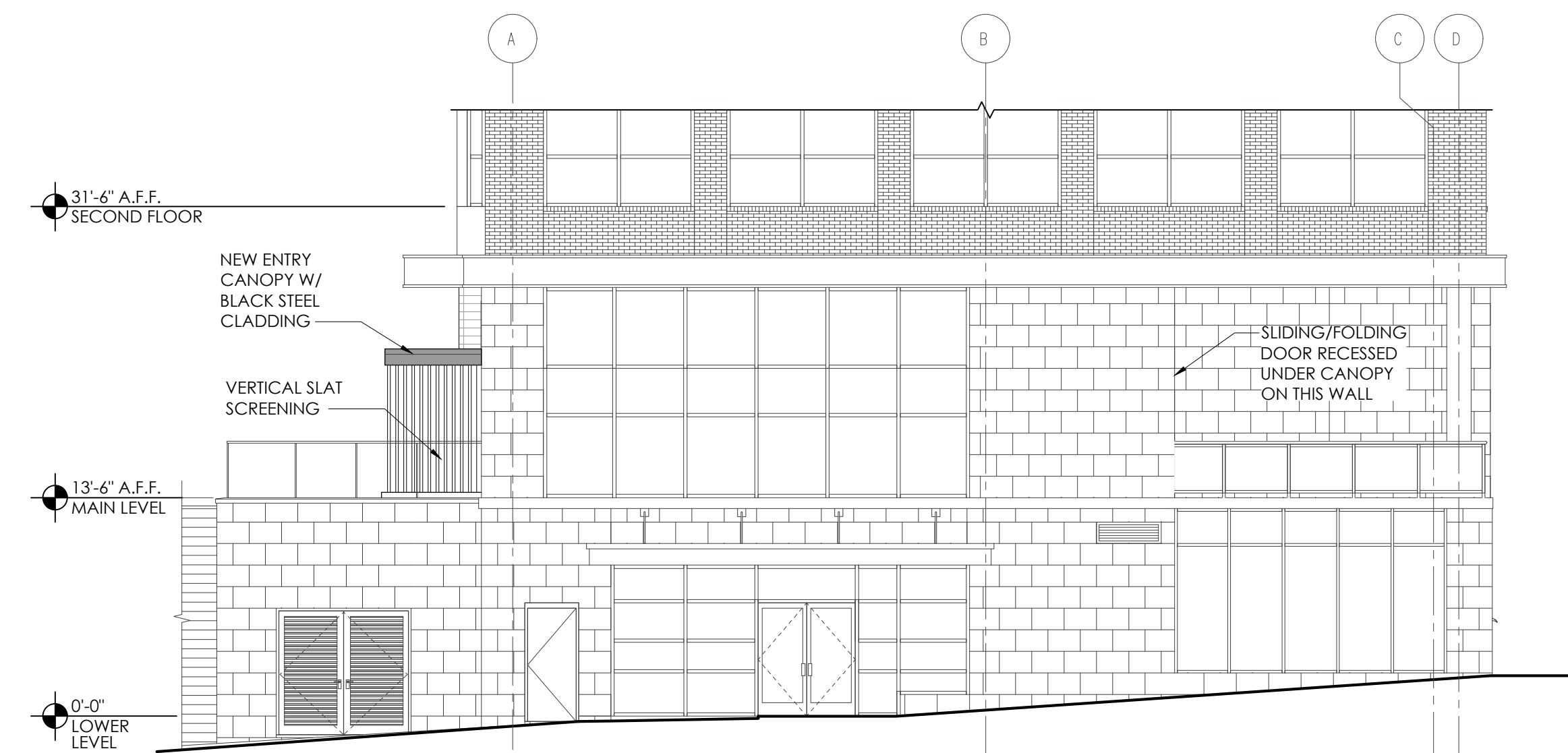
GREENVILLE, SC

A1.1

MAIN LEVEL FLOOR PLAN

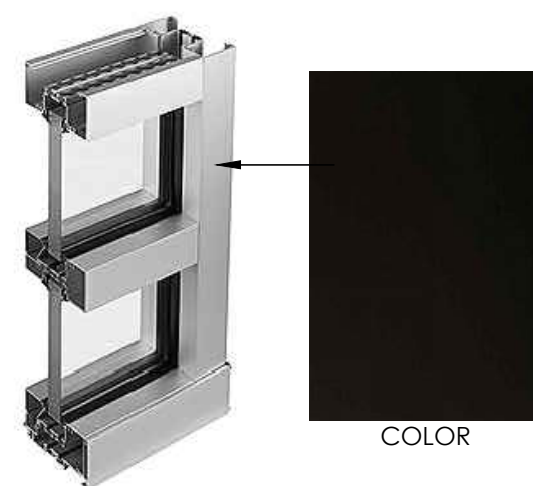


4 Side Elevation - Facing Main Street
SCALE: 1/8" = 1'-0"



3 Side Elevation - Facing Fall Street
SCALE: 1/8" = 1'-0"

Proposed Cladding Materials



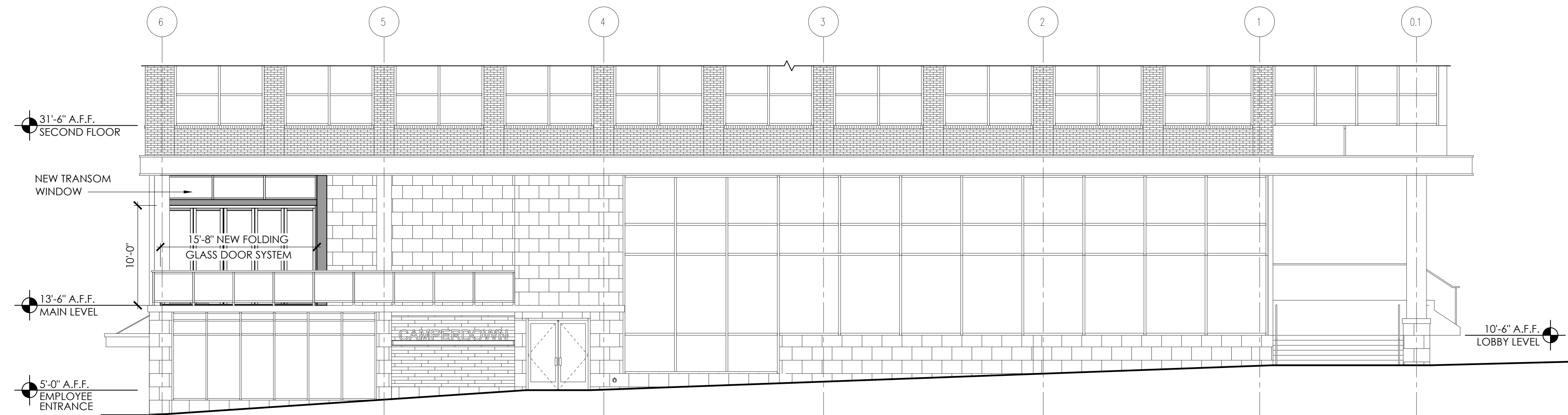
ALUMINUM STOREFRONT SYSTEM
FOLDING OVERHEAD DOOR
COLOR: BLACK



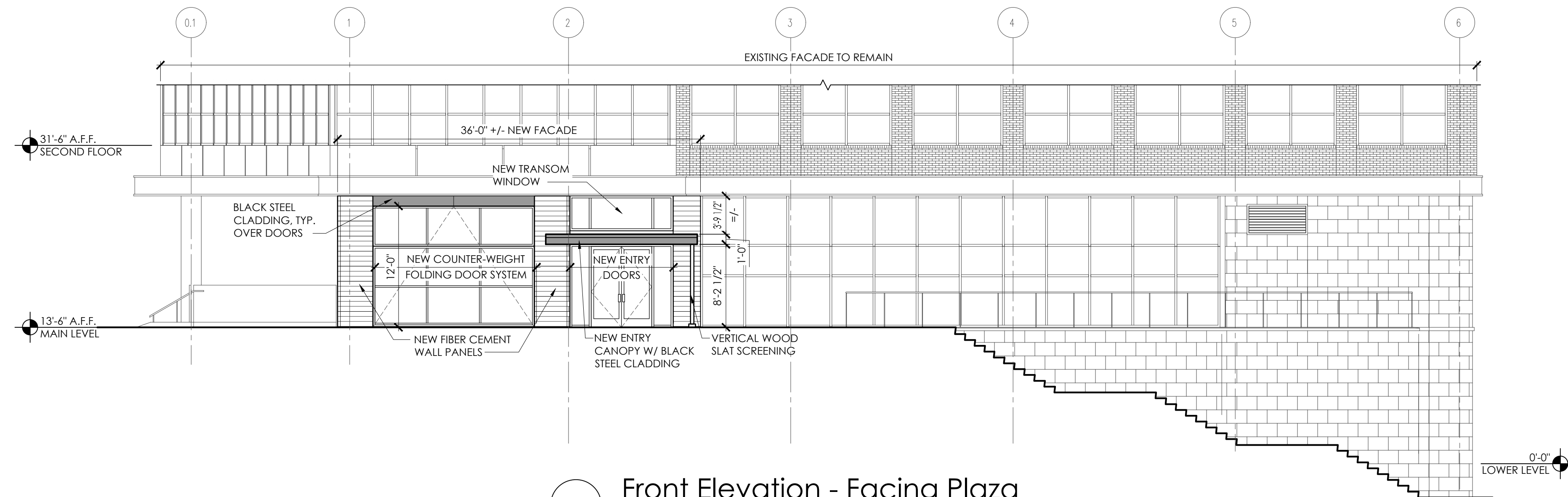
FIBER CEMENT PANELS
NICHHA VINTAGEWOOD
COLOR: CEDAR



STEEL PLATE CLADDING
1/8" THICK BLACKENED STEEL PLATE
CLEAR SEALED AND FASTENED W/ BLACK
PAN HEAD SCREW



2 Rear Elevation - Facing E. Broad Street
SCALE: 1/8" = 1'-0"



1 Front Elevation - Facing Plaza
SCALE: 1/8" = 1'-0"



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SEAL



**LARKIN'S
RESTAURANT UPFIT**
32 EAST BROAD STREET
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REVISIONS

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GREENVILLE, SC

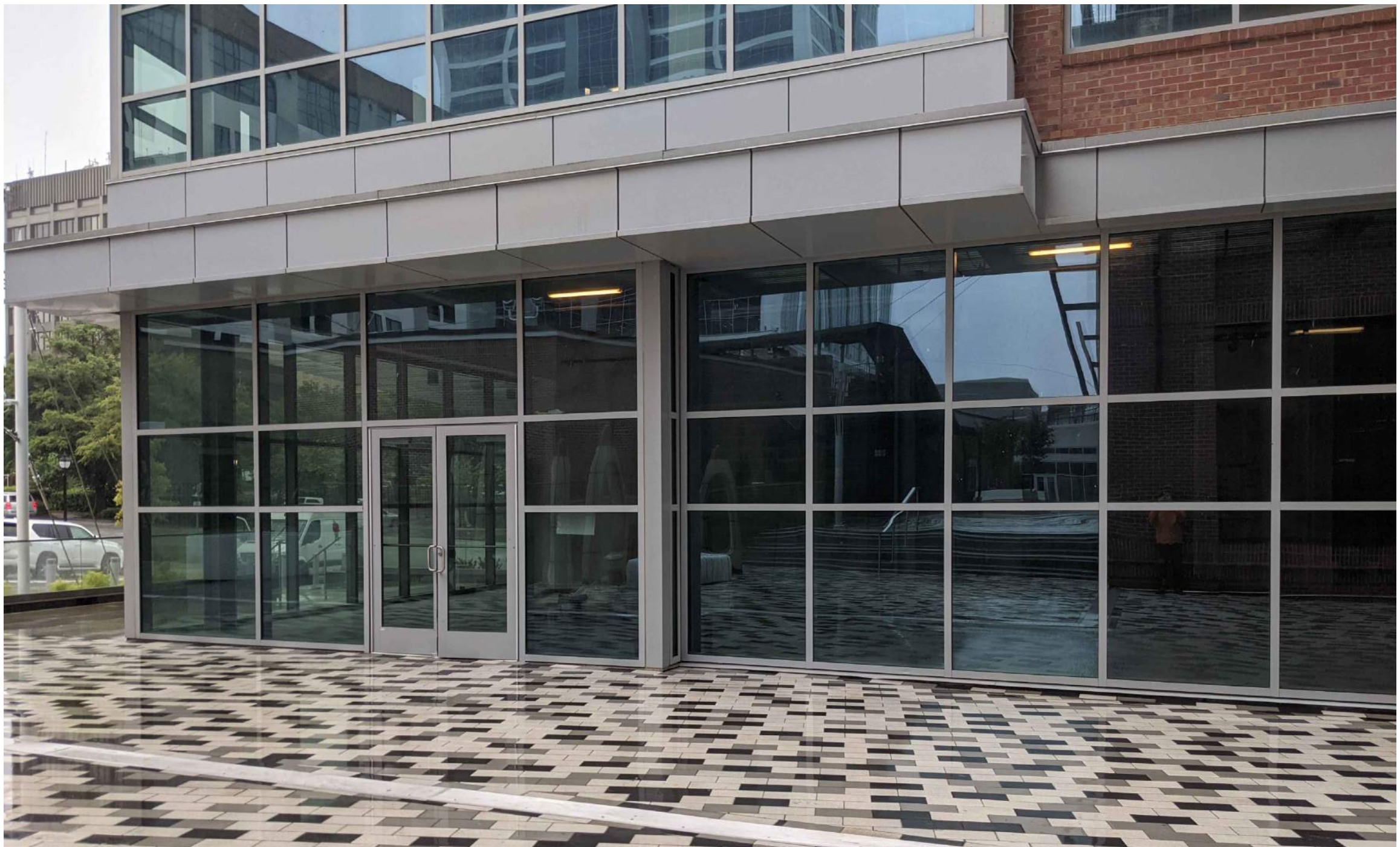
A2.0
EXTERIOR
ELEVATIONS



5 Proposed Improvements
