

Board of Zoning Appeals

Official Agenda



AGENDA

BOARD OF ZONING APPEALS

A G E N D A

Regular Meeting

October 8, 2020

4:00 PM

Greenville City Hall is currently closed to the public.

Please use the following methods to participate in the meeting.

Virtual Meeting Viewing

<https://www.greenvillesc.gov/meeting>

Password: meetnow

Telephone: 1-415-655-0002

WebEx Event Number: 173 541 0942

Remote Viewing Location:

Greenville Convention Center, 1 Exposition Drive – Room 202A

The city of Greenville seeks input from citizens while adhering to public health and safety guidelines. All attendees at the remote viewing location will be subject to a temperature screening with a touch-less forehead thermometer. Anyone with a temperature reading above 100 degrees Fahrenheit will not be admitted. Attendees will be required to wear a covering over their mouth and nose, unless it violates a religious tenant or belief or causes difficulty breathing.

1. Call to Order
2. Welcome and Opening Remarks from the Chair
3. Roll Call
4. Approval of Minutes – September 10, 2020
5. Call for Public Notice Affidavit from Applicants
6. Acceptance of Agenda
7. Conflict of Interest Statement
8. Call for Public Comment
9. New Business

A. S 20-540

Application by Bianca Mims, Preschool Scholars Academy, for a SPECIAL EXCEPTION to establish a Day care center located at 2 PELHAM RD (TM# 028000-01-00100)

Documents:

[S 20-540 2 PELHAM RD.PDF](#)

. . ' B. S 20-541 Postponed to November BZA meeting (tentative)
Application by Richard McFeely, UpstateSCIce, for a SPECIAL EXCEPTION to allow a
Restaurant with drive-through located at 155 AUGUSTA ST (TM# 009000-01-00801)

. . ' C. S 20-542 Postponed to November BZA meeting
Application by Carvana, LLC for a SPECIAL EXCEPTION to allow Automobile sales
located at
2736 LAURENS RD (TM# 027200-01-00801)

. . " 10. Adjournment

. - Agenda amended 3:45pm on 10/07/2020

City of Greenville Planning and Development | 864-467-4476



**Planning Staff Report to
Board of Zoning Appeals
October 2, 2020**
for the October 8, 2020 Public Hearing

Docket Number:	S 20-540
Applicant:	Bianca Mims dba Preschool Scholars Academy
Property Owner:	McCarter Presbyterian Church
Property Location:	2 PELHAM RD
Tax Map Number:	028000-01-00100 & 028000-01-00302
Acreage:	1.898
Zoning:	RM-1, Single- & Multi-Family Residential District OD, Office & Institutional District
Proposal:	Special Exception Permit to establish a day care facility use

Applicable Sections of the City of Greenville Code of Ordinances:

Sec.19-2.1.3 (A) (1), *Board of Zoning Appeals/Powers and Duties/Special Exceptions*
Sec.19-2.3.5, *Special Exception Permit*
Sec.19-4.1, *Table of Uses*
Sec. 19-4.3.2, *Use Specific Standards, Public and institutional uses.*

Staff Recommendation:

Staff concludes that the application complies with the standards for granting a Special Exception Permit for “day care center”. If the Board decides to grant the permit, staff recommends the following conditions:

1. The use of the property shall substantially conform to the testimony of the applicant and the content of the application.

Staff Analysis:

The applicant proposes to establish a day care use at 2 Pelham Road at the McCarter Presbyterian Church about 0.2 miles east of the E. North Street and N. Pleasantburg Street intersection. The day care will operate as a half day preschool program for up to 25 children due to the size of the space. The requested space for this use is the lower level of the fellowship building, located along the property line and split between the RM-1 and OD zoning district. Outdoor space with the playground area will also be used for this day care use. The day care facility is not operated by the church and is only allowable as an additional primary permitted use on site.

A special exception permit shall be approved only upon a finding that the applicant demonstrates all of the following standards are met:

1. Consistent with the Comprehensive Plan

The Future Land Use Map of the City’s Comprehensive Plan designates this property mixed-use community which is intended to support a mixture of commercial and residential uses that are compatible with adjacent neighborhoods. Staff concludes that a day care center use is consistent

with the future land use designation, is complementary to surround commercial uses, and supports nearby neighborhoods.

2. *Complies with use specific standards*

The pertinent use specific standards for day care center uses (Sec. 19-4.3.2(C) of the City Code) are as follows:

Day care. All day care facilities are permitted subject to the following standards:

- (1) Day care facilities shall comply with all applicable state regulations.*
- (2) Day care homes (six or fewer people) are considered home occupations and shall comply with the requirements of subsection 19-4.4.3(C) and (F).*
- (3) A day care facility operated by, and located on the site of, a religious institution may be allowed as an accessory use only if found to be compatible with adjacent areas in terms of hours of operation, noise, lighting, parking, and similar considerations, and if it does not cause significant traffic impacts.*
- (4) In the C-1 district, day care facilities shall not exceed a gross floor area of 1,000 square feet.*

The day care facility is not operated by the church and is only allowable as an additional primary permitted use on site as it pertains to Item (3). The requested use will also have to comply with all applicable State regulations. Otherwise, none of the other use specific requirements are applicable. Staff concludes the proposed use as supported by the application complies with the use specific standards.

3. *Compatibility with the surrounding lands*

The surrounding area consists of restaurants, shopping centers, offices and church uses. Staff believes the proposed use is consistent with those use types and concludes the use is compatible with the surrounding lands.

4. *Design does not have substantial adverse impacts*

Activity associated with the proposed use will occur primarily indoors. Outdoor activities and noise impacts would be managed through the applicant's limitations to daytime operating hours and the minimal adjacency to residential uses. Therefore, staff concludes the design does not have substantial adverse impacts.



Date Received _____ Accepted By _____

APPLICATION FOR SPECIAL EXCEPTION CITY OF GREENVILLE, SOUTH CAROLINA

APPLICANT / PERMITTEE*: Bianca Mims Owner/Preschool Scholars Academy
* Name Title / Organization
permit may be limited to this entity. _____

APPLICANT'S REPRESENTATIVE: _____
(Optional) Name Title / Organization

MAILING ADDRESS: 311 Spartanburg St, Greenville Sc 29607

PHONE: 864-525-1216 **EMAIL:** preschoolscholarsacademy@outlook.com

PROPERTY OWNER: McCarter Presbyterian Church

MAILING ADDRESS: 2 Pelham Road, Greenville Sc 29615

PHONE: 864-419-0257 **EMAIL:** _____

PROPERTY INFORMATION

STREET ADDRESS: 2 Pelham Road , Greenville Sc 29615

TAX PARCEL #: 0280000100100 **ACREAGE:** 1.898 **ZONING DESIGNATION:** RM-1 / OD

REQUEST

Refer to Article 19-4, Use Regulations, of the Land Management Ordinance (www.municode.com/library/)

DESCRIPTION OF PROPOSED LAND USE:

Day care. (1) Characteristics. Day care uses provide care, protection, and supervision for more than six children or adults on a regular basis away from their primary residence for less than 24 hours per day. Examples include day care centers (13+ pe

INSTRUCTIONS

1. The application and fee, **made payable to the City of Greenville**, must be received by the planning and development office no later than 5:00 pm of the date reflected on the attached schedule.

2. The applicant/owner must respond to the "standards" questions on page 2 of this application (you must answer "why" you believe the application meets the tests for the granting of a special exception). See also **Section 19-2.3.5, Special Exception Permit**, for additional information. You may attach a separate sheet addressing these questions.

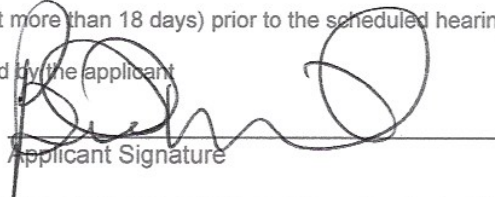
3. You must attach a scaled drawing of the property that reflects, at a minimum, the following: (a) property lines, existing buildings, and other relevant site improvements; (b) the nature (and dimensions) of the proposed development (activity); (c) existing buildings and other relevant site improvements on adjacent properties; and, (d) topographic, natural features, etc. relevant to the requested special exception.

4. You must attach the required application fee: \$250.00

5. The administrator will review the application for "sufficiency" pursuant to **Section 19-2.2.6, Determination of Sufficiency**, prior to placing the application on the BZA agenda. If the application is determined to be "insufficient", the administrator will contact the applicant to request that the applicant resolve the deficiencies. **You are encouraged to schedule an application conference with a planner, who will review your application for "sufficiency" at the time it is submitted. Call (864) 467-4476 to schedule an appointment.**

6. You must post the subject property at least 15 days (but not more than 18 days) prior to the scheduled hearing date.

② 'Public Hearing' signs are acknowledged as received by the applicant

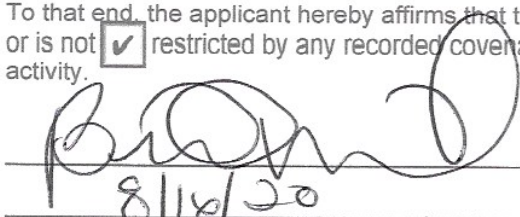

Applicant Signature

7. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the Board of Zoning Appeals that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is ☐ or is not ☒ restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity. ☐


8/16/20
Amanda B. Turner
8/16/20

APPLICANT / REPRESENTATIVE SIGNATURE

DATE

PROPERTY OWNER SIGNATURE

DATE

**APPLICANT RESPONSE TO
SECTION 19-2.3.5(D)(1), STANDARDS – SPECIAL EXCEPTION**

(YOU MAY ATTACH A SEPARATE SHEET)

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED SPECIAL EXCEPTION IS CONSISTENT WITH THE COMPREHENSIVE PLAN.

The preschool is consistent because in section 19-3.2.2-D it states that schools may permitted.

2. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL COMPLY WITH THE STANDARDS IN **SECTION 19-4.3, USE SPECIFIC STANDARDS.**

see attached paper

3. DESCRIBE THE WAYS IN WHICH THE REQUEST IS APPROPRIATE FOR ITS LOCATION AND IS COMPATIBLE WITH THE CHARACTER OF EXISTING AND PERMITTED USES OF SURROUNDING LANDS AND WILL NOT REDUCE THE PROPERTY VALUES THEREOF.

