



AGENDA

MEETING OF HISTORIC REVIEW BOARD
THURSDAY, SEPTEMBER 18, 2025 - 3:00 PM

Greenville City Hall, Council Chambers, 206 S. Main Street

Citizens may access the meeting at the following web address:

<https://www.greenvillesc.gov/1694/Online-Meetings>

1. Call to Order
2. Roll Call
3. Welcome and Opening Remarks from the Chair
4. Approval of the Minutes
5. Call for Public Notice Affidavit from Applicants
6. Acceptance of Agenda
7. Conflict of Interest Statement
8. Old Business
 - a. CA 23-954
Application by Heidi Nyblom for a **Certificate of Appropriateness** at **10 Barrett Street**
 - b. CA 23-955
Application by Heidi Nyblom for a **Certificate of Appropriateness** at **12 Barrett Street**
9. New Business (public comment)
 - a. CA 25-506
Application by Aaron Swiger for a **Certificate of Appropriateness** at **103 Walnut Street** (*Deferred by Applicant*)
10. Advice and Comment (no public comment)
11. Other Business (no public comment)
12. Informal Review (no public comment)
13. Adjournment



**Planning Staff Report to
Historic Review Board
September 10, 2025**
for the September 18, 2025 Public Hearing

Docket Number: CA 23-954
Applicant: Konrad Nyblom
Property Owner: Tomas Nyblom
Property Location: 10 Barrett Street
Tax Map Number: 0012000102409
Zoning: RN-A, Heritage Preservation Overlay District
Proposal: **New Single-Family Residential**
Staff Recommendation: **Approval with Conditions**

Applicable Sections of the City of Greenville Code of Ordinances:

Div. 19-6.2.7 Major Historic Certificate of Appropriateness

Staff Analysis:

Proposed Structure

The proposed structure is a two-story, +/- 2,175 sf single-family residence on a vacant property in the Heritage Preservation Overlay District. The lot has been vacant as far back as 1955, per aerial imagery. The property is surrounded primarily by residential development. However, there is a large, two-story parking structure across Marshall Avenue and a large commercial building at the corner of Marshall Avenue and Barrett Street. The proposed structure is in conformance with zoning standards for the RN-A zoning district.

A previous duplex version of this development was denied by the Historic Review Board in April 2024 due to incompatibility with the historic design standards.



Heritage Neighborhood Context:

The Heritage Neighborhood is a mix of architectural styles, with the most prominent style being the bungalow style. The Design Guidelines were written to preserve and promote these neighborhoods by preventing new construction that does not respect existing characteristics, potentially diminishing the integrity of the historic context. The applicant provided several examples of design inspiration from the neighborhood.

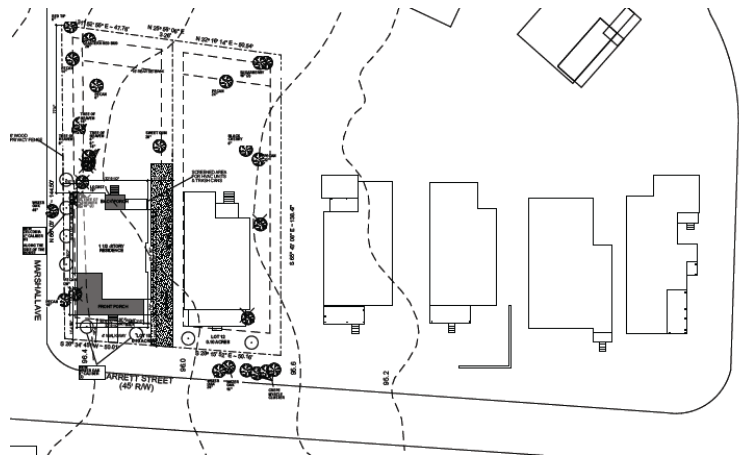


Surrounding homes in Heritage District

Preservation Overlay Design Guidelines:

AR.1 (A) of the design guidelines states that where neighboring setbacks are uniform, new construction should be in alignment with its neighbors. **Per AR.1 (B)**, side yard setbacks should appear similar to others on the block as seen from the street. Staff finds that these criteria have been met.

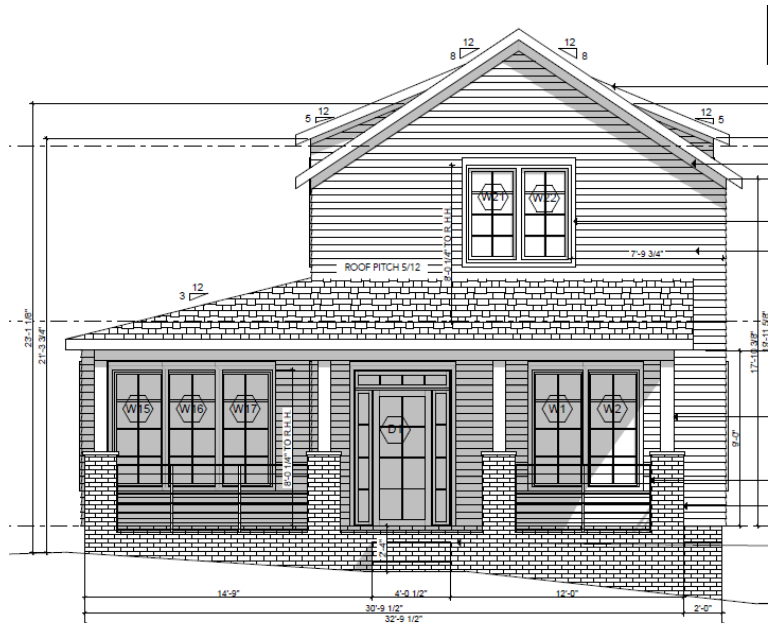
AR. 2 suggests that the front of the home be oriented toward the street with a clearly identified front door and a porch that is similar in size and character to those of surrounding homes. The proposed home has a single-story porch with brick and wood columns that ground and wrap the structure.



Neighborhood Site Plan

Per **AR.3**, the traditional character of the front yard should be maintained with grass lawns and pedestrian access from the front door to the sidewalk. Staff finds this criteria has been met and the project, as proposed, is in conformance with the context of the neighborhood.

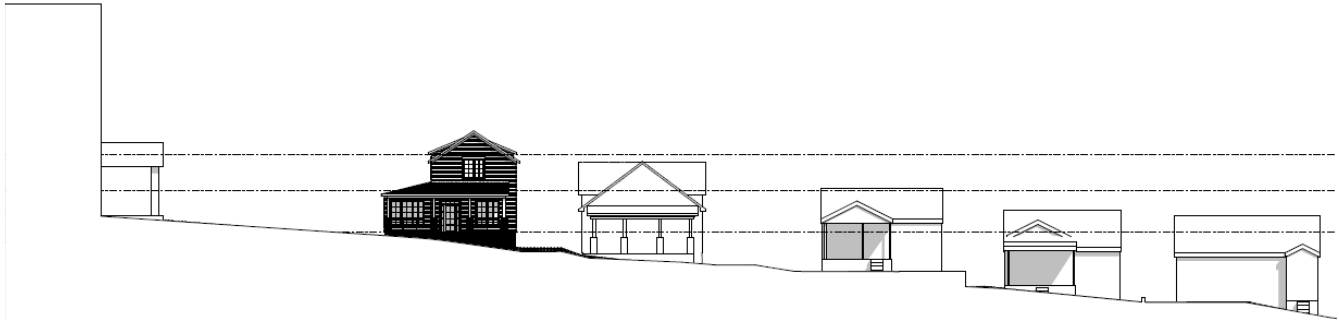
A vertical wood screen has been provided to screen the proposed HVAC unit and trash receptacles from public view, per **AR.5**. Screening must meet the requirements of the Development Code and will be reviewed when permits are



Proposed Front Elevation

submitted. **The direct-vent fireplace shall be vented to the roof and not facing Marshall Ave, per AR.5(C).**

AR.6 states that new buildings should relate to the established context so that the visual continuity will not be compromised. Mass and scale are among the elements of new construction that have the greatest influence on compatibility in the community. The two-story massing is subdivided into smaller volumes with the single-story wrap-around porch stepping the scale down, reducing the mass of the overall volume. The proposed home is similar in scale and mass to historic homes on the street.



Barrett Street Elevation

AR. 7 of the design guidelines places a high emphasis on traditional roof forms, gabled and hipped, as a major feature of residential buildings, and states that new construction should not break from this continuity. The proposed gable roof form, with a hipped roof porch, is consistent with the Heritage Preservation District and the design guidelines.

AR.8 of the design guidelines states that all new construction should maintain the range of exterior wall materials currently found in the historic district, including lap siding and brick. The proposed home is primarily clad in stained horizontal thermowood lap siding with a brick foundation, architectural asphalt shingle roof, and green accent soffits, windows and posts. Staff finds that this is consistent with the neighborhood. **However, applicant shall provide specifications for the windows and the proposed finish of the aluminum railings.**

Brick Foundation and Column Base
Cherokee Brick - Old Pearl River



OLD PEARL RIVER

Roofing
Architectural Asphalt Shingles,
CertainTeed Landmark, Colonial Slate



Exterior Cladding (10 Barrett St)

Thermowood, Lap Siding
Ebony Stain



Exterior Windows
SW0041 Dark Hunter Green



AR.9 recommends that new buildings use contemporary interpretations of historic styles. The proposed structure takes its influences from southern bungalow traditions which feature a prominent front porch with square columns over brick piers and overhanging eaves. In order to maintain a sense of visual continuity with the street, the new home maintains the basic window and door proportions, placement, and arrangement seen traditionally. Staff finds the proposed structure meets this section of the design guidelines for architectural character.

AR.10 states that the visual impacts of parking should be minimized. The proposed parking is located at the rear of the side of the structures, in accordance with this guideline and consistent with parking locations in the neighborhood.

AR.15 of the design guidelines states that the structure should incorporate a coordinated color scheme that is simple in character. The proposed design employs a coordinated color scheme that is muted and in conformance with the design guidelines.

Summary

Overall, staff finds that the proposed structure is in character with the Heritage Preservation District in which it is located, although minor modifications will need to be made.