South View from Plaza
SCALE: N.T.S.



5 Proposed Improvements
South View from Plaza
SCALE: N.T.S.



4 Existing South Elevation
Facing Plaza
SCALE: N.T.S.



3 Proposed Improvements
Southwest View from Plaza
SCALE: N.T.S.



2 Proposed Improvements
West View from Plaza
SCALE: N.T.S.



1 Existing West Elevation
Facing Valet Parking & Main St.
SCALE: N.T.S.



EURO VISTA FOLD™

THERMALLY BROKEN ALUMINUM FOLDING DOORS



Florida Building Code Approved
Product Approval FL 27023

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888.989.EURO (3876)

euro-wall®



FOLDING



SLIDING



STACKING



PIVOT

SYSTEM THRESHOLDS

Maximum / Minimum Specifications

Max Panel Weight:	350 lbs each panel
Max Panel Height:	168"
Max Panel Width:	52"
Min Panel Height:	32"
Min Panel Width:	18"
Panel Thickness:	2-1/4"
Overall Frame:	213.33 FT ²

NOTE: When using maximum panel widths & heights, panels may exceed maximum panel weight of 350 lbs. Calculated weight check should be done. For installations in Florida, please see the Florida Product Approval for usage and limitations.

SYSTEM HIGHLIGHTS

Extrusions

Extruded aluminum 6063-T5 with door panel corner keys for strength and security

Hardware

Stainless steel (316/304SS) components with aluminum hinges

Twinpoint Hardware

Stainless steel (304SS) and aluminum components

Lever Lock Sets

3 hooks + top and bottom shootbolts
5 point locking system

Multi-point Door Locks

Faceplate, latch and hooks are stainless steel 304SS

Sills

Standard, modified standard, ADA and channel options

Matching Fixed Units

Matching custom transom and sidelight units available

Thermally Broken

Prevent the conductive thermal energy loss from interior and exterior environments

Configuration

Straight, segmented, radius and split height configurations

Corner Units

90° postless corner units

Largest Panel Sizes

14' tall panel heights / 52" panel widths available - the largest in the industry

Long Lasting Finish

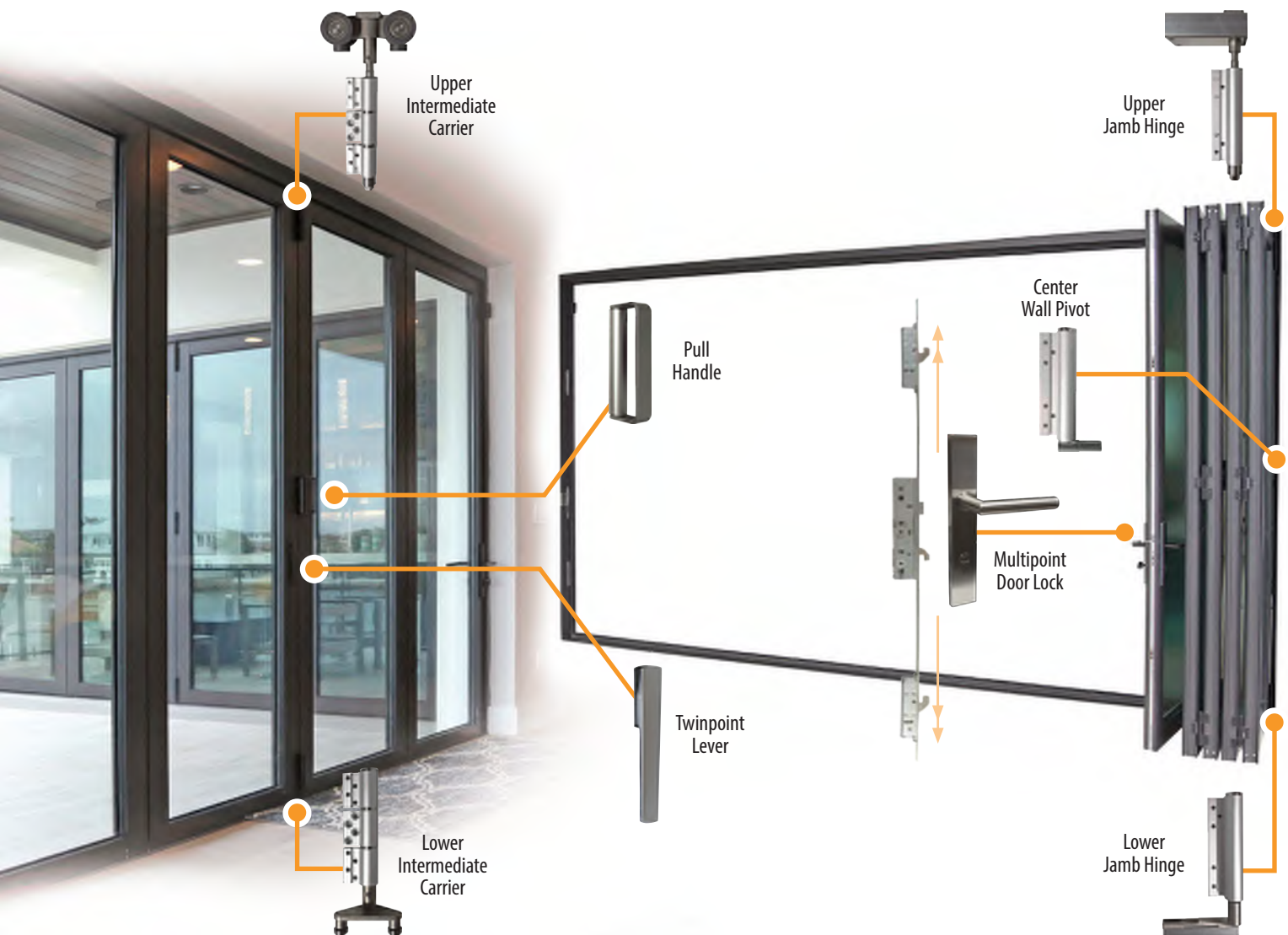
Standard finish coating is AAMA 2605, the highest quality finish available