The request is compatible with the request because it has the space in the building for the amount of children (25) and time I plan to use the church location. The church also has an enclosed fenced playground area for the children to play on.

4. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL MINIMIZE ADVERSE EFFECTS ON ADJACENT LANDS INCLUDING: VISUAL IMPACTS; SERVICE DELIVERY; PARKING AND LOADING; ODORS; NOISE; GLARE; AND, VIBRATION. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL NOT CREATE A NUISANCE.

see attached paper

APPLICANT RESPONSE TO
SECTION 19-2.3.5(D)(2), STANDARDS – CHANGE IN NONCONFORMING USE

(YOU MAY ATTACH A SEPARATE SHEET)

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED NONCONFORMING USE IS MORE IN CHARACTER WITH, OR EQUAL TO, THE USES OTHERWISE PERMITTED IN THE ZONING DISTRICT THAN THE EXISTING OR PRIOR NONCONFORMING USES.

The preschool is in character of the church usage because it teaches children just like the church teaches adults. The preschool will adapt to "church standards" by not causing a defaming shame to the church nor the surrounding properties.

2. DESCRIBE THE WAYS IN WHICH THE PROPOSED NONCONFORMING USE WILL NOT SUBSTANTIALLY AND PERMANENTLY INJURE THE USE OF NEIGHBORING PROPERTY FOR THOSE USES PERMITTED WITHIN THE RELEVANT ZONING DISTRICT(S).

The preschool will not cause injury to the neighboring property because the church is fenced in amongst their property lines. The children will not be allowed to go out of the fenced area.

3. IS ADEQUATE INFRASTRUCTURE CAPACITY AVAILABLE TO SERVE THE PROPOSED NONCONFORMING USE?

Yes

4. IS THE PROPOSED USE ONE THAT IS OTHERWISE PERMISSIBLE IN ANOTHER ZONING DISTRICT WITHIN THE CITY?

yes

2. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL COMPLY WITH THE STANDARDS IN SECTION 19-4.3, USE SPECIFIC STANDARDS.

Preschool Scholars Academy will adhere to all state regulations as stated in section 19-4.3 . Since Preschool Scholars Academy will operate as half day preschool program (4 hours of operation) the school does not have to go through SC Childcare Licensing process as stated on the childcare licensing website.

<https://scchildcare.org/providers/become-licensed/licensing-exemptions.aspx>

-Who is Exempt From Licensing?

Child care providers who do not meet the legal requirement for licensing are exempt from being licensed. According to state law, these provider types include:

- Anyone who cares for children from only 1 unrelated family.
- Anyone who cares for children for less than 2 days a week or less than 4 hours per day.
- An educational program which operates solely for educational purposes in grade one or above.
- Five-year-old kindergarten programs.
- Kindergartens, nursery schools or other daytime programs, with or without stated educational purposes, operating no more than four hours a day and receiving children younger than lawful school age.

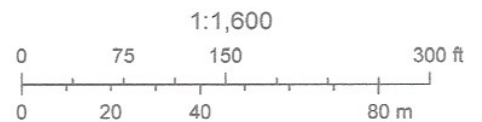
4. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL MINIMIZE ADVERSE EFFECTS ON ADJACENT LANDS INCLUDING: VISUAL IMPACTS; SERVICE DELIVERY; PARKING AND LOADING; ODORS; NOISE; GLARE; AND, VIBRATION. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL NOT CREATE A NUISANCE.

The preschool will not cause a nuisance because of the operational hours. The church has a huge parking lot that will provide ample parking for the parents and staff members without using neighboring properties. Along with being surrounded by shopping centers, restaurants, fire department the preschool can't add any more noise to the area that is already surrounded by a busy intersection.

Greenville County, SC



August 2, 2020



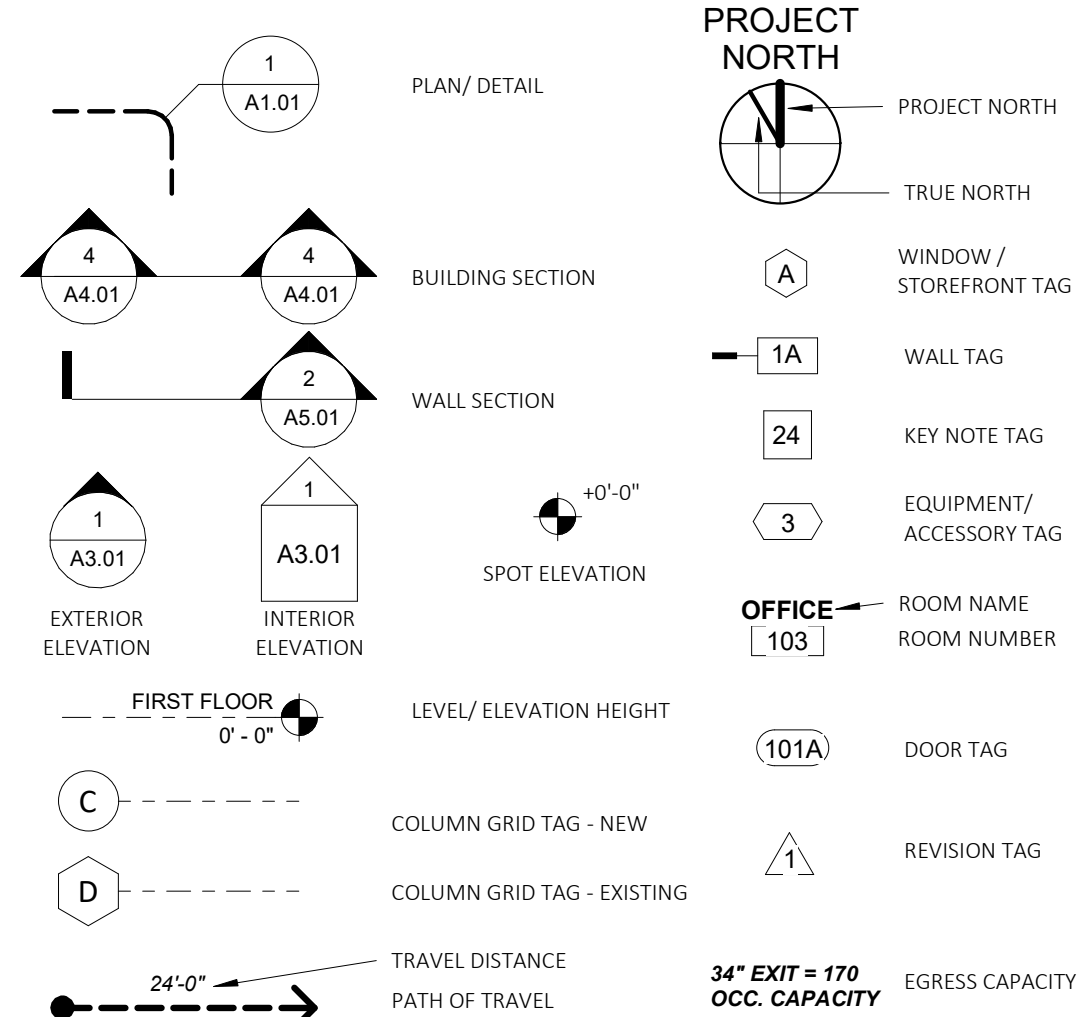
Greenville County GIS Division, Greenville, South Carolina., Greenville County GIS Division, Greenville, South Carolina, Greenville County, South Carolina GIS Division

ALL DRAWINGS, SPECIFICATIONS AND/OR ANY OTHER REPRODUCTIONS THEREOF FURNISHED BY LMG ARCHITECTS, LLC ARE THE PROPERTY OF LMG ARCHITECTS, LLC. THESE MATERIALS ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT EXPRESS WRITTEN CONSENT OF LMG ARCHITECTS, LLC. COPYRIGHT 2017 LMG ARCHITECTS, LLC. - ALL RIGHTS RESERVED

GENERAL NOTES

- ALL WORK SHALL MEET THE MINIMUM REQUIREMENTS OF THE LATEST ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE, THE INTERNATIONAL PLUMBING CODE, THE NATIONAL ELECTRICAL CODE AND ALL OTHER LOCAL STATE OF FEDERAL CODES OR REGULATIONS HAVING JURISDICTION.
- IN THE EVENT OF ANY CONFLICTS OR DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL BE REQUIRED TO REQUEST FROM AND RECEIVE CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND NOTIFY ARCHITECT OF ANY POSSIBLE CONFLICTS PRIOR TO INITIATING ANY WORK.
- GENERAL CONTRACTOR SHALL VERIFY EXISTENCE OF ALL UNDERGROUND UTILITIES AND PIPING AND PROTECT THEM BEFORE BEGINNING WORK. GENERAL CONTRACTOR SHALL EMPLOY A LOCATION SERVICE AT HIS EXPENSE AND WILL BE RESPONSIBLE FOR ANY REPAIRS NECESSARY AS A RESULT OF DAMAGES CAUSED BY CONSTRUCTION OPERATIONS.
- FILL ALL PENETRATIONS (I.E. PLUMBING, MECHANICAL, ELECTRICAL) IN RATED WALLS WITH UL RATED COMPACTED MINERAL WOOL AND COAT WITH UL RATED FIRE STOP COATING.
- ALL CONTRACTORS AND SUB-CONTRACTORS ARE TO REVIEW ARCHITECT'S AND ENGINEER'S DRAWINGS AND COORDINATE EACH WITH THEIR SPECIFIC DISCIPLINE. REFER ANY QUESTIONS OR CONFLICTS TO ARCHITECT BEFORE BEGINNING CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE HANDICAPPED ACCESSIBLE AND COMPLY WITH BARRIER FREE DESIGN AND OTHER APPLICABLE STANDARDS.
- DIMENSIONS SHOWN FOR EXTERIOR DOORS AND WINDOWS ARE TO MASONRY OPENINGS UNLESS OTHERWISE NOTED. ALL OTHER DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH THE WORK.
- ALL WOOD FRAMING, SHEATHING, AND/OR BLOCKING TO BE FIRE RETARDANT TREATED AS REQUIRED BY CODE. ALL WOOD IN CONTACT WITH MORTAR, CONCRETE, OR MASONRY TO BE PRESSURE TREATED.
- ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS, VENDORS OR THE OWNER TO ASSURE THAT ALL SCHEDULES ARE MET.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING THE REQUIREMENTS OF CHAPTER 17 OF THE INTERNATIONAL BUILDING CODE AND ALL INSPECTION REQUIREMENTS STATED THEREIN. THE CONTRACTOR WILL WORK WITH ANY INSPECTORS, TESTING AGENCIES AND / OR OTHER CONSULTANTS HIRED BY THE OWNER OR THE ARCHITECT TO HELP MEET THESE REQUIREMENTS.
- PROVIDE FIRE EXTINGUISHERS IN ACCORDANCE W/ NPFA 10. INSTALL WALL MOUNTED FIRE EXTINGUISHERS (FE) @ 4'-6" A.F.F. TO TOP OF CABINET. GENERAL CONTRACTOR TO COORDINATE LOCATIONS WITH LOCAL FIRE MARSHALL.