Staff recommends **approval with the following conditions:**

1. **The applicant must provide missing material information for staff review, specifically, the specifications for the windows and the proposed finish of the aluminum railings.**
2. **The direct-vent fireplace shall be vented to the roof and not facing Marshall Ave, per AR.5(C) and shall be reviewed by staff.**
3. **An Affidavit of Substantial Compliance must be signed and notarized by the property owner prior to the issuance of the Certificate of Conformity.**
4. **This CA is considered a specific site development plan. As such, the CA issued for this project shall be subject to Greenville Development Code Section 19-6.2.6-9 *Lapse of approval/vested rights* and the Vested Rights Act, Article 11, of Chapter 29, Title 6, of the Code of Laws of South Carolina, 1976 (S.C. Code §§ 6-29-1510 et seq.). The CA shall be valid for a period of two years from the date of approval by the Board. The Vested Right shall be granted up to five annual extensions upon a written request for an extension that must be received from the applicant at least sixty (60) days before expiration, unless any change or amendment to the land development ordinance or regulations of the City of Greenville's Code of Ordinances were to be amended that would no longer allow execution of the site-specific development plan. At any time during the two-year period or any subsequent Vested Rights extensions, the applicant may be granted a building permit from the City Building Official. Should the CA expire at any time prior to the application for a building permit, such permit shall not be issued until a current CA is provided.**

APPLICANT/OWNER INFORMATION

*Indicates Required Field

	APPLICANT	PROPERTY OWNER
*Name:		
*Title:		
*Address:		
*State:		
*Zip:		
*Phone:		
*Email:		

PROPERTY INFORMATION

*STREET ADDRESS 10 Barrett Street

*TAX MAP #(S) 0012000102409

*ZONING CLASSIFICATION RN-A

*PRESERVATION DISTRICT/SPECIAL DESIGNATION:

☐ Downtown Review District
 ☐ West End Overlay
 ☐ Pettigru
 ☐ East Park
 ☐ Overbrook
☐ Hampton-Pinckney
☒ Heritage
☐ Colonel Elias Earle
☐ Local Landmark
☐ National Register

*Pursuant to S.C. Code Ann. § 6-29-1145, I hereby attest that the tract or parcel of land subject to this application IS NOT restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity. Initial: HMN

*ARE THERE EXISTING STRUCTURES ON THE PROPERTY? ☐ Yes ☒ No

DESCRIPTION OF REQUEST

*ORIGINAL APPLICATION # (N/A if new application) _____

To include: scope of project and response to specific guidelines and special conditions.
 New Single Family Home on existing Lot in Heritage Neighborhood. See attached document for detailed responses.

INSTRUCTIONS

1. All applications and fees (made payable to the City of Greenville) for Certificate of Appropriateness must be received by the planning and development office prior to review. Applications requiring review by the Design Review Board or Historic Review Board must be submitted no later than 2:00 pm of the date reflected on the posted calendar.
 - A. DESIGN REVIEW BOARD

	\$300.00, <i>site plan review</i>
	\$300.00, <i>architectural review</i>
 - B. SIGNS

	\$150.00
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 - C. MINOR APPLICATION (STAFF REVIEW)

	\$100.00
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 - D. MODIFICATION TO AN APPROVED PROJECT

Major (requires review by DRB)	½ Original Fee
Minor (requires review by staff)	\$50.00
 - E. INFORMAL REVIEW

	\$50.00
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2. Staff will review the application per Section 19-6.2.1(b)(3) for completeness and per Section 19-6.2.6-6.2.9 to determine the applicable fee structure and reviewing body.
3. **Public Notice Requirements (not applicable for minor applications).** Certificate of Appropriateness applications require public notice. The applicant is responsible for sign posting to the subject property as well as mailers to all properties within 500 feet of the property at least 15 days (but no more than 18 days) prior to the scheduled design review board meeting date. Staff will provide the applicant with instructions, a mailing list, and an affidavit of substantial compliance upon receipt of the application fee. The signed affidavit will be required with attached photos of the posted notice prior to review.
4. You must attach a complete digital set of scaled drawings of the property. A printed set of drawings is NOT required. Although construction drawings are not required, applicants should be able to provide construction drawings at the request of the DRB or HRB. Additional information may be requested at any time to fully understand the proposal. **Projects may require a two-phase DRB review process (Site Plan Review followed by Architectural Review), dependent on the scale of the proposed plans. Staff will notify the applicant upon receipt of the application if a two-phase review is required.**
5. Unless expressly determined by the administrator, all applications must contain the following:

☒ **SITE PLAN REVIEW**

- a. Site Plan Drawings (indicating footprint of existing buildings, proposed building, proposed exterior elements, demolition of existing site features, floor plan, conceptual landscape plan with materials notated, conceptual lighting, conceptual furnishing package, proposed exterior equipment, etc.).
- b. Massing Studies and Images (images shall be high resolution and should depict adjacent building, proposed building massing from various viewpoints, initial architectural details, photos of surroundings to review context, etc.).
- c. Model (digital model that includes the surrounding context with massing only, no texture or articulation is required). ***The contextual model for the Design Review boundary can be downloaded here: <https://greenvillesc.gov/364/Access-GIS-Data>, and is provided as a .skp file.***

☒ **ARCHITECTURAL REVIEW**

- d. Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- e. Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- f. Detail Drawings (include material and methods of each type of construction affecting the exterior appearance

of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and signage).

- g. Renderings (include perspective drawings, including views from pedestrian and public realm).
- h. Model (digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed sign location).

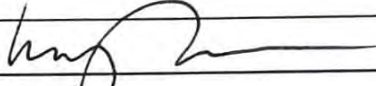
For more detail on these submittal requirements, please refer to the [Greenville Downtown Design Guidelines](#), adopted May 2017.

Please verify that all required information is reflected on the plan(s).

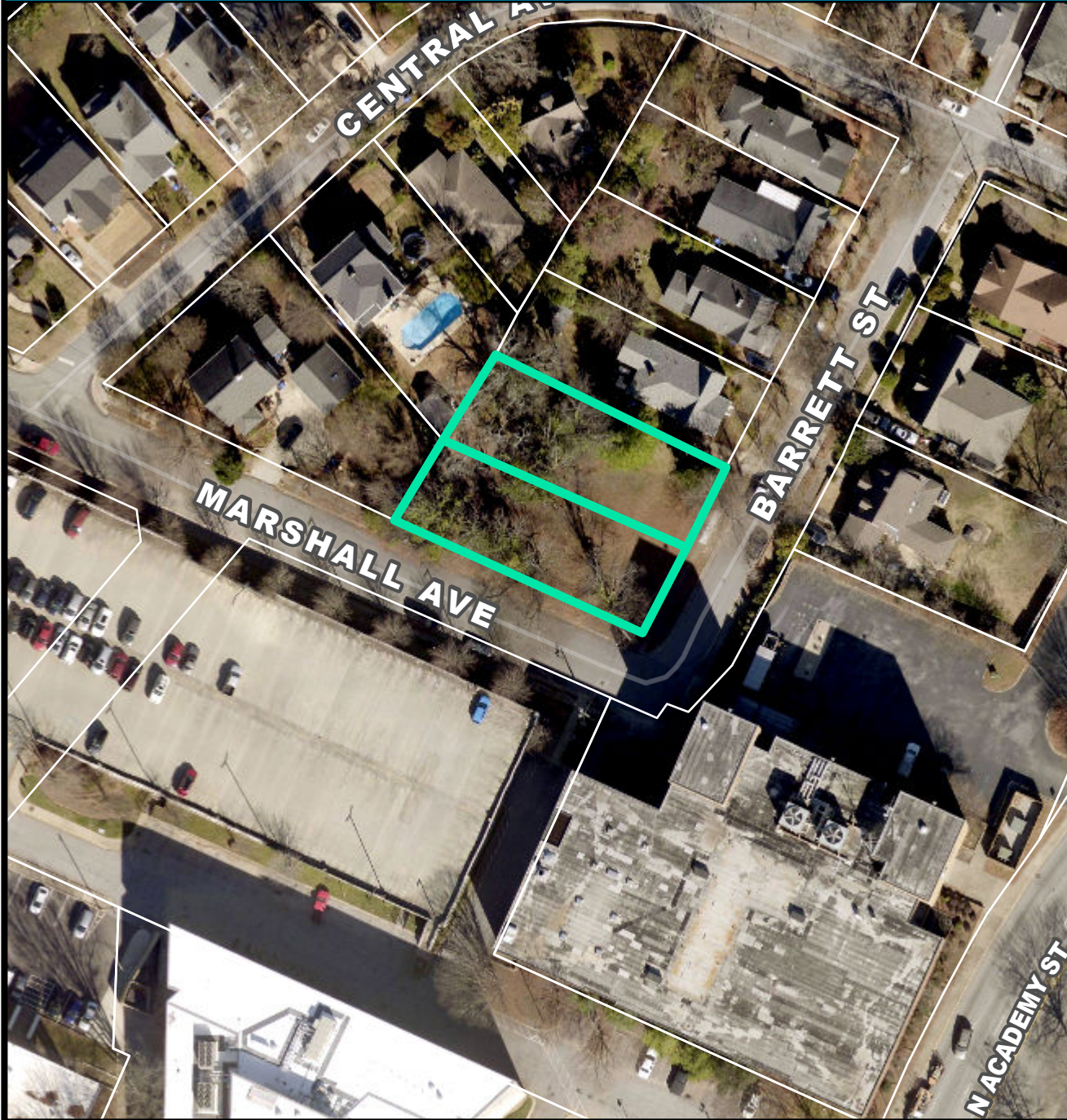
6. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition, the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

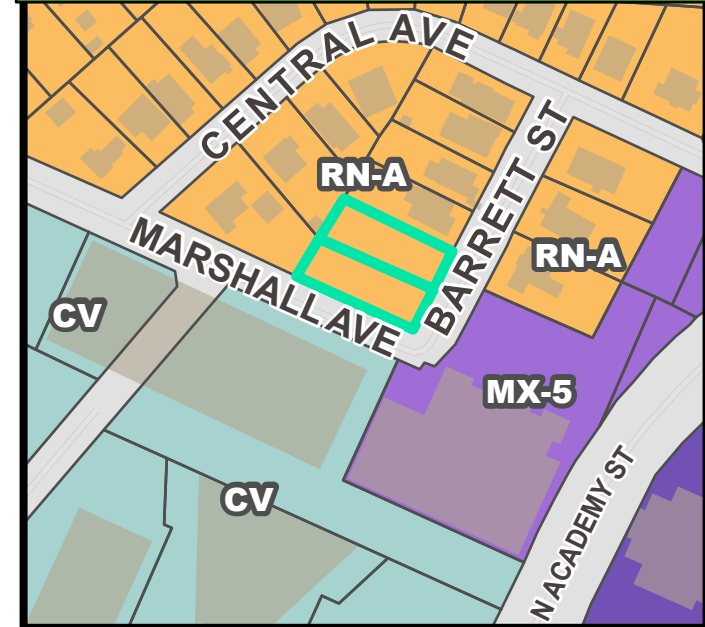
If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

*Signatures	
Applicant	
Date	8/20/25
Property Owner/Authorized Agent	
Date	8.20.25
Public Hearing information	
Public Hearing signs	