Aesthetics

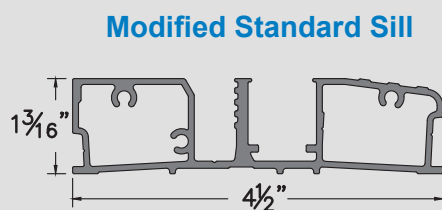
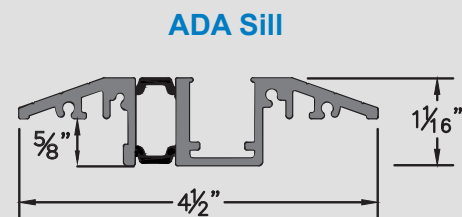
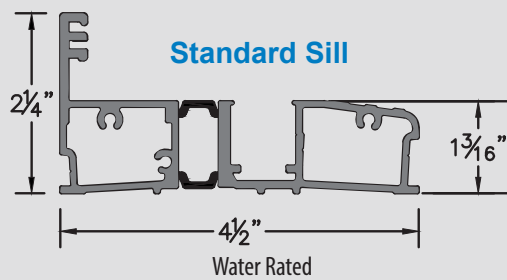
Custom muntins, simulated divided lites and mid-rails



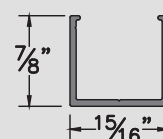
SYSTEM COMPONENTS



SILL OPTIONS

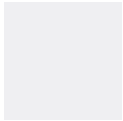


Channel Sill
Interior Application Only



PANEL FINISH OPTIONS

STANDARD FRAME & DOOR PANEL FINISHES



White
AAMA 2605



Clear Anodized
Class I



Bronze
AAMA 2605



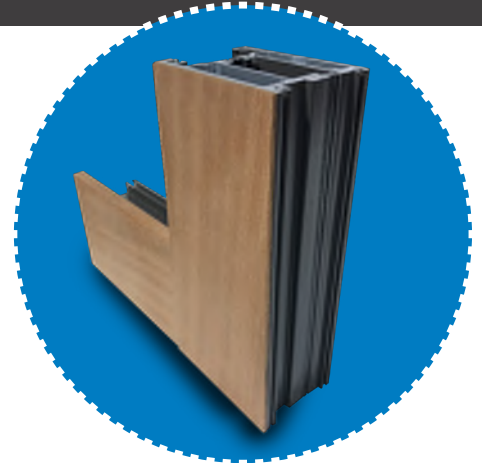
Black
AAMA 2605

STANDARD FRAME & DOOR PANEL FINISHES

- Powder coat or Kynar® finishes available
- Custom powder coat or Kynar® finishes available
- Manufacturer color match options
- Custom wood grain finishes available

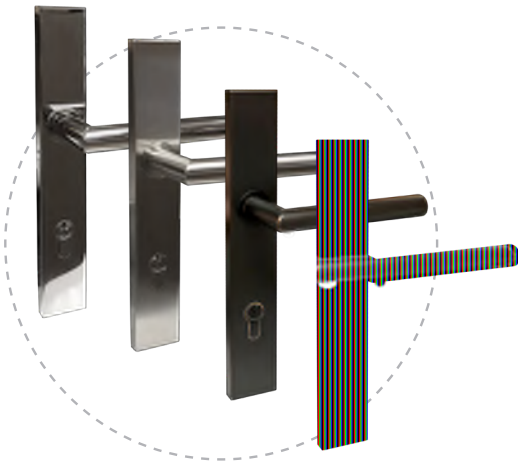
INTERIOR WOOD CLAD FINISH OPTION

- Mahogany / sapele
- White oak
- Additional wood species available



HARDWARE / HANDLE FINISH OPTIONS

MULTIPOINT LOCK HANDLE



Available Finishes

Polished Stainless Steel
Brushed Satin
Bronze
Black

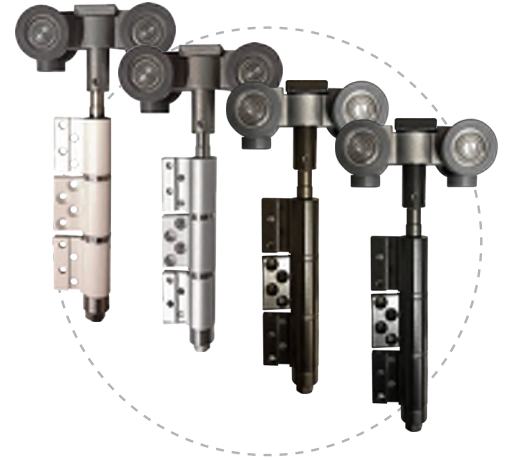
TWINPOINT LEVER



Available Finishes

White
Brushed Satin
Bronze
Black
Custom Colors Available

HINGES / HARDWARE



Available Finishes

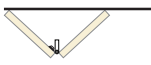
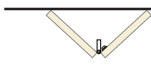
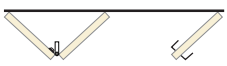
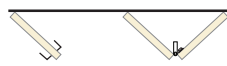
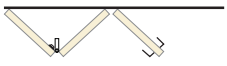
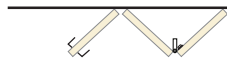
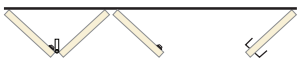
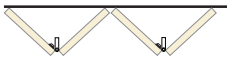
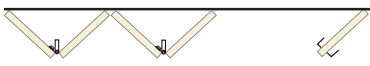
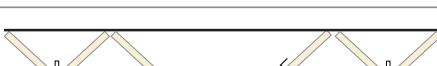
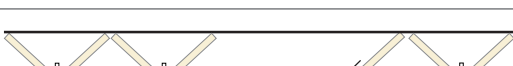
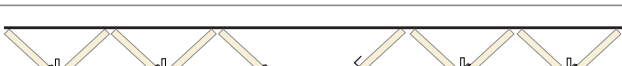
White
Brushed Satin
Bronze
Black

NOTE: The colors shown are an approximation of actual color and finish. Actual colors and finishes may vary slightly.