SYMBOL LEGEND



ABBREVIATIONS

NO. OR #	NUMBER	FTG.	FOOTING
&	AND	GA.	GAUGE
@	AT	GALV.	GALVANIZED
A.F.F.	ABOVE FINISH FLOOR	GW.B	GYP.SUM WALL BOARD
ADJ.	ADJUSTABLE	H.M.	HOLLOW METAL
ALUM.	ALUMINUM	HORIZ.	HORIZONTAL
APPROX.	APPROXIMATE	INSUL	INSULATION
BLDG.	BUILDING	INT.	INTERIOR
B.O.S.	BOTTOM OF STEEL	MECH.	MECHANICAL
C.J.	CONTROLJOINT	M.O.	MASONRY OPENING
CLG.	CEILING	M.R.	MOISTURE RESISTANT
CMU	CONCRETE MASONRY UNIT	MAX.	MAXIMUM
COL.	COLUMN	MIN.	MINIMUM
CONC.	CONCRETE	MTL.	METAL
CONST.	CONSTRUCTION	N.I.C.	NOT IN CONTRACT
CONT.	CONTINUOUS	NOM.	NOMINAL
D.F.	DRINKING FOUNTAIN	O.C.	ON CENTER
D.S.	DOWN SPOUT	P.T.	PRESSURE TREATED
DIA.	DIAMETER	PLYWD.	PLYWOOD
DIM.	DIMENSION	R.D.	ROUGH OPENING
DN	DOWN	REINF.	REINFORCEMENT
DWG	DRAWING	REQD.	REQUIRED
EJ	EXPANSION JOINT	SIM.	SIMILAR
ELEC.	ELECTRICAL	SPEC.	SPECIFICATIONS
ELEV.	ELEVATION	SQ.	SQUARE
EQUIP.	EQUIPMENT	THK.	THICKNESS
EQ.	EQUAL SPACE	T.O.J.	TOP OF JOIST
EXIST.	EXISTING	T.O.S.	TOP OF STEEL
EXP.	EXPANSION	T.O.W.	TOP OF WALL
EXT.	EXTERIOR	TYP.	TYPICAL
F.D.	FLOOR DRAIN	U.N.O.	UNLESS NOTED OTHERWISE
F.E.C.	FIRE EXTINGUISHER CABINET	VERT.	VERTICAL
FE	FIRE EXTINGUISHER	V.I.F.	VERIFY IN FIELD
FF	FINISH FLOOR	W.H.	WATER HEATER
F.O.M.	FACE OF MASONRY	W/	WITH
F.O.S.	FACE OF STUD	WD.	WOOD

BUILDING CODE SUMMARY

JOB LOCATION:	GREENVILLE, SOUTH CAROLINA
TAX MAP / PARCEL ID:	0280000100300 + 0280000100302
JURISDICTION:	CITY OF GREENVILLE, SOUTH CAROLINA
SCOPE NARRATIVE:	LOWER LEVEL OF EXISTING CHURCH BUILDING TO BE USED FOR DAY CARE / PRESCHOOL
APPLICABLE CODES:	2018 INTERNATIONAL BUILDING CODE (IBC) 2017 NATIONAL ELECTRIC CODE (NEC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2018 INTERNATIONAL PLUMBING CODE (IPC) 2018 INTERNATIONAL FIRE CODE (IFC) 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) ACCESSIBILITY GUIDELINES; ANSI 117.1 - 2017
OCCUPANCY GROUP: (IBC 302)	☐ ASSEMBLY (A-2) ☒ ASSEMBLY (A-3) ☐ BUSINESS (B) ☒ EDUCATIONAL (E) ☐ FACTORY (F-1) ☐ FACTORY (F-2) ☐ MERCANTILE (M) ☐ RESIDENTIAL (R-1) ☐ RESIDENTIAL (R-2) ☐ RESIDENTIAL (R-3) ☐ STORAGE (S-1) ☐ STORAGE (S-2) ☐ UTILITY (U) ☐ OTHER (A-1, A-4, A-5, H, I, R-4)
CONSTRUCTION TYPE: (IBC 601)	☐ I-A ☐ I-B ☒ II-A ☒ II-B ☐ III-A ☐ III-B ☐ IV ☐ V-A ☐ V-B
SPRINKLER REQUIRED?: (IBC 903)	☐ YES ☒ NO MEETS CRITERIA OF IBC 903.2.3
FIRE ALARM REQUIRED?: (IBC 907)	☒ YES ☐ NO FIRE ALARM DRAWINGS UNDER SEPARATE SUBMITTAL
ALLOWABLE AREA:	14,500 SF FOR (E) PER IBC TABLE 506.2
FLOOR AREA (GROSS):	1,840 SF
OCCUPANT LOAD CALCULATIONS: (PER TABLE 1004.1.2)	33 OCCUPANTS ** SEE LIFE SAFETY / OCCUPANCY PLAN FOR DETAILED OCCUPANCY INFO
MIN. NUMBER OF EXITS REQUIRED:	ONE(1) PER IBC TABLE 1006.3.2(2) (O.L. < 49) ONE (1) EXIT PROVIDED
MAX TRAVEL DISTANCE:	75'-0" WITH ONE EXIT PER IBC TABLE 1006.3.2(2)
EXIT WIDTH CALCULATIONS: (IBC TABLE 1005.1)	DOORS 0.20" PER PERSON 33 OCCUPANTS X 0.20" = 6.6 INCHES PROVIDED = 32 INCHES (1 EXIT) STAIRS 0.30" PER PERSON 33 OCC. X 0.30" = 9.9 INCHES (MIN 36" FOR O.L. < 50) PROVIDED = 42 INCHES

PLUMBING FIXTURE CALCULATIONS (PER IBC TABLE 2902.1):				
USE	OCCUPANCY			
E (EDUCATIONAL)	33 OCCUPANTS (17 MEN / 16 WOMEN)			
	WATER CLOSETS	LAVATORIES	DRINK. FOUNTAINS	SVC SINK
	1 PER 50 M / F	1 PER 50 M / F	1 PER 100	1
TOTAL REQUIRED:	1 M / 1 F	1 M / 1 F	1	1
TOTAL PROVIDED:	1 M / 1 F	1 M / 1 F	0*	0**

***NOTE:** EXISTING BUILDING; DRINKING FOUNTAINS NOT REQUIRED EXCLUSIVE TO THIS AREA; WATER WILL BE PROVIDED FOR CHILDREN AS NEEDED

****NOTE:** EXISTING BUILDING; SERVICE SINK NOT REQUIRED EXCLUSIVE TO THIS AREA

GENERAL DEMOLITION NOTES

- THESE PLANS ARE BASED ON FIELD MEASUREMENTS AND OBSERVATIONS OF THE EXISTING BUILDING AND/OR EXISTING BUILDING PLANS AND SHOULD BE USED FOR REFERENCE ONLY IN REPRESENTING THE AS-BUILT CONDITIONS.
- THE G.C. SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO THE DEMOLITION OF ANY EXISTING MATERIALS OR THE PLACEMENT OF ANY NEW WORK.
- G.C. SHALL FIELD VERIFY EXISTING BUILDING AND BECOME FAMILIAR WITH EXISTING STRUCTURAL SYSTEM PRIOR TO ANY DEMOLITION. G.C. SHALL ENSURE ADEQUATE BRACING AND/OR SHORING OF EXISTING SYSTEMS PRIOR TO AND DURING ANY DEMOLITION.
- G.C. SHALL REMOVE INDICATED ITEMS IN SUCH A WAY SO AS NOT TO DAMAGE ADJACENT MATERIALS NOR COMPROMISE THE STRUCTURAL INTEGRITY OF THE BUILDING. G.C. SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING STRUCTURE AS WELL AS WALLS, WINDOWS OR DOORS THAT ARE TO REMAIN.
- IT IS ANTICIPATED THAT ALL CURRENT HVAC SYSTEMS BE MAINTAINED. G.C. TO VERIFY OPERATION OF ALL EQUIPMENT. SYSTEM SHALL BE TESTED AND BALANCED TO ENSURE PROPER OPERATION PRIOR TO OCCUPANCY.
- G.C. SHALL REPAIR OR REPLACE MATERIALS SCHEDULED TO REMAIN WHICH ARE DAMAGED AS A RESULT OF DEMOLITION WORK.
- ALL AREAS WITH DEMOLITION SHOULD BE CLEARED OF DEMOLISHED MATERIALS AND CLEANED TO ALLOW FOR INSTALLATION OF NEW WORK PER THE DRAWINGS.
- ALL AREAS OF EGRESS SHALL REMAIN OPEN AND FREE OF DEBRIS FOR THE DURATION OF CONSTRUCTION OPERATIONS.
- PROVIDE TEMPORARY DOORS AND/OR HARDWARE IF NECESSARY FOR SECURITY REASONS DURING CONSTRUCTION OPERATIONS.
- DURING CONSTRUCTION, IF ANY HAZARDOUS MATERIALS ARE SUSPECTED, INCLUDING BUT NOT LIMITED TO ASBESTOS, LEAD OR MERCURY, THE CONTRACTOR SHOULD STOP WORK AND NOTIFY THE OWNER IMMEDIATELY SO THE APPROPRIATE ACTION CAN BE TAKEN.
- ALL DEMOLITION ACTIVITIES SHOULD BE COORDINATED WITH OWNER AND/OR LANDLORD.