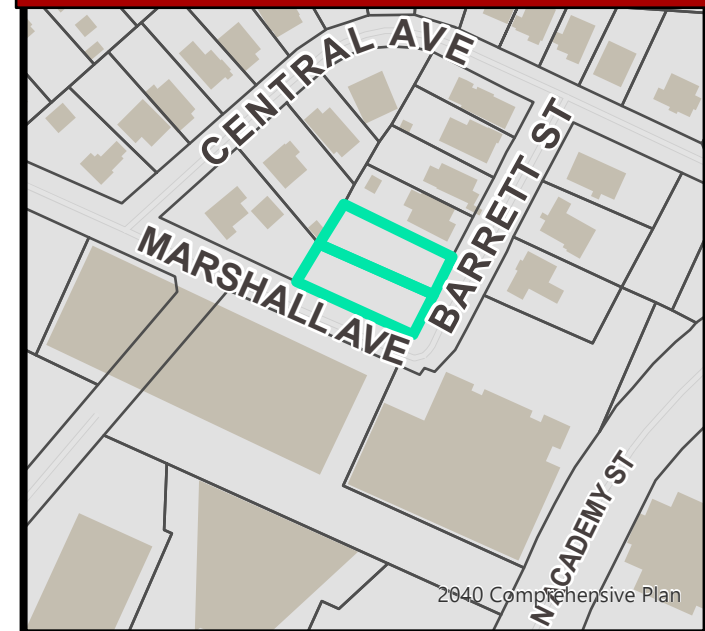
AERIAL VIEW



CURRENT ZONING



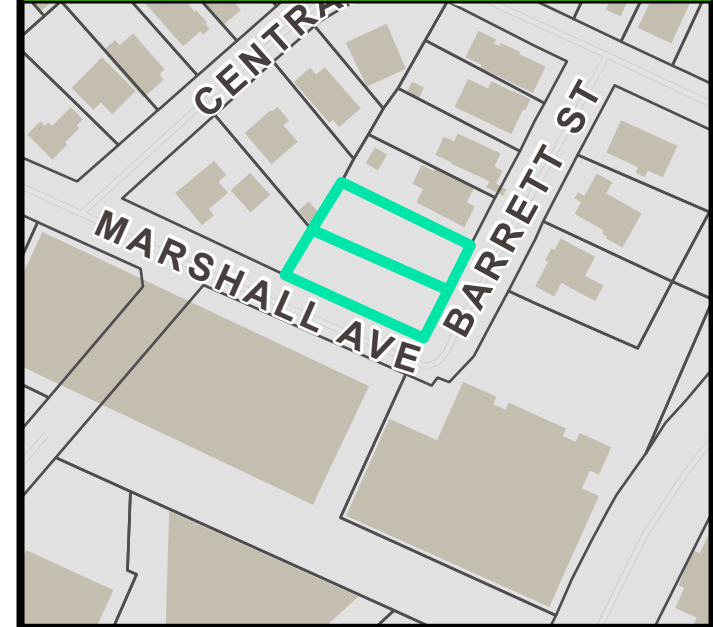
FUTURE LAND USE



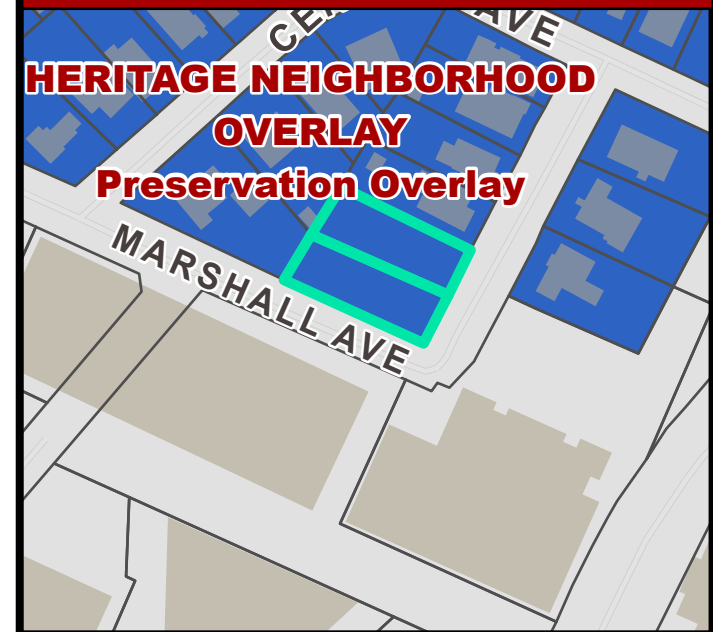
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS



Supplementary Historic Design Guidelines Compliance Statement

10 Barrett Street, Greenville SC

AR.1 – Maintain the line of building fronts

The home is set back 10 feet from Barrett Street, consistent with the established setbacks of adjacent residences. Side yard spacing is aligned with neighboring homes, preserving the uniform rhythm of the block.

AR.2 – Orient the front to the street

The primary entrance faces Barrett Street and is defined by a full-width front porch with brick column bases and wood posts, ensuring a pedestrian-friendly character.

AR.3 – Maintain traditional front yard character

A grass lawn fronts the home with minimal paved area, using a 4-foot walkway for access. No solid or chain link fence is proposed.

AR.4 – Minimize exterior lighting impacts

Lighting will be low-intensity, downward-shielded fixtures at the porch to highlight the entry without glare.

AR.5 – Screen mechanical equipment and service areas

HVAC units and trash storage are located at the rear of the home, screened from public view by a wood privacy fence. This placement and screening ensure that service areas do not detract from the historic character of the streetscape.

AR.6 – Mass and scale

At 1.5 stories and approximately 25 feet in overall height, the home's vertical scale is in line with neighboring historic residences. The building's width of 32 feet is proportionate to the lot's 44-foot width, maintaining generous side setbacks and preserving the rhythm of spacing along the street. This balanced height-to-width relationship reinforces the pedestrian-friendly scale characteristic of the district.

AR.7 – Building and roof form

The home's primary rectangular footprint with a front-facing gabled roof, secondary side gables, and balanced proportions reflects the Craftsman Cottage tradition common in historic southern urban neighborhoods. This style is distinguished by its modest scale, prominent porch, and well-proportioned rooflines, often incorporating simple yet expressive architectural details. The design adapts these traditional forms with cleaner lines and updated materials, resulting in a contemporary interpretation that harmonizes with the Greenville Heritage Historic Neighborhood's historic character.

AR.8 – Materials

Horizontal wood siding and brick veneer are used, reflecting dominant neighborhood materials. Roof shingles are architectural-grade in earth tones.

AR.9 – Visual compatibility

The design responds to the architectural diversity found in Greenville's Heritage Historic Neighborhood, where influences from Folk Victorian, American Foursquare, and vernacular mill house styles intermingle. As noted in the Building and Roof Form section, this home draws from early 20th-century bungalow traditions, characterized by its broad front porch, tapered square columns on brick piers, and low-pitched gabled roof with exposed rafter tails. These elements are reinterpreted with cleaner lines, simplified trim, and modern construction methods, creating a home that sits comfortably among historic precedents while clearly expressing its contemporary origin.

AR.10 – Parking

A driveway leads to a rear parking area; no front yard parking is proposed.

AR.12 – Additions

The design is a single-phase build; any future additions will be subordinate in scale and set to the rear.

AR.14 – Outbuildings

No new outbuilding is included; any future accessory structure will be located to the rear and subordinate in size.

AR.15 – Color

A muted, cohesive color palette will be used, with natural siding tones and painted trim in keeping with historic precedent.

BARRETT STREET

10 Barrett Street
Greenville, South Carolina 29601

Drawing Index	
T001	Title Sheet
AS100	Site Plan
A101	Floor Plans
A102	Roof Plan and Wall Detail
A201	Exterior Elevations
A202	Exterior Elevations
A203	Street Elevation
A301	Building Sections

Property Information

Project Type: Single Family Dwelling

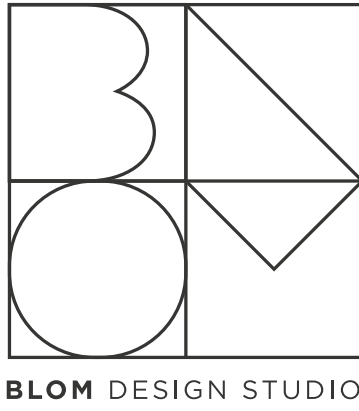
Owners: Cobblestone Homes LLC

Site Address:
10 Barrett Street
Greenville, South Carolina 29601

Assessor Parcel Number:
TMS 0531010100207

Zoning: RN-A

Setbacks:
Front 10 feet
Side 5 feet
Rear 5 feet



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BARRETT ST

10 Barrett Street
Greenville, South Carolina
29601

CONDITIONED AREA

FIRST FLOOR	1,312
SECOND FLOOR	863
	2,175 ft²

UNCONDITIONED AREA

FRONT PORCH	358
REAR PORCH	60
	418 ft²

AREA UNDER ROOF

2,593

APPLICATION SET

REVISIONS:

FIRST DRAFT:	19 JULY 2023
CONTRACT:	
PERMIT:	
FOR CONSTRUCTION:	

Title Sheet

T001

PRINTED: 8/20/25



RENDERINGS ARE FOR VISUALIZATION PURPOSE ONLY, PLEASE REFER TO ELEVATION DRAWINGS FOR DETAILS



RENDERINGS ARE FOR VISUALIZATION PURPOSE ONLY, PLEASE REFER TO ELEVATION DRAWINGS FOR DETAILS





LOT 10 COVERAGE	
BUILDING COVERAGE:	1312 sf
PATIOS:	420 sf
DRIVEWAYS:	840 sf
WALKWAYS:	68 sf
Total Coverage:	2640 sf
TOTAL SITE AREA:	7212 sf
Percentage of Coverage:	36.6 %