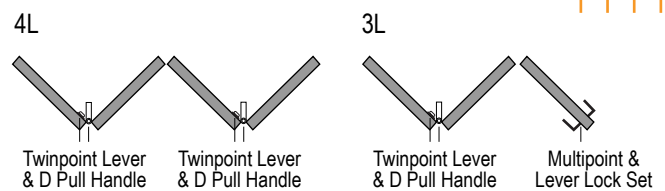
SUPERIOR BY DESIGN

FOLDING CONFIGURATIONS

CODE OPENING CONFIGURATION

2L		Accessible from interior only. Exterior available upon request.	2R	
2L1R			1L2R	
3L			3R	
3L1R			1L3R	
4L		Accessible from interior only. Exterior available upon request.	2L2R	
4L1R				
3L2R				
5L				
3L3R				
7L				
4L3R				
5L2R				
5L5R				
5L7R				
5L9R				
5L11R				

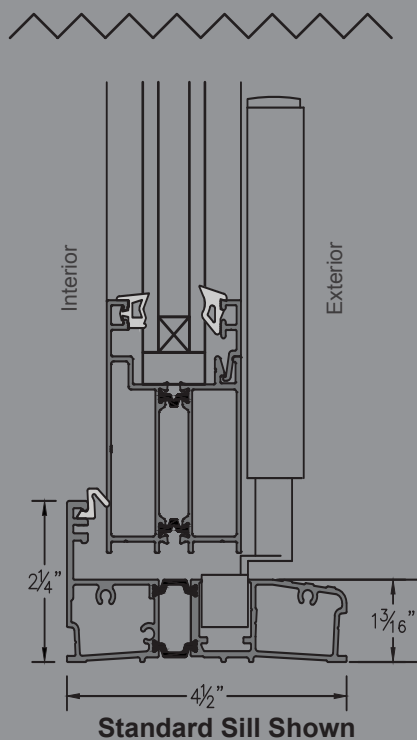
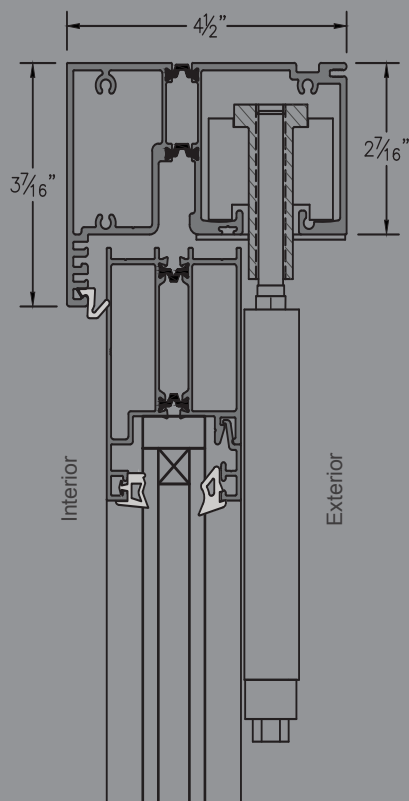
NOTE: The configurations on this page are just a few examples of the numerous possibilities for Euro Vista Fold™ Door layout options.



Twinpoint assembly is used in securing each pair of folding door panels in the closed position.

PANEL CROSS SECTION

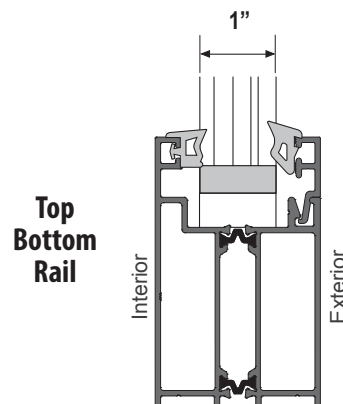
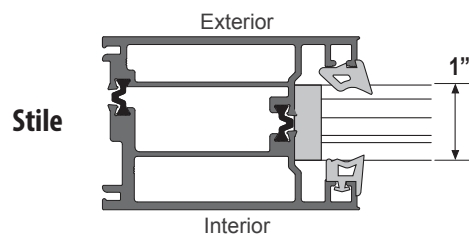
Outswing Extrusion Shown



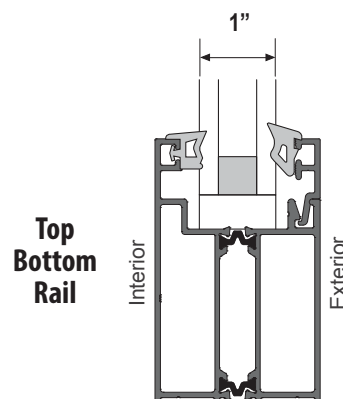
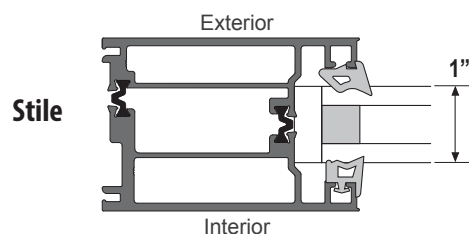
GLAZING DETAILS

Available glass options for the Euro Vista Fold™ Thermally Broken Folding Door System are detailed below.

Insulated Impact Glass



Insulated Glass



TEST PERFORMANCES

—□ California Title 24 Compliant

—□ ASTM 283-4 / ASTM 547-00 /
ASTM330-02 / AAMA 1304

—□ Air Infiltration: A2

—□ Water Leakage Resistance: DP50

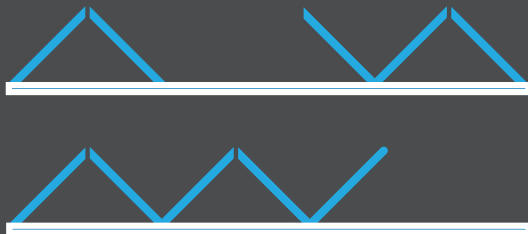
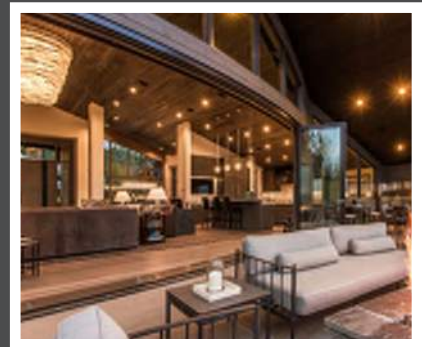
—□ Wind Load Resistance: DP50

—□ Tested for Thermal Requirements

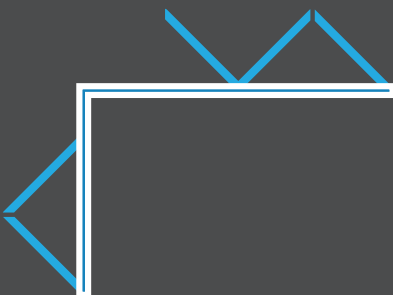
CONFIGURATION SAMPLES



RADIUS



STRAIGHT



SEGMENTED





EURO-WALL 10 YEAR WARRANTY

Euro-Wall warrants the products to be free from manufacturing defects for a period of 10 years from the date of purchase.