PROJECT TEAM

CLIENT

PRESCHOOL SCHOLARS ACADEMY
c/o McCarter Presbyterian

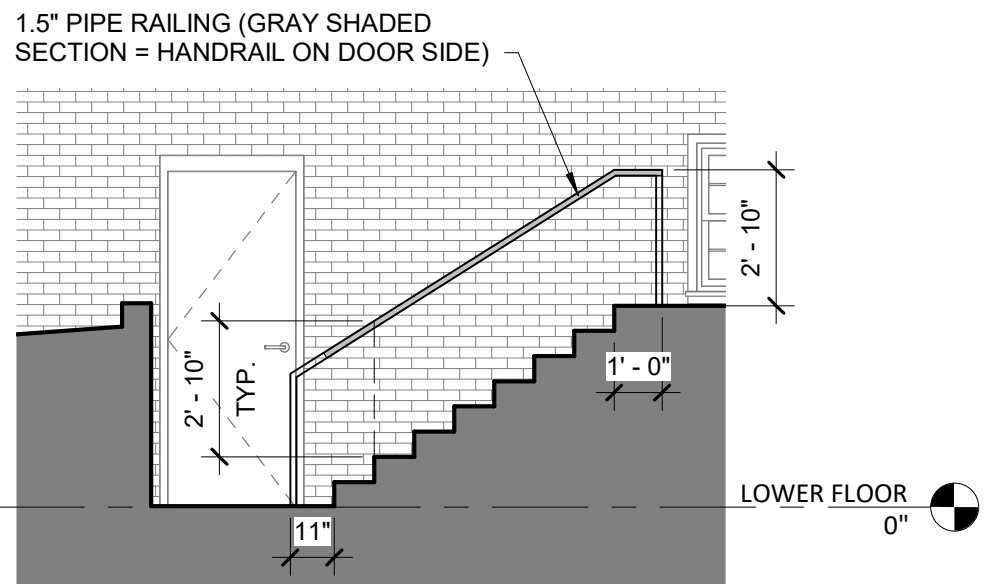
BIANCA MIMS
2 PELHAM ROAD
GREENVILLE, SC 29607
PH: (864) 525-1216

ARCHITECT

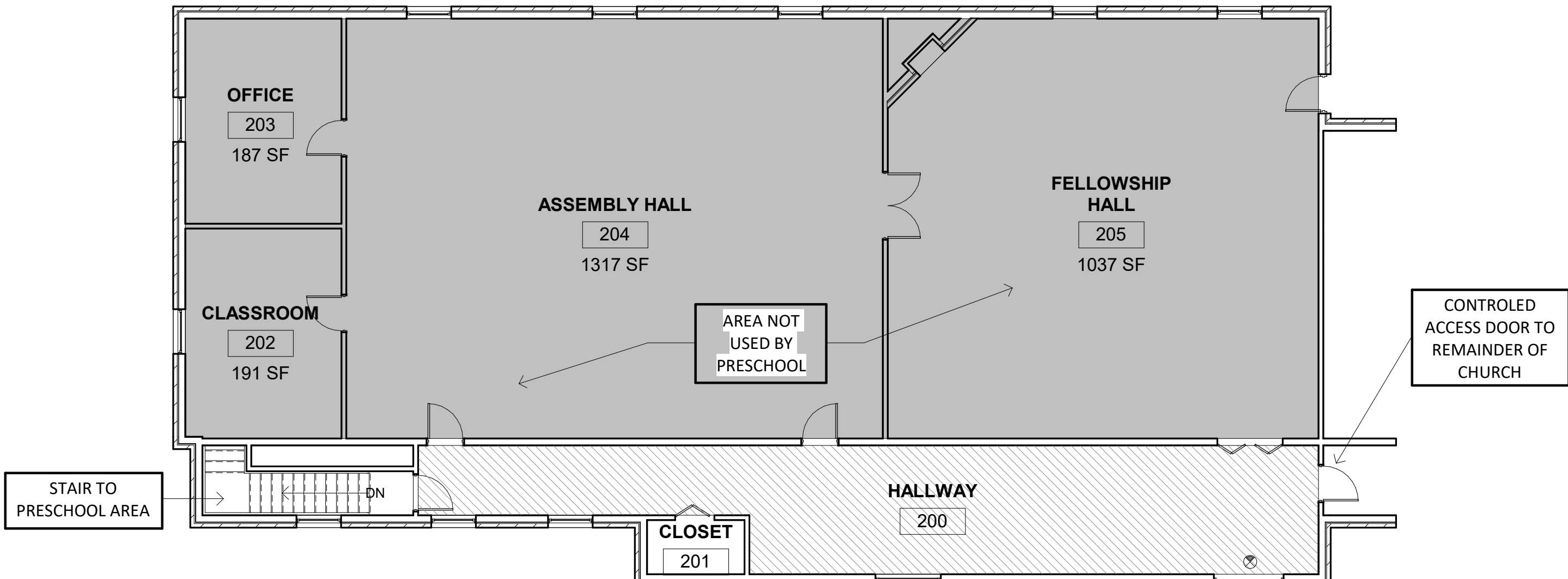
LMG ARCHITECTS, LLC
MARK T. GODFREY
305 W. STONE AVENUE
GREENVILLE, SC 29601
PH: (864) 438-0561

PRESCHOOL PROGRAM INFO

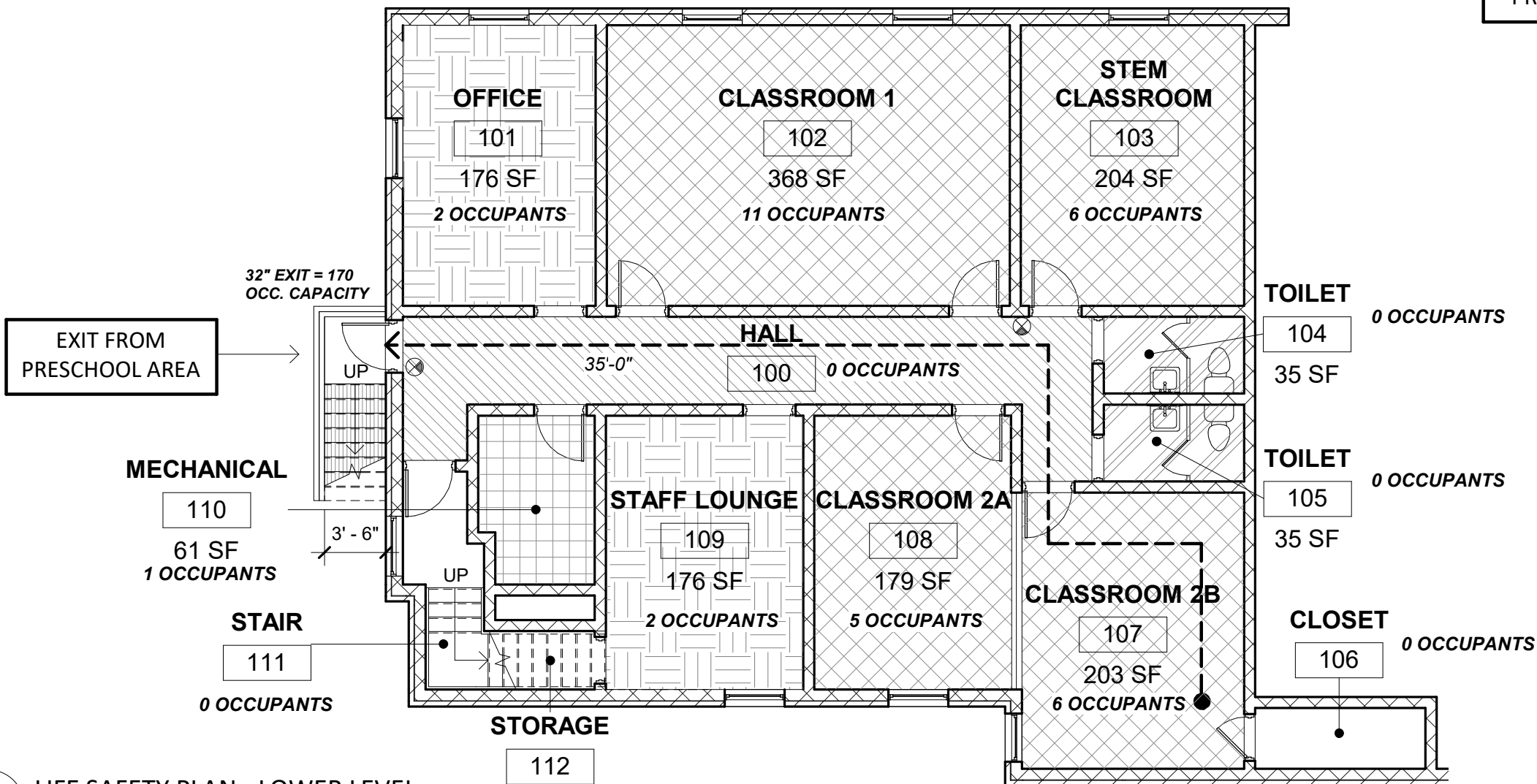
HOURS OF OPERATION: 7:30AM - 5:30PM MONDAY-FRIDAY
AGE RANGE: 3 - 5 YEARS OLD
ENROLLMENT: MAXIMUM ENROLLMENT OF 25 CHILDREN
FOOD SERVICE: ALL SNACKS WILL BE PRE-PREPARED
ALL MEALS WILL BE CATERED / PRE-PREPARED OR CHILDREN WILL BRING THEIR OWN LUNCH