VICINITY MAP

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SITE NOTES

1. Finished grades are indicated on plans to show design intent. Contractor shall determine cut/fill requirements.

SITE LEGEND

PROPOSED CONTOURS

PROPOSED CONTOURS

EXISTING CONTOURS

PROPOSED CONTOURS

EXISTING SPOT ELEVATION

IRON FENCE

WOOD FENCE

SANITARY SEWER

STORM SEWER

GAS LINE

DOWNSPOUT

TREE

LIMIT OF DISTURBANCE

SILT FENCE

EX BUILDING

NEW BUILDING

LINES FOR SITE FEATURES

SITE CONSTRUCTION NOTES

1. TBD

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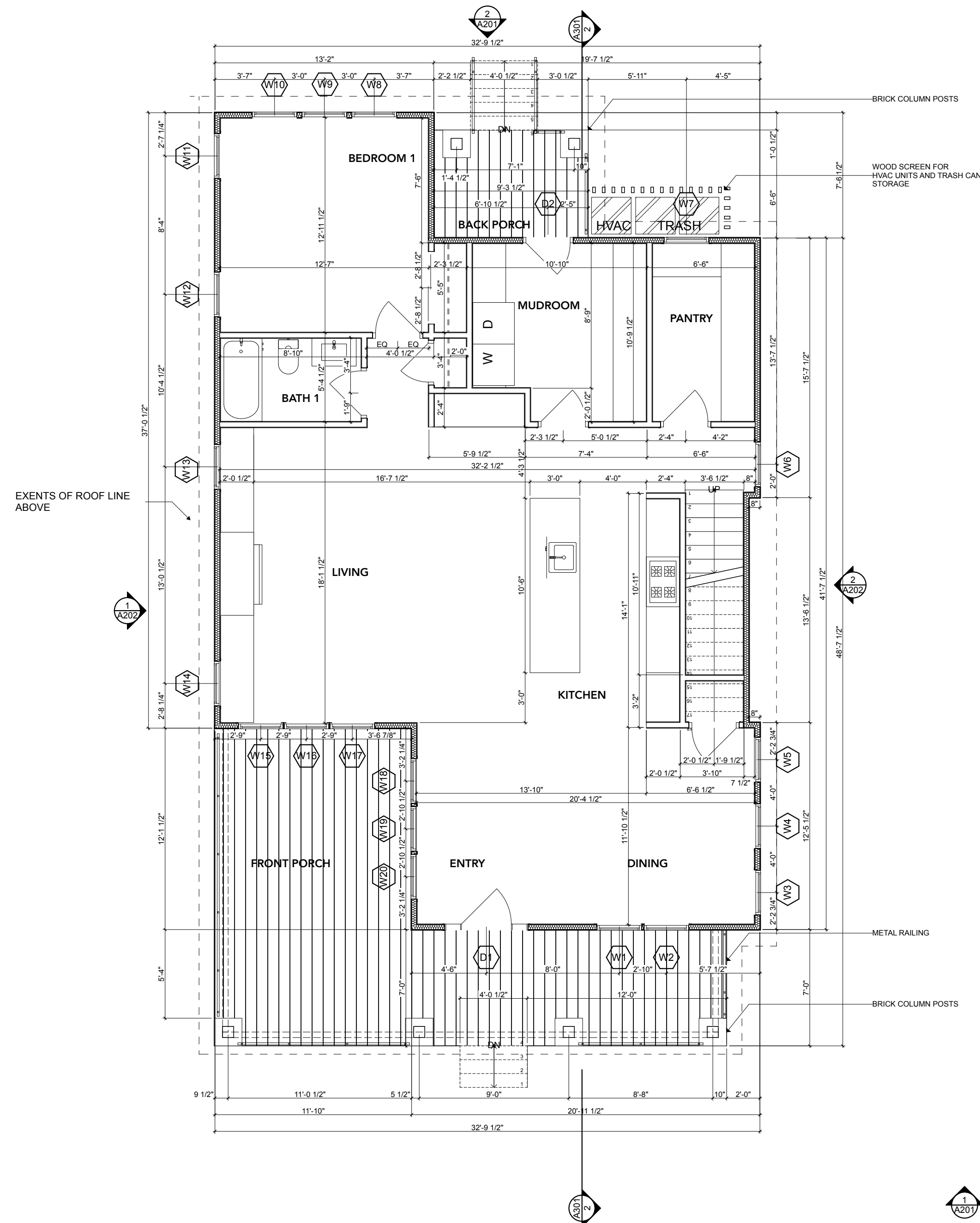
Site Plan

AS100

PRINTED: 8/28/25

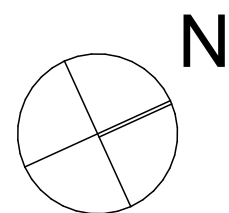
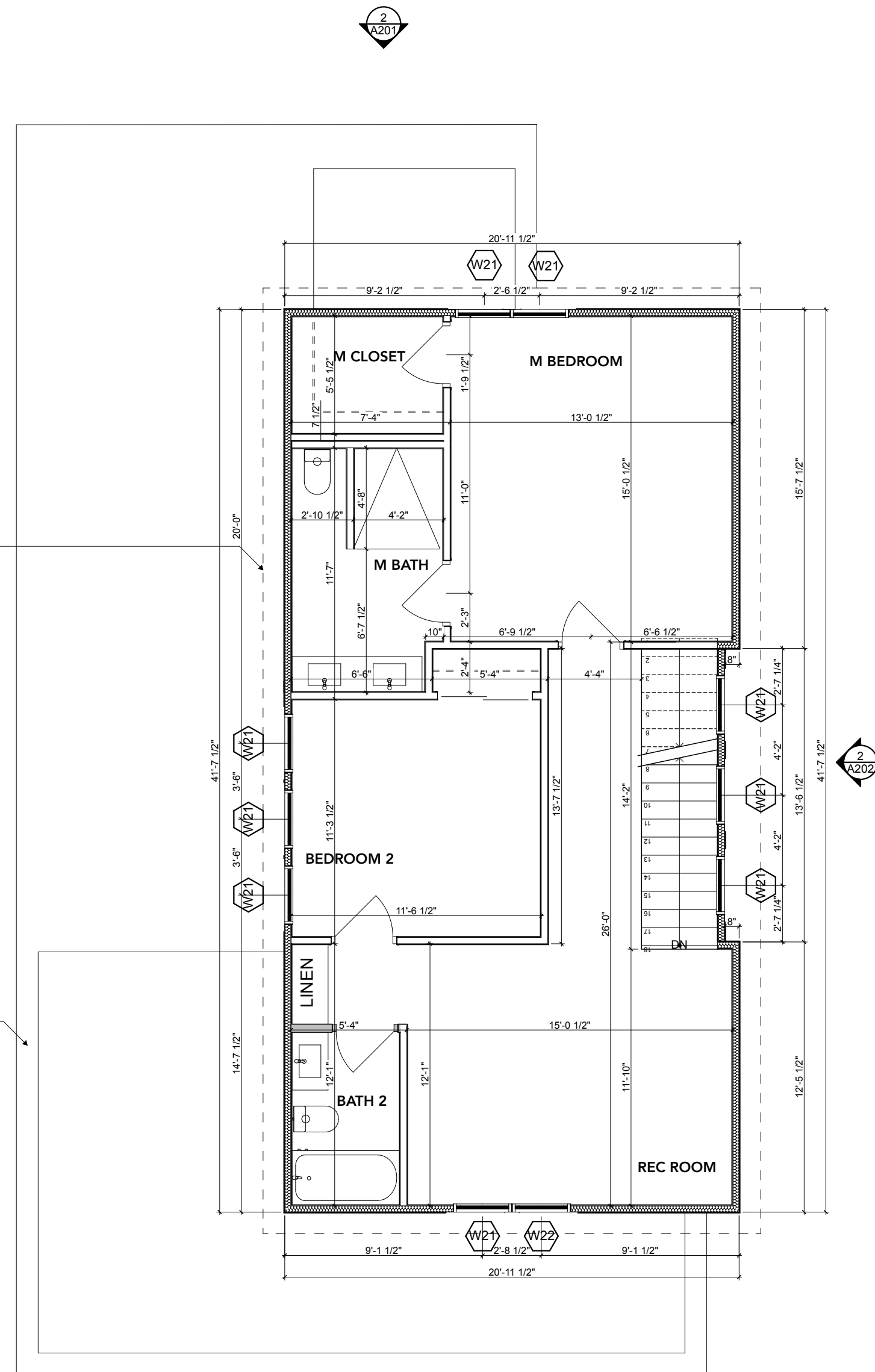
1 FIRST FLOOR Construction Plan

SCALE: 3/16" = 1'-0"



2 SECOND FLOOR Construction Plan

SCALE: 3/16" = 1'-0"



DIMENSIONING CONVENTIONS

- Plan:
- Exterior foundation dimensions are taken from exterior face of foundation.
 - Exterior wall dimensions are taken from exterior face of stud.
 - Interior dimensions are from face of stud.
 - Window and door dimensions are from face of stud to opening center lines, U.N.O.
 - Cased opening dimensions given are finished dimensions.
- Elevations and Sections:
- Floor elevations are rough floor (top of subfloor).
 - Ceiling elevations are rough ceiling (top of frame wall, bottom of ceiling joist).
 - Window and door rough heads are from rough floor to top of rough opening Rough sills are then determined from the window schedule.
- Sheathing at Foundation:
- Typical exterior wall detail is for exterior face of stud to align with exterior face of masonry foundation.
 - Atypical details, if any, are identified in wall sections.

CONSTRUCTION LEGEND

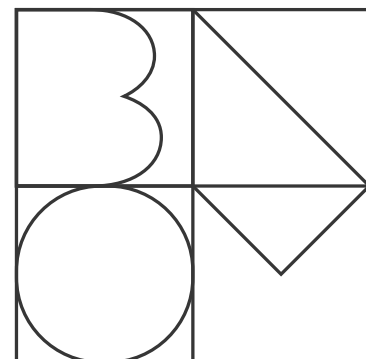
- NEW WALL
- NEW DOOR
- NEW WINDOW
- DOWNSPOUT
- CENTER LINE
- DIMENSION REGULATING LINE
- ELEVATION MARKER
- SECTION MARKER
- DETAIL MARKER
- INTERIOR ELEVATION MARKER
- ROUGH FLOOR HEIGHT MARKER
- FINISH CEILING HEIGHT MARKER
- FINISHES ALIGNMENT INDICATOR
- CHANGE IN FLOOR/CLG LEVEL
- ROUGH DIMENSIONS
- FINISH DIMENSIONS
- NOTE
- STAIR TAG

WALL TYPES

- A EXTERIOR SHEATHING INSULATED 2x6 WOOD STUD FRAMING 1/2" GYP BOARD
- B EXTERIOR SHEATHING 2x6 WOOD STUD FRAMING 1/2" GYP BOARD
- C EXTERIOR SHEATHING 2x6 WOOD STUD FRAMING EXTERIOR SHEATHING
- D 1/2" GYP BOARD INSULATED 2x6 WOOD STUD FRAMING 1/2" GYP BOARD
- E 1/2" GYP BOARD 2x6 WOOD STUD FRAMING 1/2" GYP BOARD
- F 1/2" GYP BOARD 2x4 WOOD STUD FRAMING 1/2" GYP BOARD

CONSTRUCTION NOTES

- Exterior framed walls to be wall type "A" except where noted on plan.
- Interior framed walls are to be wall type "F" except where noted on plan.