MANUFACTURING

2200 Murphy Court
North Port, Florida 34289
888.989.3876 • 941.979.5316

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www.euro-wall.com

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SHOWROOM

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Proud Member of the American Architectural Manufacturers Association.





THE WOOD SERIES

Get the natural look of wood with unmatched durability.

With 10 varieties of style and color, the Wood Series is our largest and most popular product line. Built to last, our VintageWood,™ RoughSawn,™ and RiftSawn™ panels offer the rich textures of wood while providing color stability and withstanding extreme weather elements.

VintageWood exudes modern refinement and works well in both modern and vintage designs. Available in five colors — Bark, Cedar, Redwood, Ash and Spruce — VintageWood continues to be a best seller in the hospitality and healthcare markets. It pairs perfectly with glass, metal and block panels, adding a touch of warmth to the coolness of these materials. And because VintageWood can be installed vertically or horizontally, it offers a wide range of design options.

VINTAGEWOOD



BARK



CEDAR



REDWOOD



ASH



SPRUCE



DESIGN TIP
Achieve the organic staggered look you love with our VintageWood 1818 panels, measuring nearly 6 feet in length.

VINTAGEWOOD SPECS

	AWP 1818	AWP 3030
DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)	17-7/8" H x 119-5/16" L (455MM H x 3030MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	34.8	57.3
WEIGHT (LBS. PER SQ. FT.)	3.9	3.8
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.	14.81 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [17.76 SQ. FT.]	2 [29.62 SQ. FT.]



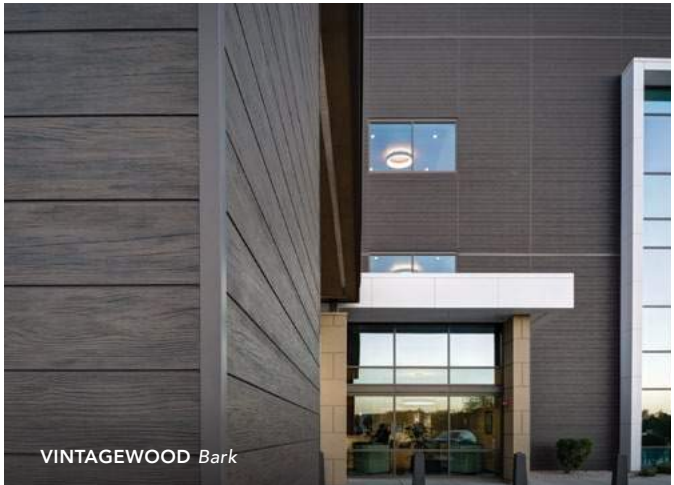
AWP 1818 CAN ONLY BE
INSTALLED HORIZONTALLY.



AWP 3030 CAN BE INSTALLED
HORIZONTALLY OR VERTICALLY.



VINTAGEWOOD Ash



VINTAGEWOOD Bark



VINTAGEWOOD Cedar | ROUGHSAWN Tobacco

Add rustic sophistication with RoughSawn and RiftSawn.

Nichiha’s Wood Series provides the look of wood without the drawbacks of natural wood cladding. With its earthy appeal and rich texture, RiftSawn and RoughSawn™ add a rustic quality to all types of projects. They showcase the ridges, grooves and textures of natural wood while maintaining a consistent length that is easy to work with. RiftSawn is unique in the Wood Series with its full panel design, which incorporates a darker edge to create the look of a reveal. This provides the appearance of an open joint system with the added performance of a closed joint system.

Like VintageWood, these products also pair well with glass, metal, and block panels. And when it comes to installation, hidden fasteners provide a clean and beautiful look that works for exterior and interior applications. Nichiha gives you the perfect match — the beauty of wood backed by the brawn of fiber cement.

ROUGHSAWN



ESPRESSO



TOBACCO



SMOKE

ROUGHSAWN SPECS	AWP 3030
DIMENSIONS (ACTUAL MM)	17-7/8" H x 119-5/16" L (455MM H x 3030MM L)
THICKNESS (ACTUAL MM)	5/8" (16MM)
WEIGHT (LBS. PER PANEL)	57.3
WEIGHT (LBS. PER SQ. FT.)	3.8
EXPOSED COVERAGE (SQ. FT. PER PANEL)	14.81 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [29.62 SQ. FT.]

 AWP 3030 CAN BE INSTALLED HORIZONTALLY OR VERTICALLY.



ROUGHSAWN Tobacco

RIFTSAWN



PECAN



CHESTNUT

RIFTSAWN SPECS	AWP 1818
DIMENSIONS (ACTUAL MM)	17-7/8" H x 71-9/16" L (455MM H x 1818MM L)
THICKNESS (ACTUAL MM)	3/4" (18MM)
WEIGHT (LBS. PER PANEL)	41.6
WEIGHT (LBS. PER SQ. FT.)	4.7
EXPOSED COVERAGE (SQ. FT. PER PANEL)	8.88 SQ. FT.
PACKAGING (PIECES PER PACK)	2 [17.76 SQ. FT.]

 AWP 1818 CAN ONLY BE INSTALLED HORIZONTALLY.