7 RAILING DETAIL
GO.01 1/4" = 1'-0"



4 LIFE SAFETY PLAN - MAIN LEVEL
GO.01 1/8" = 1'-0"

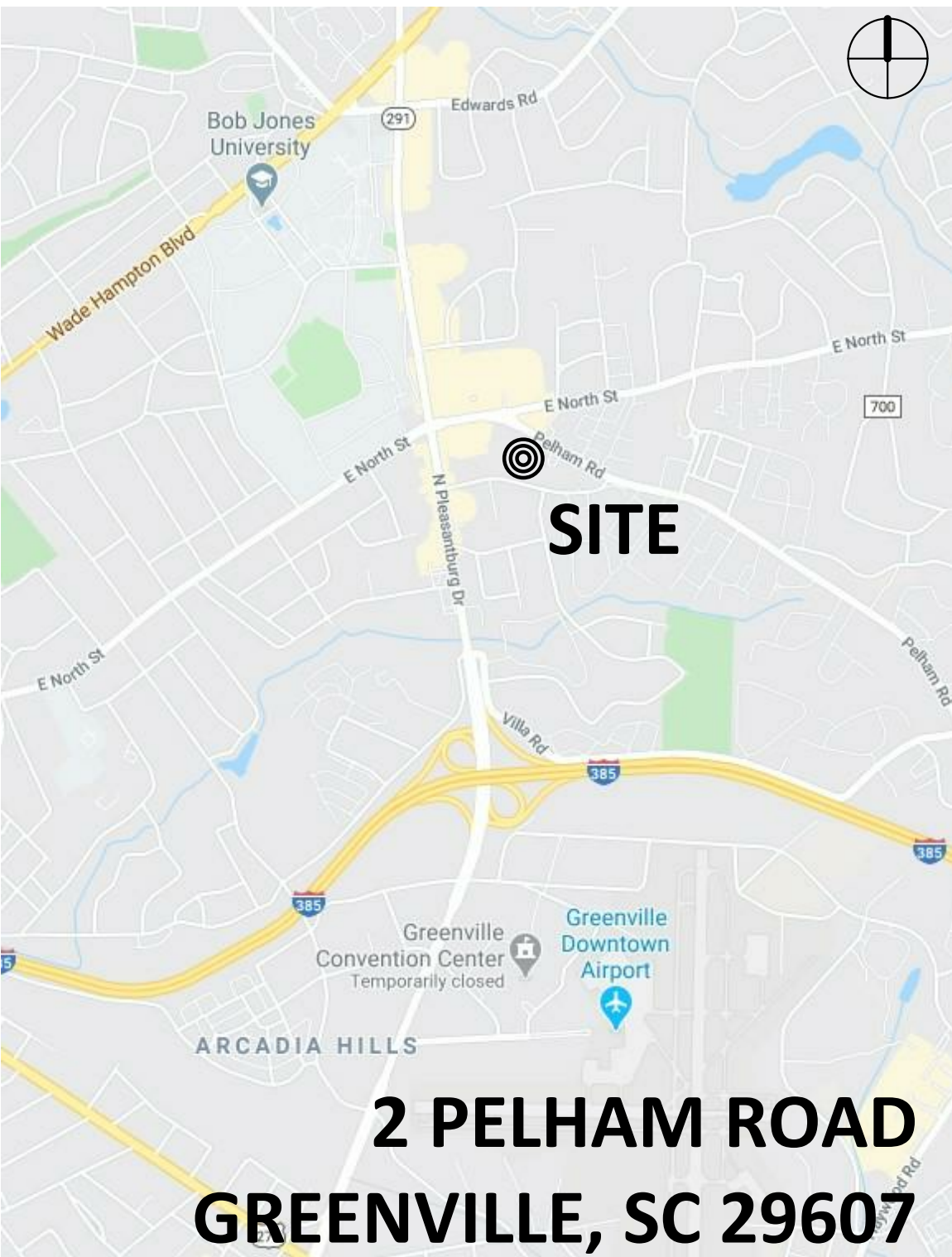


2 LIFE SAFETY PLAN - LOWER LEVEL
GO.01 1/8" = 1'-0"

SHEET INDEX

SHEET NO.	SHEET NAME	PERMIT	REV 1
GENERAL			
G0.01	COVER SHEET / CODE SUMMARY	•	
ARCHITECTURAL			
A1.00	EXISTING FLOOR PLANS	•	
A1.01	PROPOSED FLOOR PLANS	•	

NOTE: FIRE ALARM DRAWINGS WILL BE ISSUED UNDER SEPARATE COVER



2 PELHAM ROAD
GREENVILLE, SC 29607

OCCUPANCY CALCULATIONS

	CLASSROOMS BUSINESS AREA OCCUPANY LOAD FACTOR = 20 SF / PERSON NET 28 OCCUPANTS
	RESTROOMS (NO OCCUPANTS) OCCUPANY LOAD FACTOR = 0 SF / PERSON 0 OCCUPANTS
	ENTRY / EGRESS (NO OCCUPANTS) OCCUPANY LOAD FACTOR = 0 SF / PERSON 0 OCCUPANTS
	ELECT. / STORAGE / COOLERS ACCESSORY STORAGE OCCUPANY LOAD FACTOR = 300 SF / PERSON GROSS 1 OCCUPANT
	OFFICE BUSINESS AREA OCCUPANY LOAD FACTOR = 150 SF / PERSON GROSS 4 OCCUPANTS

CALCULATED TOTAL OCCUPANCY = 33 OCCUPANTS

LMG Architects, LLC
305 W Stone Ave
Greenville, SC 29609
864-438-0561
info@lmg-architects.com

architects

Interior Improvements at:
MCCARTER PRESBYTERIAN CHURCH

PRESCHOOL SCHOLARS ACADEMY

STATE OF SOUTH CAROLINA
REGISTERED ARCHITECT
MARK T. GODFREY
GREENVILLE, SC 7375

STATE OF SOUTH CAROLINA
REGISTERED ARCHITECTS
LMG ARCHITECTS, LLC
GREENVILLE, SC 100257

DRAWING HISTORY:

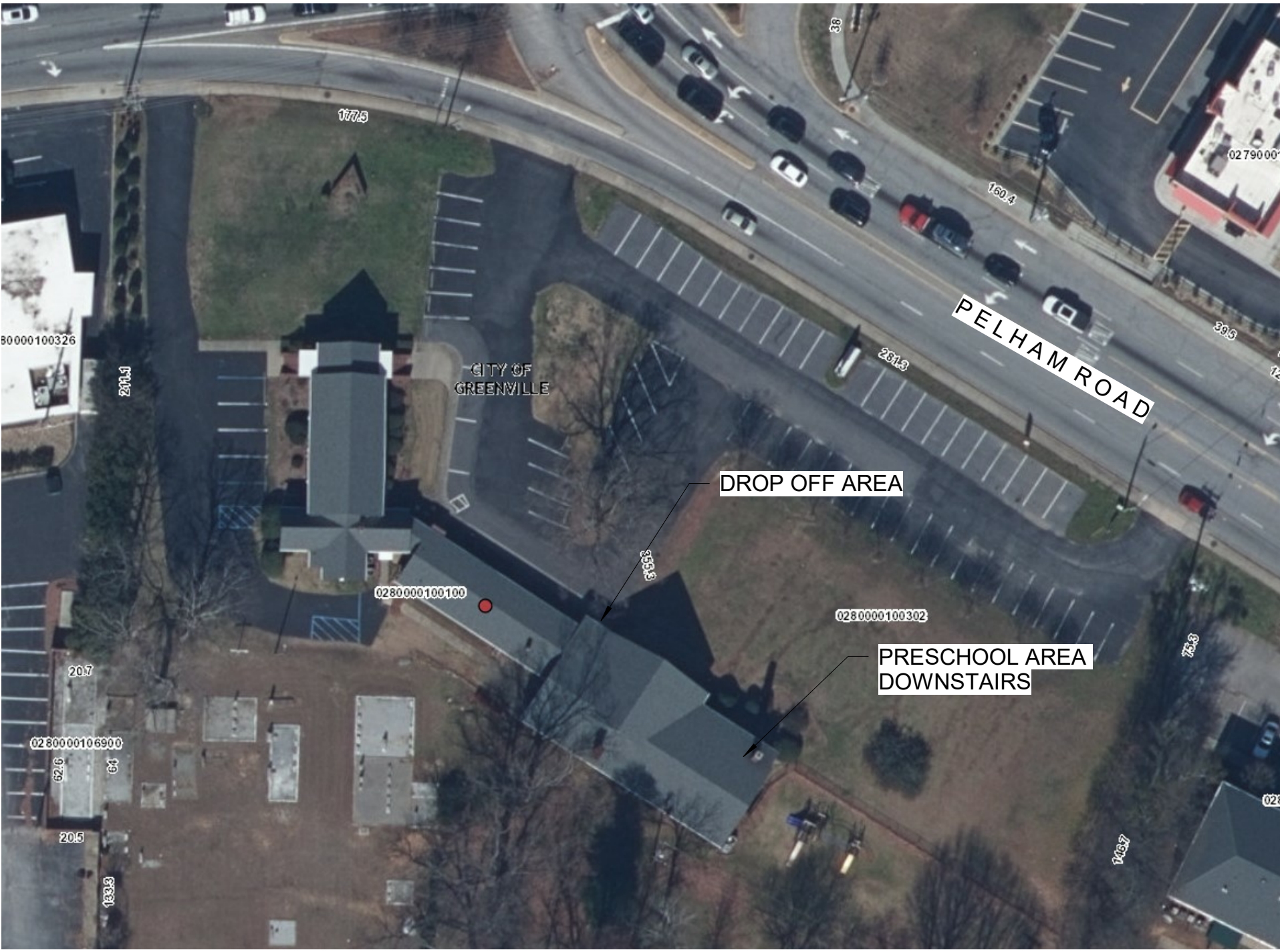
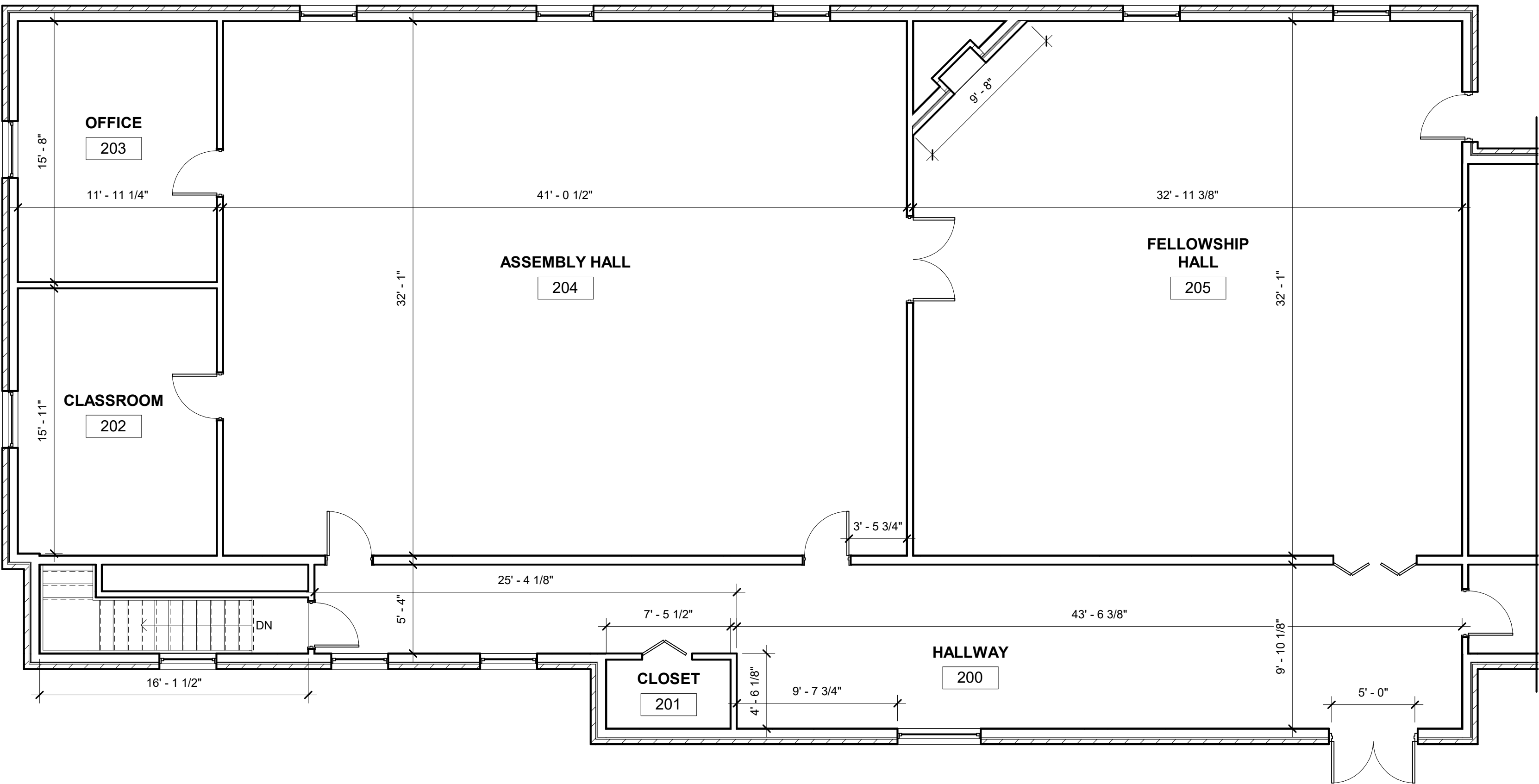
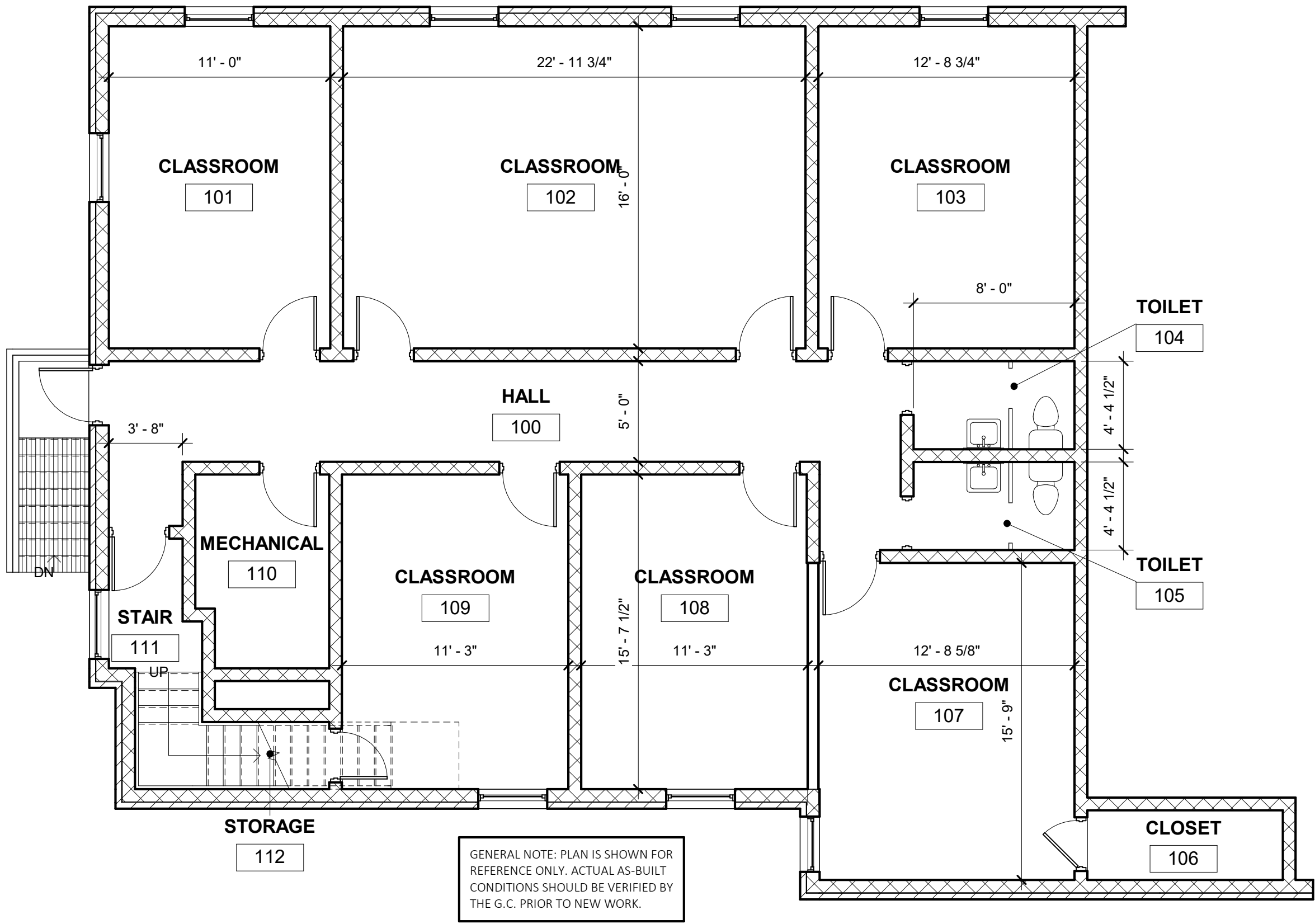
DATE	NO.	DESCRIPTION
07.15.2020	1	REVIEW SET

PROJ. NO. 20021

SHEET TITLE: COVER SHEET / CODE SUMMARY

SHEET NO. **G0.01**

ALL DRAWINGS, SPECIFICATIONS AND/OR ANY OTHER REPRODUCTIONS THEREOF FURNISHED BY LMG ARCHITECTS, LLC ARE THE PROPERTY OF LMG ARCHITECTS, LLC. THESE MATERIALS ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT EXPRESS WRITTEN CONSENT OF LMG ARCHITECTS, LLC. COPYRIGHT 2017 LMG ARCHITECTS, LLC. ALL RIGHTS RESERVED



EXISTING SITE PLAN

1 EXISTING LOWER FLOOR PLAN
A1.00 3/16" = 1'-0"

2 EXISTING MAIN FLOOR PLAN
A1.00 3/16" = 1'-0"

Interior Improvements at:
MCCARTER PRESBYTERIAN CHURCH

PRESCHOOL SCHOLARS ACADEMY



DRAWING HISTORY:		
DATE	NO.	DESCRIPTION
07.15.2020	1	REVIEW SET

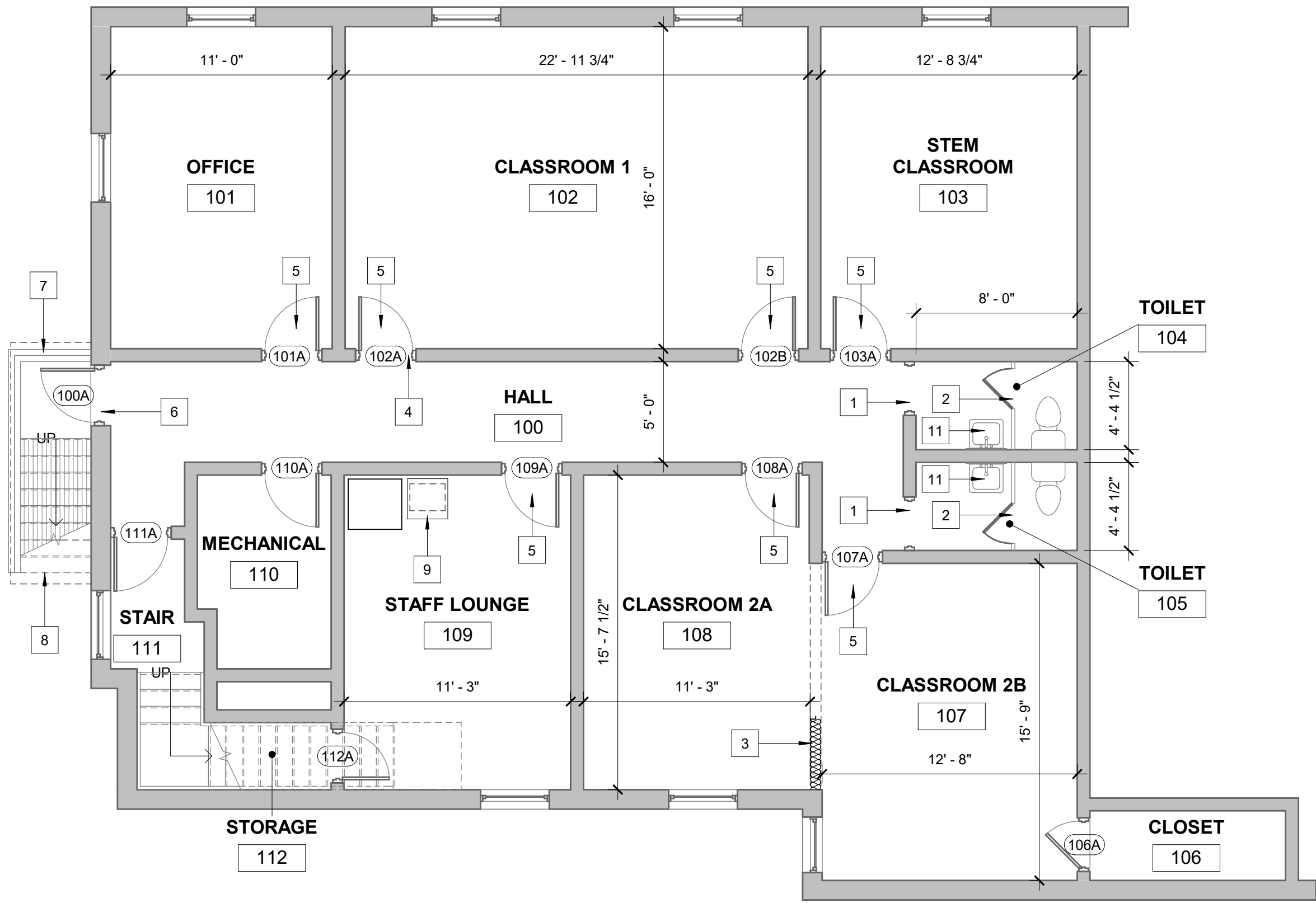
PROJ. NO. 20021
SHEET TITLE:

EXISTING FLOOR PLANS

SHEET NO.