RIFTSAWN Pecan | TUFFBLOCK Steel

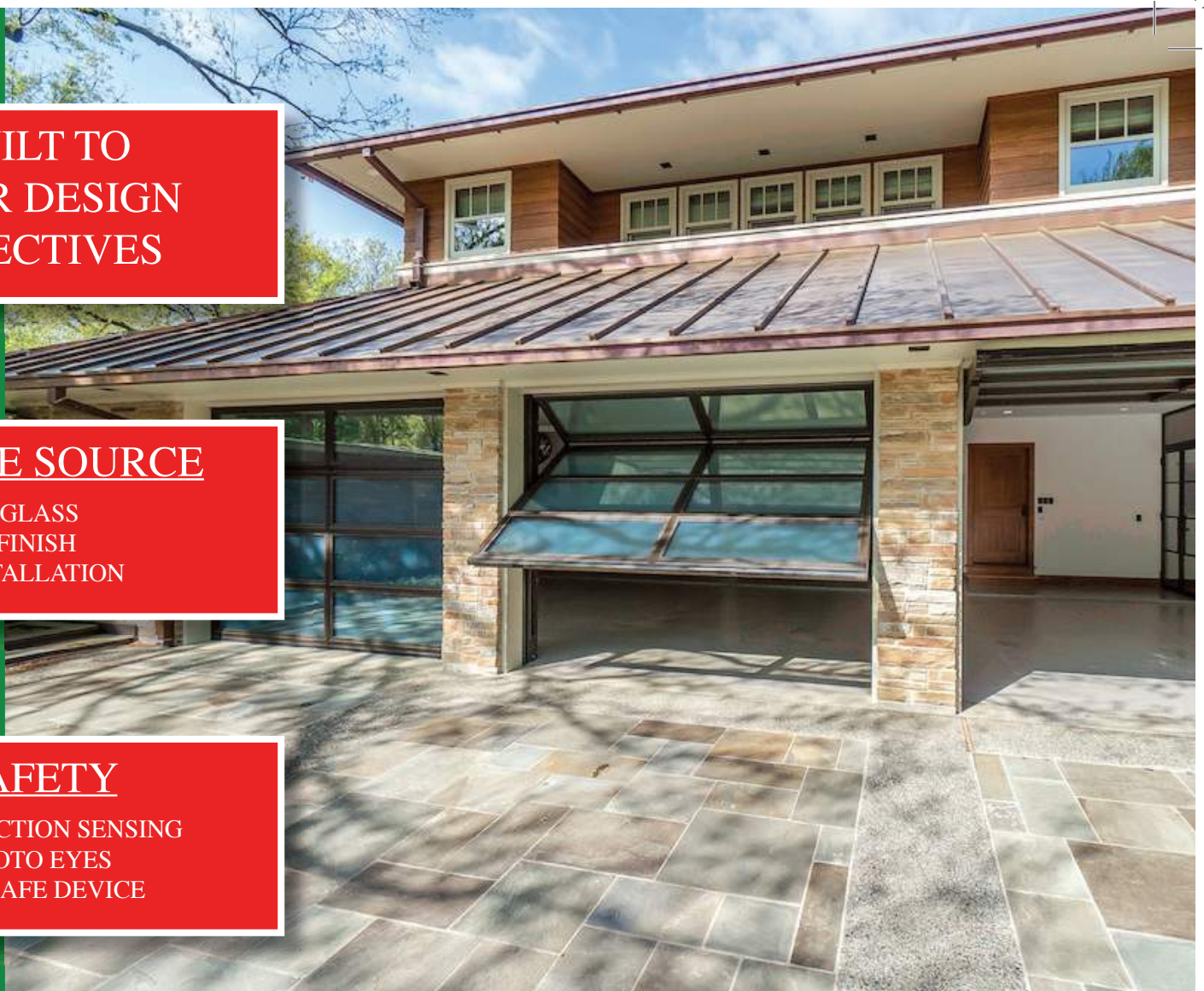
BUILT TO
YOUR DESIGN
OBJECTIVES

SINGLE SOURCE

GLASS
FINISH
INSTALLATION

SAFETY

OBSTRUCTION SENSING
PHOTO EYES
FAIL SAFE DEVICE



RENLITA
Custom Opening Solutions

Custom is the Renlita Standard

The Renlita S-2000 Hingeway utilizes counterweight balance technology to ensure smooth operation and durability. Constructed from structural steel sections and suitable for residential, industrial, and commercial applications.

When open, the S-2000 Hingeway folds along a horizontal hinge line and moves upward, while the bottom panel opens until horizontal which creates an awning effect.

The S-2000 Hingeway comes equipped with the standard safety features including Renlita's obstruction sensing REDD™ motor, safety photo eyes, and a patented failsafe device.

S-2000 HINGEWAY

MADE IN THE USA





FEATURES

S-2000 Hingeway opening solution is a counterweight balanced, vertical lift bi-folding system constructed from structural steel and is suitable for all application types. The S-2000 model can be constructed into custom doors, windows or wall systems. The steel frame is designed to withstand 30 psf high wind loads with minimal deflection. The S-2000 is designed for applications where minimal internal projection is required.

From **Concept to Completion**, Renlita provides turnkey services that includes specified finish, glass or cladding, installation and service. Our single source service provides customers with confidence that all aspects of the project are properly coordinated and designed while providing a single warranty for the entire system.

Renlita is the industry leading provider of vertical custom opening solutions utilizing patented safety devices, completed NFRC thermal certification, in-house engineering services and architectural grade finishes and components.

Contact Renlita to begin designing your next customized solution.



RenlitaUSA.com

Ph: 903-583-7500

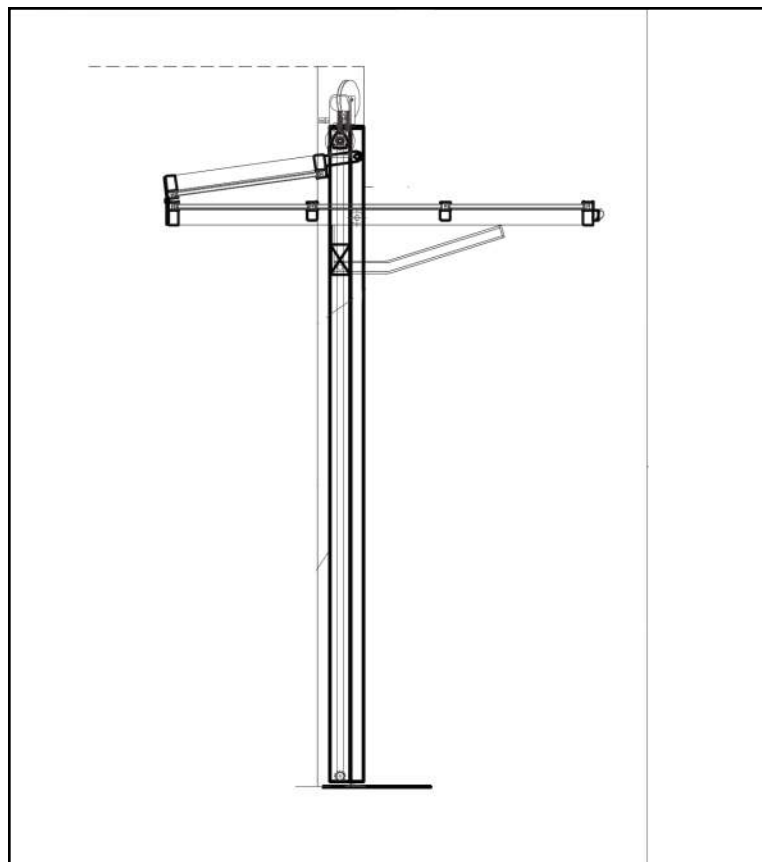
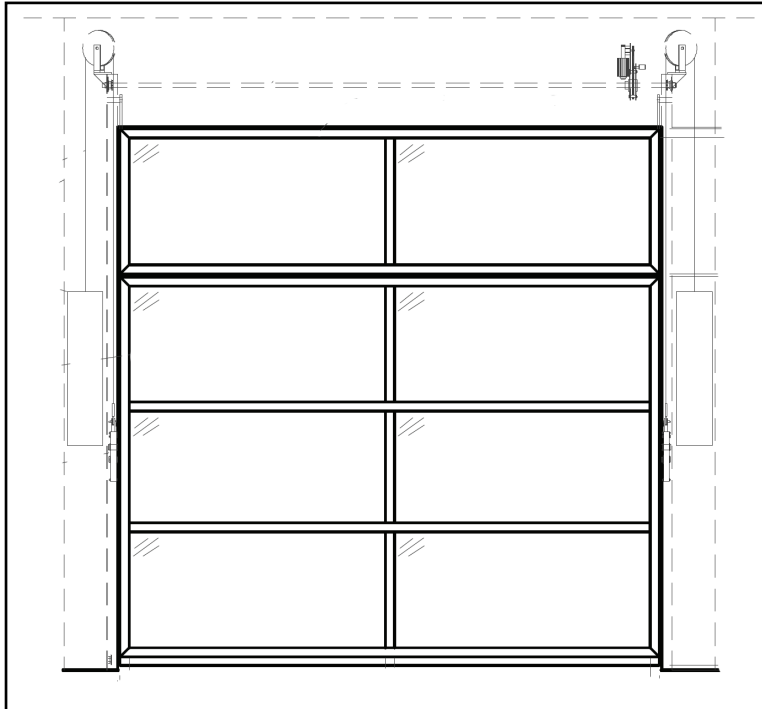
Email: Sales@renlitadoors.com





SPECIFICATIONS

S-2000 HINGEWAY



Counterweight Balanced Systems

The frame is constructed of commercial grade structural steel and designed to meet wind loads of 35psf minimum in the closed position and during operation.

Operation

Operation via motor operator or manual.

Motorized: 110 volt / 8 amps motor system.

Renlita Electric Direct Drive (REDD™) included in all models.

Obstruction sensing technology.

Key switch or touch screen control station.

Manual: Operated by hand without special cranks or tools.

Size

Maximum width: 30'

Maximum height: 20'

Cladding

Wood - Glass - Metal - Stone

Customer Request

Max thickness 2.5"

Max weight 15 psf

Finishes

Powder coated to AAMA 2604 standard color options.

RAL colors

IFS Architectural Colors

Custom color matches upon special request

Installations

Provided by Distributor with factory trained & certified technicians.

No additional structure member at the head required; Attaches to the jamb

Max Size: 30' W x 20' H

Flush Mount Available

Commercial Grade Structural Steel

Standard Photo Eye Sensor

Standard Safety Brake

No Header Structure Required

Turn-Key / Single Source

Made in the USA

Auto Reverse Sensing Motor



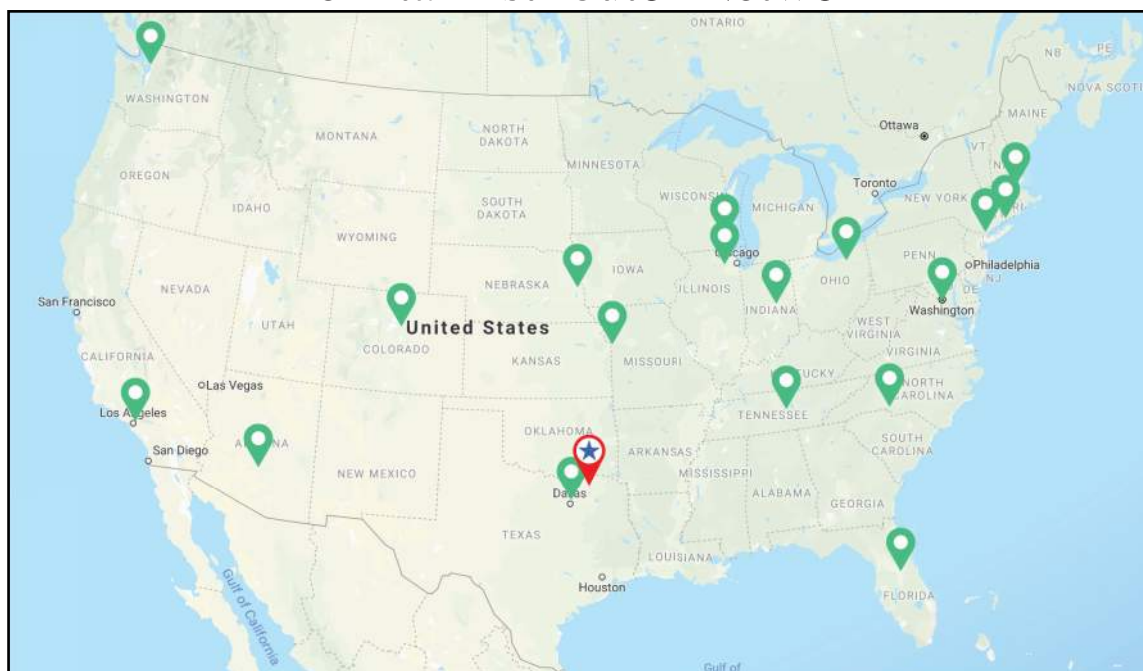
RENLITA
Custom Opening Solutions

RenlitaUSA.com

Made in the USA - Ships Worldwide

Ph: 903-583-7500 • Email: sales@renlitadoors.com

Renlita Distributor Network



BR3301120