A1.00

ALL DRAWINGS, SPECIFICATIONS AND/OR ANY OTHER REPRODUCTIONS THEREOF FURNISHED BY LMG ARCHITECTS, LLC ARE THE PROPERTY OF LMG ARCHITECTS, LLC. THESE MATERIALS ARE TO BE USED ONLY WITH RESPECT TO THIS PROJECT AND NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE WITHOUT EXPRESS WRITTEN CONSENT OF LMG ARCHITECTS, LLC. COPYRIGHT 2017 LMG ARCHITECTS, LLC. ALL RIGHTS RESERVED.

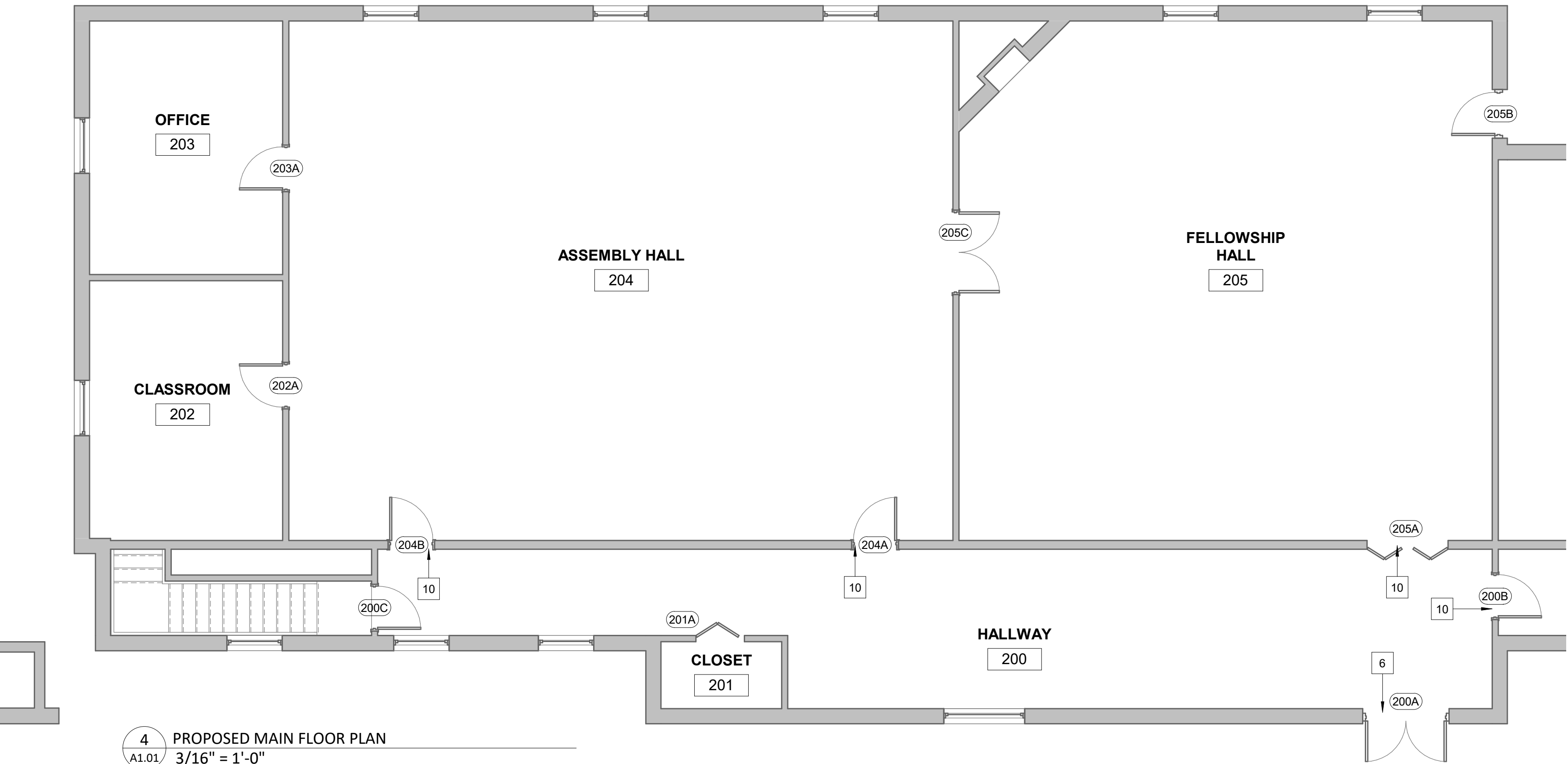


1 PROPOSED LOWER FLOOR PLAN
3/16" = 1'-0"

FLOOR PLAN KEYNOTES

1. RESTROOM DOORS TO BE REMOVED
2. PARTITIONS TO BE CUT DOWN TO HALF HEIGHT
3. EXISTING ACCORDIAN DOOR TO REMAIN
4. ALL EXISTING DOOR HARDWARE WILL BE REPLACED WITH NEW LEVER HARDWARE
5. DOOR TO BE RETROFIT WITH VISION PANEL ON TOP HALF (ALL GLAZING TO BE TEMPERED)
6. ENSURE EXISTING PANIC HARDWARE IS OPERATIONAL. INSTALL NEW EXIT SIGN
7. INSTALL NEW CANOPY OVER EXTERIOR STAIR
8. INSTALL NEW 1 1/2" DIA. SINGLE LINE PIPE RAIL. SEE DETAIL
9. STAFF LOUNGE TO HAVE MINI-REFRIGERATOR AND MICROWAVE
10. CONTROLLED ACCESS DOOR
11. PROVIDE NEW MIRROR, ACCESSORIES AT CHILD HEIGHT

DOOR SCHEDULE						
Mark	Width	Height	Door	Frame	Hardware Notes	Comments
100A	2' - 8"	7' - 0"	WD	HM	EXISTING PANIC HARDWARE; ENSURE PROPER OPERATION	EXISTING EGRESS DOOR
101A	2' - 8"	7' - 0"	WD	HM	INSTALL NEW LEVER HARDWARE	INSTALL NEW HALF LITE
102A	2' - 8"	7' - 0"	WD	HM	INSTALL NEW LEVER HARDWARE	INSTALL NEW HALF LITE
102B	2' - 8"	7' - 0"	WD	HM	INSTALL NEW LEVER HARDWARE	INSTALL NEW HALF LITE
103A	2' - 8"	7' - 0"	WD	HM	INSTALL NEW LEVER HARDWARE	INSTALL NEW HALF LITE
104A	2' - 4"	7' - 0"	WD	HM	N/A	REMOVE EXISTING DOOR; FRAME ONLY
105A	2' - 4"	7' - 0"	WD	HM	N/A	REMOVE EXISTING DOOR; FRAME ONLY
106A	2' - 4"	7' - 0"	WD	HM	HARDWARE TO REMAIN	EXISTING CLOSET DOOR
107A	2' - 8"	7' - 0"	WD	HM	INSTALL NEW LEVER HARDWARE	INSTALL NEW HALF LITE
108A	2' - 8"	7' - 0"	WD	HM	INSTALL NEW LEVER HARDWARE	INSTALL NEW HALF LITE
109A	2' - 8"	7' - 0"	WD	HM	INSTALL NEW LEVER HARDWARE	INSTALL NEW HALF LITE
110A	2' - 8"	7' - 0"	WD	HM	INSTALL NEW LEVER HARDWARE	EXISTING MECHANICAL DOOR
111A	2' - 8"	7' - 0"	WD	HM	INSTALL NEW LEVER HARDWARE	EXISTING STAIR DOOR
112A	2' - 4"	7' - 0"	WD	HM	HARDWARE TO REMAIN	EXISTING CLOSET DOOR
200A	5' - 0"	7' - 0"	WD	HM	EXISTING PANIC HARDWARE; ENSURE PROPER OPERATION	EXISTING EGRESS DOOR



4 PROPOSED MAIN FLOOR PLAN
3/16" = 1'-0"

ROOM FINISH SCHEDULE						
v	Room Name	Wall	Base	Floor	Ceiling	Comments
100	HALL	PAINTED CMU	VINYL TO REMAIN	VCT TO REMAIN	ACT TO REMAIN	NEW PAINT
101	OFFICE	PAINTED CMU	VINYL TO REMAIN	VCT TO REMAIN	ACT TO REMAIN	NEW PAINT
102	CLASSROOM 1	PAINTED CMU	VINYL TO REMAIN	VCT TO REMAIN	ACT TO REMAIN	NEW PAINT
103	STEM CLASSROOM	PAINTED CMU	VINYL TO REMAIN	VCT TO REMAIN	ACT TO REMAIN	NEW PAINT
104	TOILET	PAINTED CMU	VINYL TO REMAIN	VCT TO REMAIN	ACT TO REMAIN	NEW PAINT
105	TOILET	PAINTED CMU	VINYL TO REMAIN	VCT TO REMAIN	ACT TO REMAIN	NEW PAINT
106	CLOSET	UNPAINTED CMU	N/A	CONC	ACT TO REMAIN	
107	CLASSROOM 2B	PAINTED CMU	VINYL TO REMAIN	VCT TO REMAIN	ACT TO REMAIN	NEW PAINT
108	CLASSROOM 2A	PAINTED CMU	VINYL TO REMAIN	VCT TO REMAIN	ACT TO REMAIN	NEW PAINT
109	STAFF LOUNGE	PAINTED CMU	VINYL TO REMAIN	VCT TO REMAIN	ACT TO REMAIN	NEW PAINT
110	MECHANICAL	UNPAINTED CMU	N/A	CONC	ACT TO REMAIN	
111	STAIR	PAINTED CMU	VINYL TO REMAIN	VCT TO REMAIN	ACT TO REMAIN	NEW PAINT
112	STORAGE	UNPAINTED CMU	N/A	CONC	ACT TO REMAIN	

Interior Improvements at:
MCCARTER PRESBYTERIAN CHURCH

PRESCHOOL SCHOLARS ACADEMY

■■■

■■■

■■■

■■■

■■■

■■■

DRAWING HISTORY:		
DATE	NO.	DESCRIPTION
07.15.2020	1	REVIEW SET

PROJ. NO. 20021
SHEET TITLE:

PROPOSED FLOOR PLANS

SHEET NO.

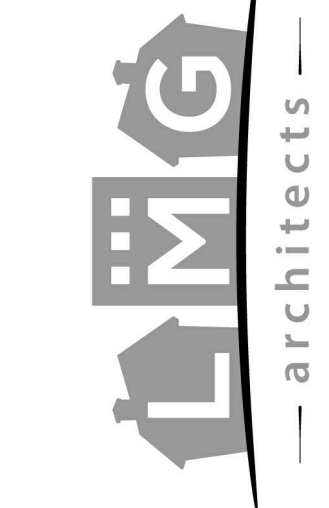
A1.01

■■■

2 Pelham Road
Greenville, SC 29607



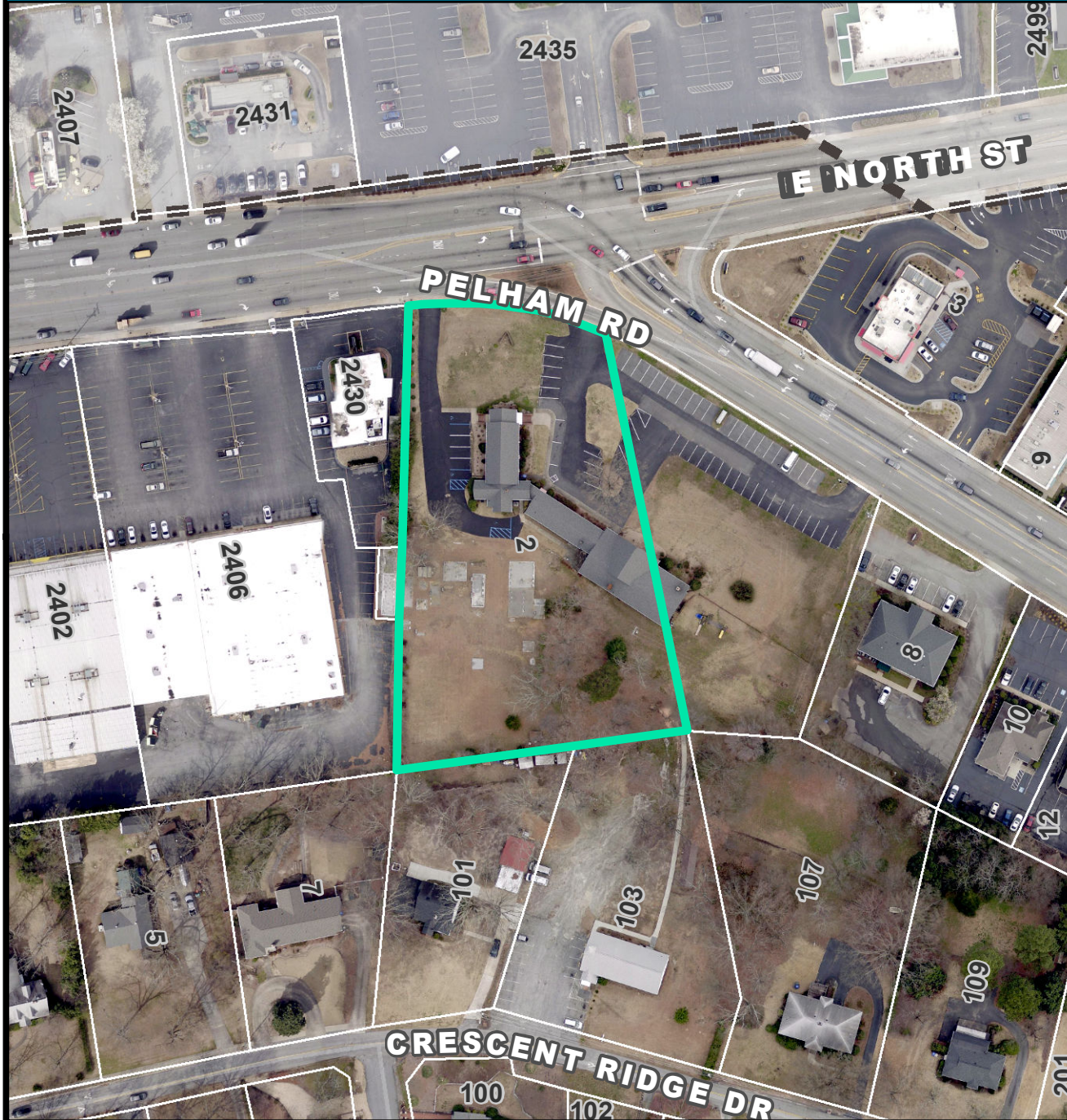
2 Pelham Road
Greenville, SC 29607



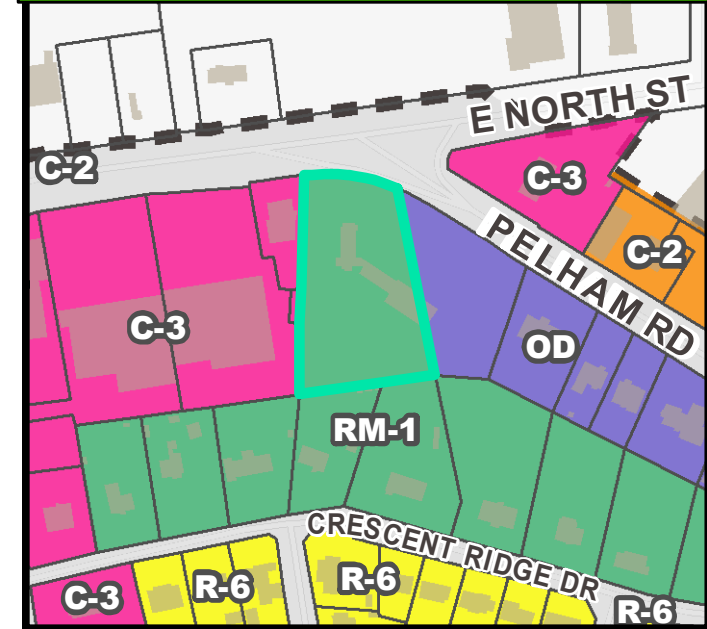
LMG Architects, LLC
305 W Stone Ave
Greenville, SC 29609
864.438.0561
info@lmg-architects.com

S 20-540 • 2 PELHAM RD

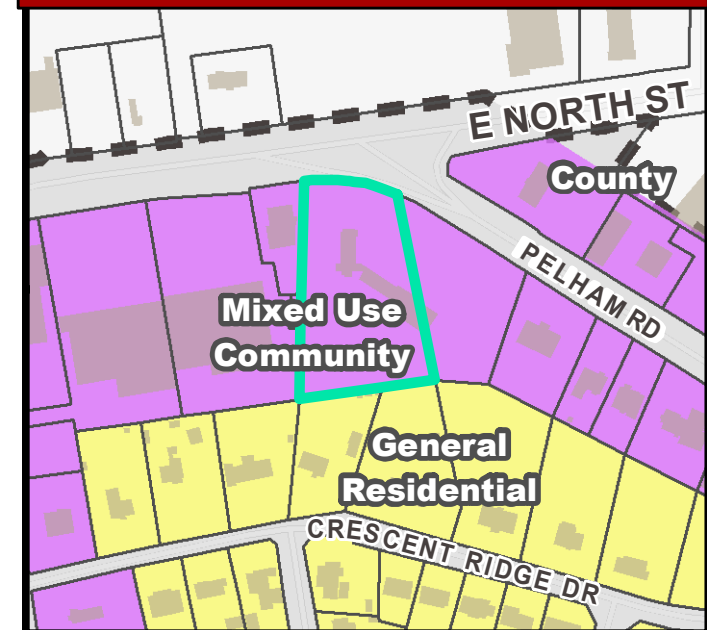
AERIAL VIEW



CURRENT ZONING



FUTURE LAND USE

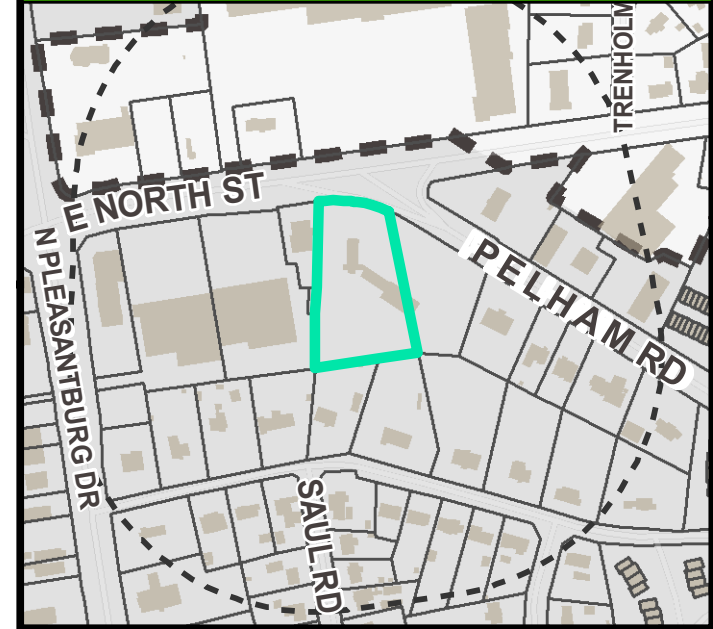


S 20-540 • 2 PELHAM RD

NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS