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Floor Plans

A 101

PRINTED: 8/20/25

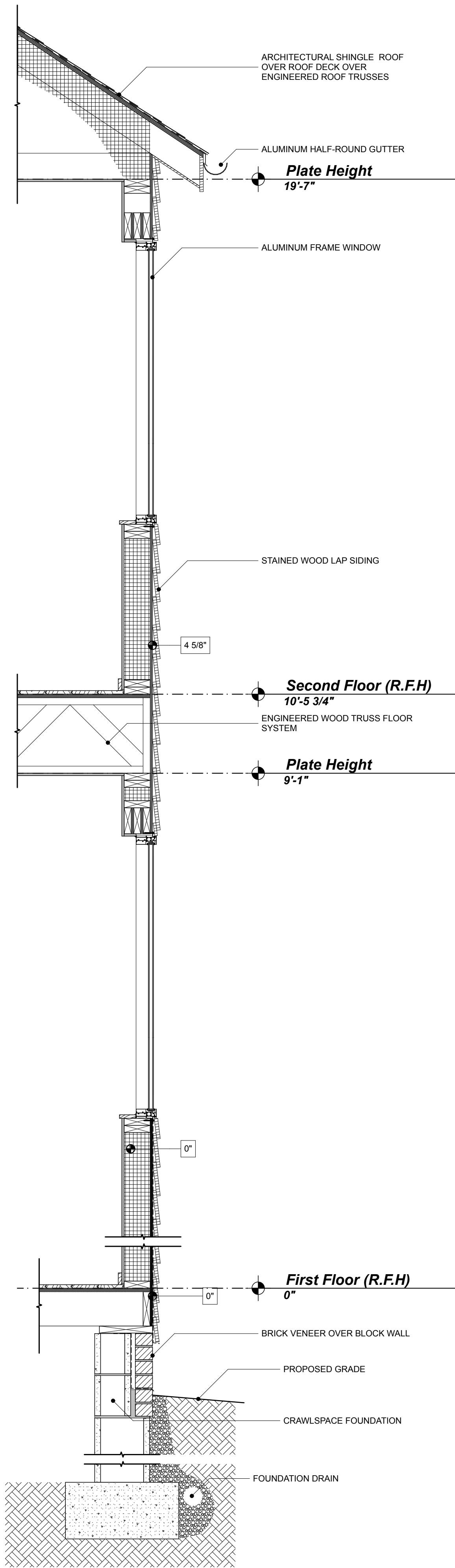
EXTERIOR FACE OF
FRAMING (BELOW)

DORMER

ARCHITECTURAL
SHINGLE ROOFING

2 ROOF Construction Plan

SCALE: 3/16" = 1'-0"



1 WALL DETAIL

SCALE: 3/4" = 1'-0"

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CONSTRUCTION LEGEND

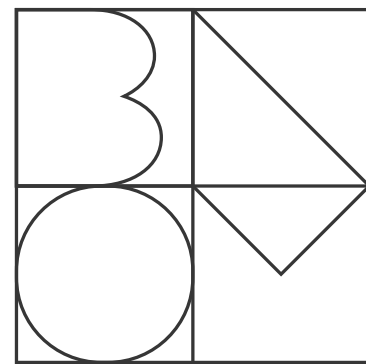
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- FINISH CEILING HEIGHT MARKER
- FINISHES ALIGNMENT INDICATOR
- CHANGE IN FLOOR/CLG LEVEL
- ROUGH DIMENSIONS
- FINISH DIMENSIONS
- NOTE
- STAIR TAG

WALL TYPES

- A EXTERIOR SHEATHING
INSULATED 2x6 WOOD STUD FRAMING
1/2" GYP BOARD
- B EXTERIOR SHEATHING
2x6 WOOD STUD FRAMING
1/2" GYP BOARD
- C EXTERIOR SHEATHING
2x6 WOOD STUD FRAMING
EXTERIOR SHEATHING
- D 1/2" GYP BOARD
INSULATED 2x6 WOOD STUD FRAMING
1/2" GYP BOARD
- E 1/2" GYP BOARD
2x6 WOOD STUD FRAMING
1/2" GYP BOARD
- F 1/2" GYP BOARD
2x4 WOOD STUD FRAMING
1/2" GYP BOARD

CONSTRUCTION NOTES

- Exterior framed walls to be wall type "A" except where noted on plan.
- Interior framed walls are to be wall type "F" except where noted on plan.



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BARRETT ST

10 Barrett Street
Greenville, South Carolina
29601

CONDITIONED AREA

FIRST FLOOR 1,312
SECOND FLOOR 863
2,175 ft²

UNCONDITIONED AREA

FRONT PORCH 358
REAR PORCH 60
418 ft²

AREA UNDER ROOF

2,593

APPLICATION SET

REVISIONS:

FIRST DRAFT: 19 JULY 2023

CONTRACT:

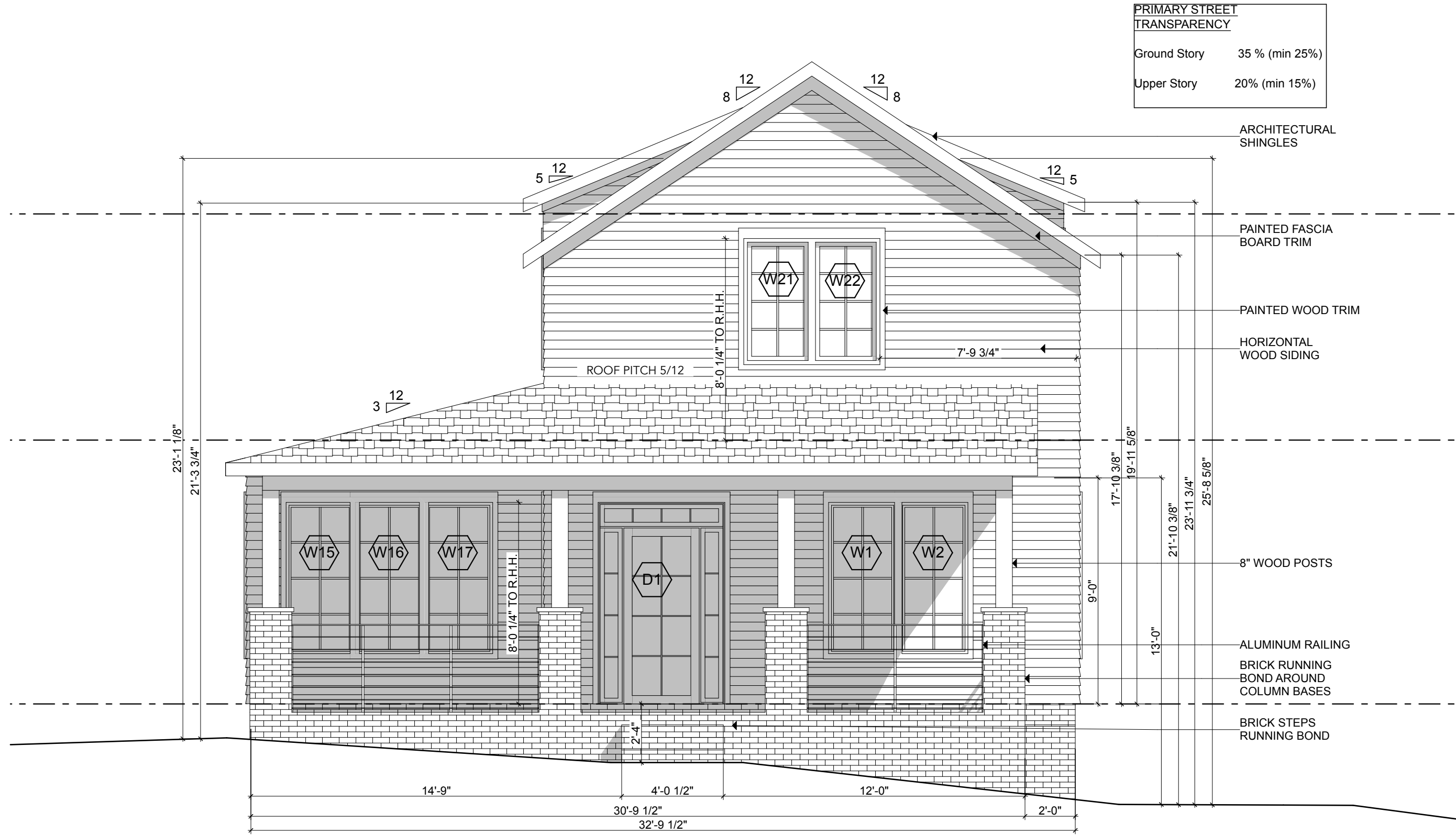
PERMIT:

FOR CONSTRUCTION:

Roof Plan and Wall
Detail

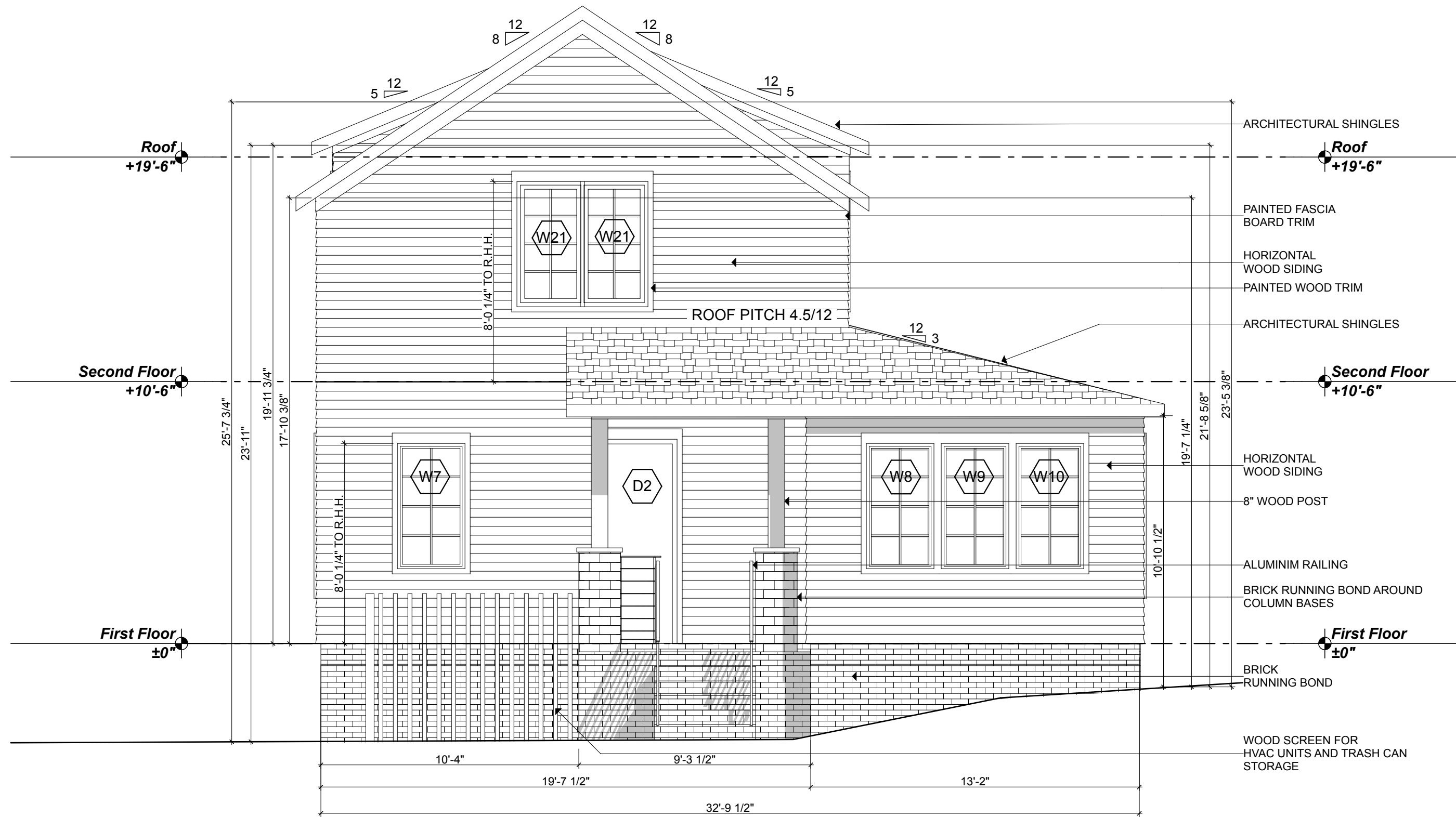
A 102

PRINTED: 8/20/25



2 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



1 REAR ELEVATION

SCALE: 1/4" = 1'-0"

DIMENSIONING CONVENTIONS

- Plan:
- Exterior foundation dimensions are taken from exterior face of foundation.
 - Exterior wall dimensions are taken from exterior face of stud.
 - Interior dimensions are from face of stud.
 - Window and door dimensions are from face of stud to opening center lines, U.N.O.
 - Cased opening dimensions given are finished dimensions.
- Elevations and Sections:
- Floor elevations are rough floor (top of subfloor).
 - Ceiling elevations are rough ceiling (top of frame wall, bottom of ceiling joist).
 - Window & door rough heads are from rough floor to top of rough opening Rough sills are then determined from the window schedule.
- Sheathing at Foundation:
- Typical exterior wall detail is for exterior face of stud to align with exterior face of masonry foundation.
 - Atypical details, if any, are identified in wall sections.

CONSTRUCTION LEGEND

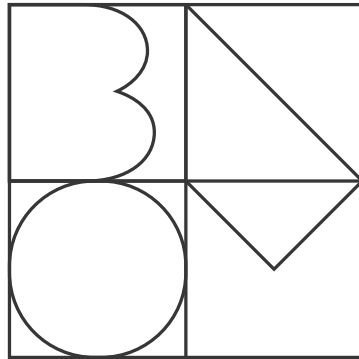
- NEW WALL
- NEW DOOR
- NEW WINDOW
- DOWNSPOUT
- CENTER LINE
- DIMENSION REGULATING LINE
- ELEVATION MARKER
- SECTION MARKER
- DETAIL MARKER
- INTERIOR ELEVATION MARKER
- ROUGH FLOOR HEIGHT MARKER
- FINISH CEILING HEIGHT MARKER
- FINISHES ALIGNMENT INDICATOR
- CHANGE IN FLOOR/CLG LEVEL
- ROUGH DIMENSIONS
- FINISH DIMENSIONS
- NOTE
- STAIR TAG

WALL TYPES

- EXTERIOR SHEATHING
INSULATED 2x6 WOOD STUD FRAMING
1/2" GYP BOARD
- EXTERIOR SHEATHING
2x6 WOOD STUD FRAMING
1/2" GYP BOARD
- EXTERIOR SHEATHING
2x6 WOOD STUD FRAMING
EXTERIOR SHEATHING
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1/2" GYP BOARD
- 1/2" GYP BOARD
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SECOND FLOOR 863
2,175 ft²

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REAR PORCH 60
418 ft²

AREA UNDER ROOF

2,593

APPLICATION SET

REVISIONS:

FIRST DRAFT: 19 JULY 2023

CONTRACT:

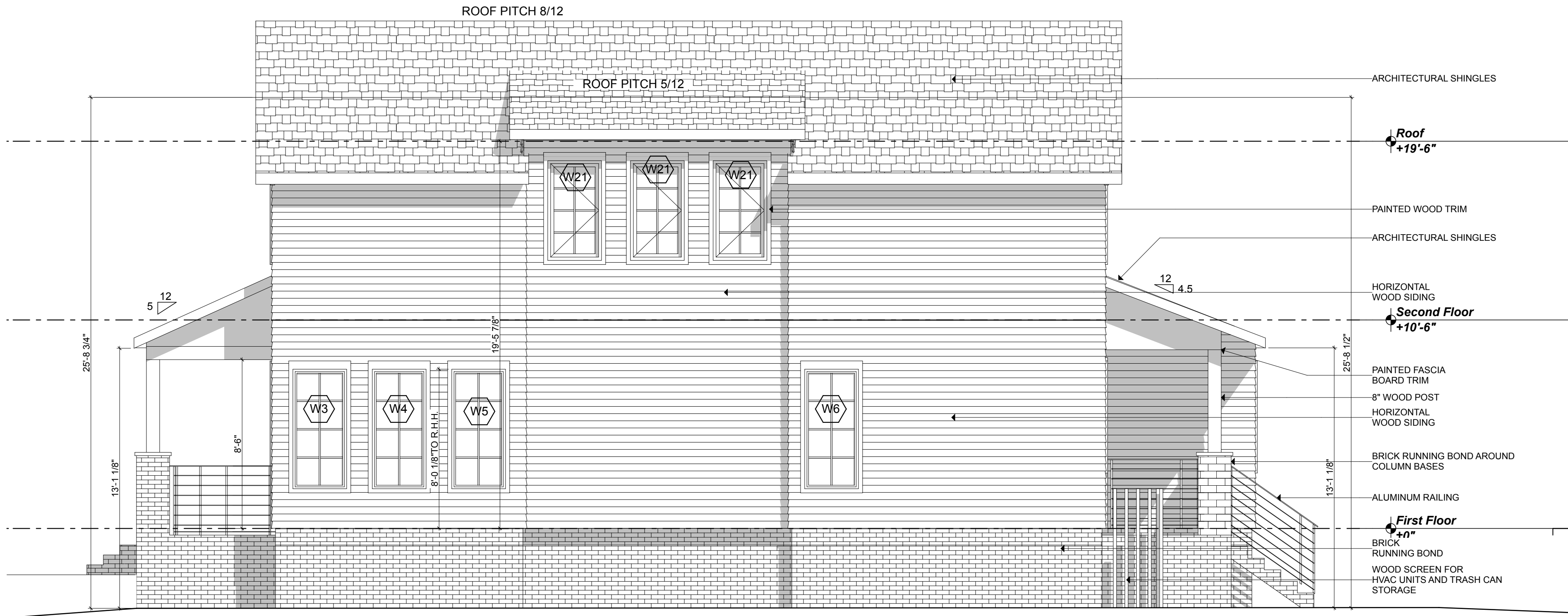
PERMIT:

FOR CONSTRUCTION:

Exterior Elevations

A 201

PRINTED: 8/20/25



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



1 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

DIMENSIONING CONVENTIONS

Plan:

- Exterior foundation dimensions are taken from exterior face of foundation.
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BARRETT ST

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CONSTRUCTION LEGEND

NEW WALL

NEW DOOR

NEW WINDOW

DOWNSPOUT

CENTER LINE

DIMENSION REGULATING LINE

ELEVATION MARKER

SECTION MARKER

DETAIL MARKER

INTERIOR ELEVATION MARKER

ROUGH FLOOR HEIGHT MARKER

FINISH CEILING HEIGHT MARKER

FINISHES ALIGNMENT INDICATOR

CHANGE IN FLOOR/CLG LEVEL

ROUGH DIMENSIONS

FINISH DIMENSIONS

NOTE

STAIR TAG

WALL TYPES

A EXTERIOR SHEATHING
INSULATED 2x6 WOOD STUD FRAMING
1/2" GYP BOARD

B EXTERIOR SHEATHING
2x6 WOOD STUD FRAMING
1/2" GYP BOARD

C EXTERIOR SHEATHING
2x6 WOOD STUD FRAMING
EXTERIOR SHEATHING

D 1/2" GYP BOARD
INSULATED 2x6 WOOD STUD FRAMING
1/2" GYP BOARD

E 1/2" GYP BOARD
2x6 WOOD STUD FRAMING
1/2" GYP BOARD

F 1/2" GYP BOARD
2x4 WOOD STUD FRAMING
1/2" GYP BOARD

CONSTRUCTION NOTES

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CONDITIONED AREA

FIRST FLOOR	1,312
SECOND FLOOR	863
	2,175 ft ²

UNCONDITIONED AREA

FRONT PORCH	358
REAR PORCH	60
	418 ft ²

AREA UNDER ROOF

	2,593
--	-------

APPLICATION SET

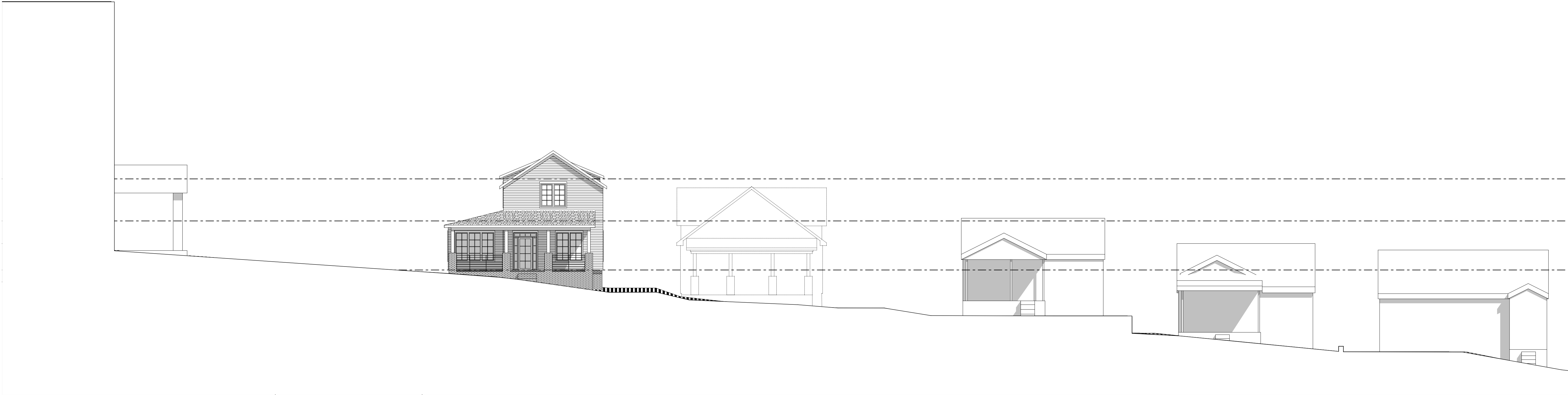
REVISIONS:

FIRST DRAFT:	19 JULY 2023
CONTRACT:	
PERMIT:	
FOR CONSTRUCTION:	

Exterior Elevations

A 202

PRINTED: 8/20/25



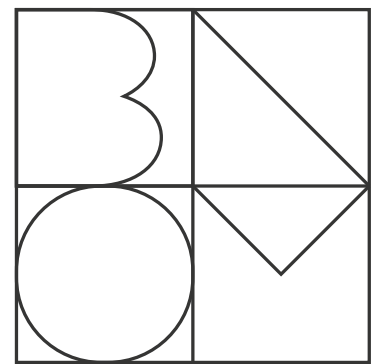
1

Street Elevation

SCALE: 3/32" = 1'-0"



SITE AND SURROUNDING HOMES



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AREA UNDER ROOF

2,593

APPLICATION SET

REVISIONS:

FIRST DRAFT:	19 JULY 2023
CONTRACT:	
PERMIT:	
FOR CONSTRUCTION:	

Street Elevation

A 203

PRINTED: 8/20/25



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10 Barrett Street
Greenville, South Carolina
29601

FIRST FLOOR	1,312
SECOND FLOOR	863
	2,175 ft²

FRONT PORCH	358
REAR PORCH	60
	418 ft²

	2,593
--	-------

FOR CONSTRUCTION:

A 301

PRINTED: 8/20/25

Sheathing at Foundation:
 - Typical exterior wall detail is for exterior face of stud to align with exterior face of masonry foundation.
 Atypical details, if any, are identified in wall sections.

	NEW WALL
	NEW DOOR
	NEW WINDOW
	DOWNSPOUT
	CENTER LINE
	DIMENSION REGULATING LINE
	ELEVATION MARKER
	SECTION MARKER
	DETAIL MARKER
	INTERIOR ELEVATION MARKER
	ROUGH FLOOR HEIGHT MARKER
	FINISH CEILING HEIGHT MARKER
	FINISHES ALIGNMENT INDICATOR
	CHANGE IN FLOOR/CLG LEVEL
	ROUGH DIMENSIONS
	FINISH DIMENSIONS
	ANNOTATION TAG
	STAIR TAG

	A	EXTERIOR SHEATHING INSULATED 2x6 WOOD STUD FR 1/2" GYP BOARD
	B	EXTERIOR SHEATHING 2x6 WOOD STUD FRAMING 1/2" GYP BOARD
	C	EXTERIOR SHEATHING 2x6 WOOD STUD FRAMING EXTERIOR SHEATHING
	D	1/2" GYP BOARD INSULATED 2x6 WOOD STUD FR 1/2" GYP BOARD
	E	1/2" GYP BOARD 2x6 WOOD STUD FRAMING 1/2" GYP BOARD
	F	1/2" GYP BOARD 2x4 WOOD STUD FRAMING 1/2" GYP BOARD

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2. Interior framed walls are to be wall type "F" except where noted on plan.

2 CROSS SECTION
SCALE: 1/4" = 1'-0"

2 CROSS SECTION
SCALE: 1/4" = 1'-0"



MATERIAL & COLOR BOARD

10 & 12 Barrett Street

AUG 20 2025

Brick Foundation and Column Base

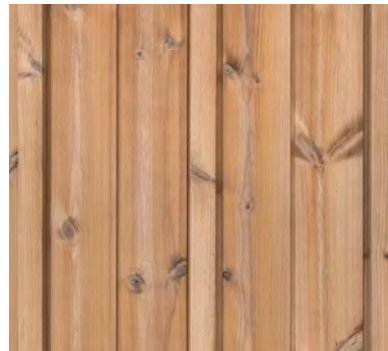
Cherokee Brick - Old Pearl River



OLD PEARL RIVER

Privacy Screen Accents

Thermowood Pine Cladding



Exterior Cladding (10 Barrett St)

Thermowood, Lap Siding
Ebony Stain



Exterior Cladding (12 Barrett St)

Thermowood, Lap Siding
Natural Stain



MATERIAL & COLOR BOARD

10 & 12 Barrett Street

AUG 20 2025

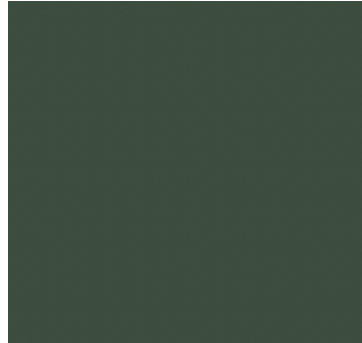
Soffits

SW0041 Dark Hunter Green



Painted Wood Posts

SW0041 Dark Hunter Green



Exterior Windows

SW0041 Dark Hunter Green



Roofing

Architectural Asphalt Shingles,
CertainTeed Landmark, Colonial Slate





**Planning Staff Report to
Historic Review Board
September 10, 2025**
for the September 18, 2025 Public Hearing

Docket Number: CA 23-955
Applicant: Konrad Nyblom
Property Owner: Tomas Nyblom
Property Location: 12 Barrett Street
Tax Map Number: 0012000102410
Zoning: RN-A, Heritage Preservation Overlay District
Proposal: **New Single-Family Residential**
Staff Recommendation: **Approval with Conditions**

Applicable Sections of the City of Greenville Code of Ordinances:

Div. 19-6.2.7 Major Historic Certificate of Appropriateness

Staff Analysis:

Proposed Structure

The proposed structure is a two-story, +/- 2,175 sf single-family residence on a vacant property in the Heritage Preservation Overlay District. The lot has been vacant as far back as 1955, per aerial imagery. The property is surrounded primarily by residential development. However, there is a large, two-story parking structure across Marshall Avenue and a large commercial building at the corner of Marshall Avenue and Barrett Street. The proposed structure is in conformance with zoning standards for the RN-A zoning district.

A previous duplex version of this development was denied by the Historic Review Board in April 2024 due to incompatibility with the historic design standards.



Heritage Neighborhood Context:

The Heritage Neighborhood is a mix of architectural styles, with the most prominent style being the bungalow style. The Design Guidelines were written to preserve and promote these neighborhoods by preventing new construction that does not respect existing characteristics and may diminish the integrity of the historic context. The applicant provided several examples of design inspiration from the neighborhood.

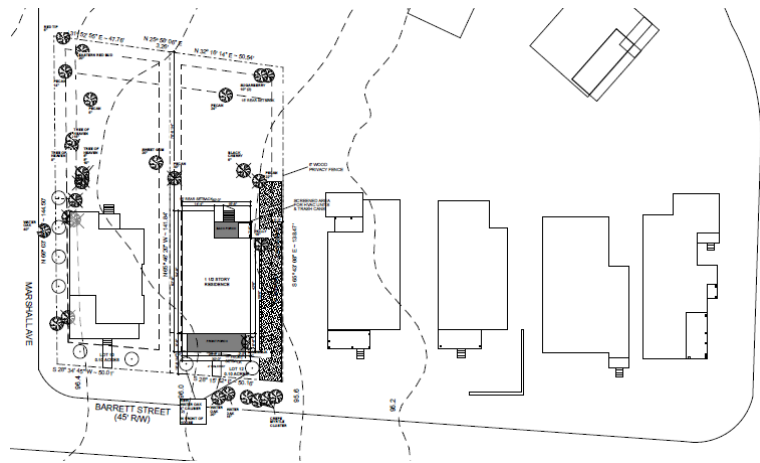


Surrounding homes in Heritage District

Preservation Overlay Design Guidelines:

AR.1 (A) of the design guidelines states that where neighboring setbacks are uniform, the new construction should be in alignment with its neighbors. **Per AR.1 (B)**, side yard setbacks should appear similar to others on the block as seen from the street. Staff finds that these criteria have been met.

AR. 2 suggests that the front of the home be oriented toward the street with a clearly identified front door and a porch that is similar in size and character to those of surrounding homes. The proposed home has a single-story porch with brick and wood columns centered on the house.



Neighborhood Site Plan

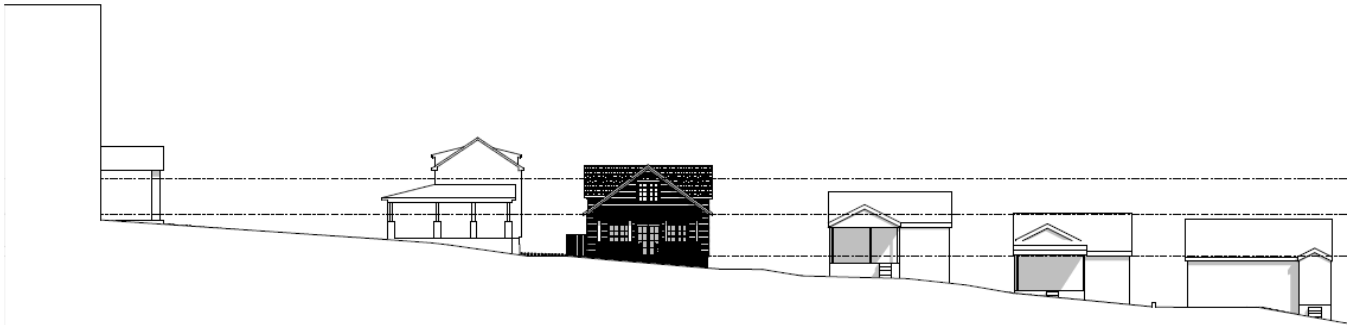
Per **AR.3**, the traditional character of the front yard should be maintained with grass lawns and pedestrian access from the front door to the sidewalk. A vertical wood fence is proposed. Staff finds this criteria has been met and the project, as proposed, is in conformance with the context of the neighborhood.

A vertical wood screen has been provided to screen the proposed HVAC unit and trash receptacles from public view, per **AR.5**. Screening must meet the requirements of the Development Code and will be reviewed when permits are submitted.



Proposed Front Elevation

AR.6 states that new buildings should relate to the established context so that the visual continuity will not be compromised. Mass and scale are among the elements of new construction that have the greatest influence on compatibility in the community. The one and a half story massing is subdivided into smaller volumes with the single-story porch stepping the scale down and dormers that break up the roof form. The proposed home is similar in scale and mass to historic homes on the street.



Barrett Street Elevation

AR. 7 of the design guidelines places a high emphasis on traditional roof forms, gabled and hipped, as a major feature of residential buildings and states that new construction should not break from this continuity. The proposed gable roof form, with cross dormers and a shed roof at the porch, is consistent with the Heritage Preservation District and the design guidelines.

AR.8 of the design guidelines states that all new construction should maintain the range of exterior wall materials currently found in the historic district, including lap siding and brick. The proposed home is primarily clad in stained horizontal thermowood lap siding with a brick foundation, architectural asphalt shingle roof, and green accent soffits, windows and posts. Staff finds that this is consistent with the neighborhood. **However, the applicant shall provide specifications for the windows and the proposed finish of the aluminum railings.**

Brick Foundation and Column Base
Cherokee Brick - Old Pearl River



OLD PEARL RIVER

Roofing
Architectural Asphalt Shingles,
CertainTeed Landmark, Colonial Slate



Exterior Cladding (12 Barrett St)

Thermowood, Lap Siding
Natural Stain



Exterior Windows
SW0041 Dark Hunter Green



AR.9 recommends that new buildings use contemporary interpretations of historic styles. The proposed structure takes its influences from 20th century southern bungalow traditions which feature a prominent broad front porch with square columns on brick piers and low-pitched gable roof form. In order to maintain a sense of visual continuity with the street, the new home maintains the basic window and door proportions, placement, and arrangement seen traditionally. Staff finds the proposed structure meets this section of the design guidelines for architectural character.

AR.10 states that the visual impacts of parking should be minimized. The proposed parking is located at the rear of the side of the structures, in accordance with this guideline and is consistent with parking locations in the neighborhood.

AR.15 of the design guidelines states that the structure should incorporate a coordinated color scheme that is simple in character. The proposed design employs a coordinated color scheme that is muted and in conformance with the design guidelines.

Summary

Overall, staff finds that the proposed structure is in character with the Heritage Preservation District in which it is located, although minor modifications will need to be made.

Staff recommends **approval with the following conditions:**

1. **The applicant must provide the missing material information for staff review, specifically, the specifications for the windows and the proposed finish of the aluminum railings.**
2. **An Affidavit of Substantial Compliance must be signed and notarized by the property owner prior to the issuance of the Certificate of Conformity.**
3. **This CA is considered a specific site development plan. As such, the CA issued for this project shall be subject to Greenville Development Code Section 19-6.2.6-9 *Lapse of approval/vested rights* and the Vested Rights Act, Article 11, of Chapter 29, Title 6, of the Code of Laws of South Carolina, 1976 (S.C. Code §§ 6-29-1510 et seq.). The CA shall be valid for a period of two years from the date of approval by the Board. The Vested Right shall be granted up to five annual extensions upon a written request for an extension that must be received from the applicant at least sixty (60) days before expiration, unless any change or amendment to the land development ordinance or regulations of the City of Greenville's Code of Ordinances were to be amended that would no longer allow execution of the site-specific development plan. At any time during the two-year period or any subsequent Vested Rights extensions, the applicant may be granted a building permit from the City Building Official. Should the CA expire at any time prior to the application for a building permit, such permit shall not be issued until a current CA is provided.**



city of greenville

APPLICATION FOR URBAN DESIGN CERTIFICATE OF APPROPRIATENESS

Contact Planning & Development (864) 467-4476 or planning@greenvillesc.gov

APPLICANT/OWNER INFORMATION

*Indicates Required Field

APPLICANT

PROPERTY OWNER

*Name:	
*Title:	
*Address:	
*State:	
*Zip:	
*Phone:	
*Email:	

PROPERTY INFORMATION

*STREET ADDRESS 12 Barrett Street

*TAX MAP #(S) 0012000102410

*ZONING CLASSIFICATION RN-A

*PRESERVATION DISTRICT/SPECIAL DESIGNATION:

☐ Downtown Review District ☐ West End Overlay ☐ Pettigru ☐ East Park ☐ Overbrook
☐ Hampton-Pinckney ☒ Heritage ☐ Colonel Elias Earle ☐ Local Landmark ☐ National Register

*Pursuant to S.C. Code Ann. § 6-29-1145, I hereby attest that the tract or parcel of land subject to this application IS NOT restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity. Initial: HMN

*ARE THERE EXISTING STRUCTURES ON THE PROPERTY? ☐ Yes ☒ No

DESCRIPTION OF REQUEST

*ORIGINAL APPLICATION # (N/A if new application) _____

To include: scope of project and response to specific guidelines and special conditions.

New Single Family Home on existing Lot in Heritage Neighborhood. See attached document for detailed responses.

INSTRUCTIONS

1. All applications and fees (made payable to the City of Greenville) for Certificate of Appropriateness must be received by the planning and development office prior to review. Applications requiring review by the Design Review Board or Historic Review Board must be submitted no later than 2:00 pm of the date reflected on the posted calendar.
 - A. DESIGN REVIEW BOARD
\$300.00, *site plan review*
\$300.00, *architectural review*
 - B. SIGNS
\$150.00
 - C. MINOR APPLICATION (STAFF REVIEW)
\$100.00
 - D. MODIFICATION TO AN APPROVED PROJECT
Major (requires review by DRB) ½ Original Fee
Minor (requires review by staff) \$50.00
 - E. INFORMAL REVIEW
\$50.00
2. Staff will review the application per Section 19-6.2.1(b)(3) for completeness and per Section 19-6.2.6-6.2.9 to determine the applicable fee structure and reviewing body.
3. **Public Notice Requirements (not applicable for minor applications).** Certificate of Appropriateness applications require public notice. The applicant is responsible for sign posting to the subject property as well as mailers to all properties within 500 feet of the property at least 15 days (but no more than 18 days) prior to the scheduled design review board meeting date. Staff will provide the applicant with instructions, a mailing list, and an affidavit of substantial compliance upon receipt of the application fee. The signed affidavit will be required with attached photos of the posted notice prior to review.
4. You must attach a complete digital set of scaled drawings of the property. A printed set of drawings is NOT required. Although construction drawings are not required, applicants should be able to provide construction drawings at the request of the DRB or HRB. Additional information may be requested at any time to fully understand the proposal. **Projects may require a two-phase DRB review process (Site Plan Review followed by Architectural Review), dependent on the scale of the proposed plans. Staff will notify the applicant upon receipt of the application if a two-phase review is required.**
5. Unless expressly determined by the administrator, all applications must contain the following:

☒ **SITE PLAN REVIEW**

- a. Site Plan Drawings (indicating footprint of existing buildings, proposed building, proposed exterior elements, demolition of existing site features, floor plan, conceptual landscape plan with materials notated, conceptual lighting, conceptual furnishing package, proposed exterior equipment, etc.).
- b. Massing Studies and Images (images shall be high resolution and should depict adjacent building, proposed building massing from various viewpoints, initial architectural details, photos of surroundings to review context, etc.).
- c. Model (digital model that includes the surrounding context with massing only, no texture or articulation is required). ***The contextual model for the Design Review boundary can be downloaded here: <https://greenvillesc.gov/364/Access-GIS-Data>, and is provided as a .skp file.***

☒ **ARCHITECTURAL REVIEW**

- d. Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- e. Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- f. Detail Drawings (include material and methods of each type of construction affecting the exterior appearance

of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and signage).

- g. Renderings (include perspective drawings, including views from pedestrian and public realm).
- h. Model (digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed sign location).

For more detail on these submittal requirements, please refer to the [Greenville Downtown Design Guidelines](#), adopted May 2017.

Please verify that all required information is reflected on the plan(s).

6. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition, the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

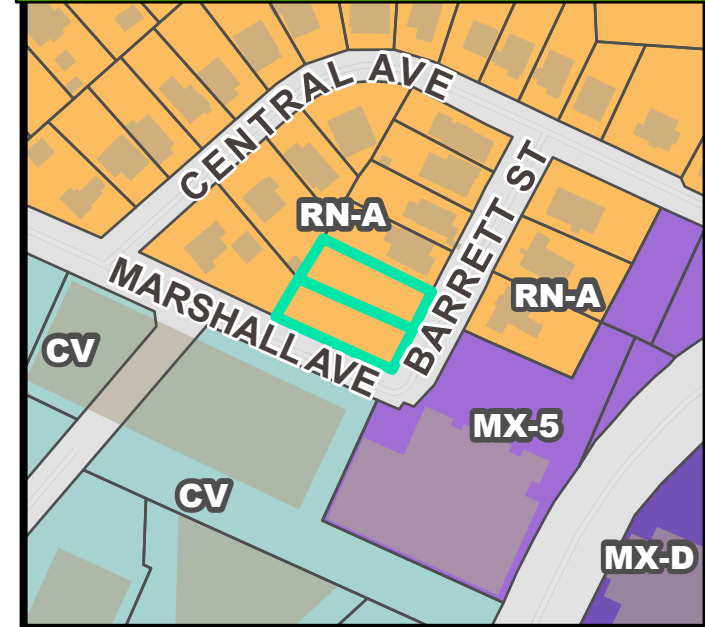
If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

*Signatures	
Applicant	
Date	5/20/25
Property Owner/Authorized Agent	
Date	8.20.25
Public Hearing information	
Public Hearing signs	

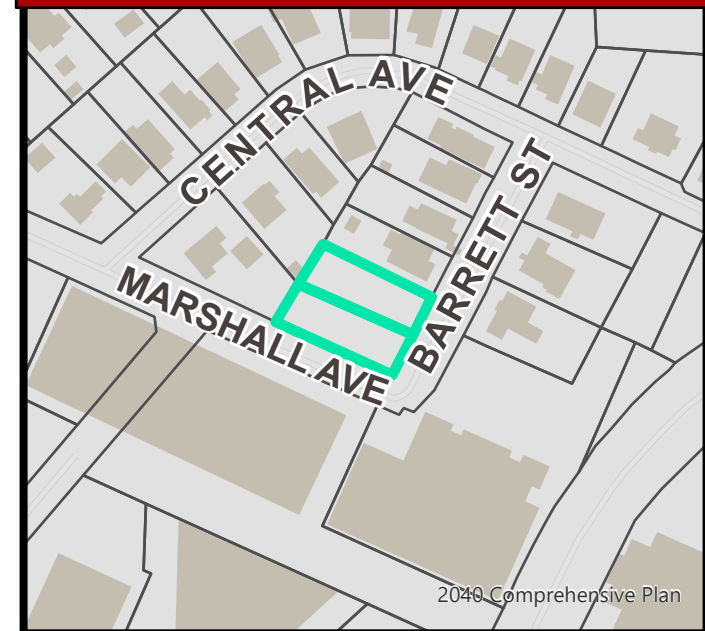
AERIAL VIEW



CURRENT ZONING



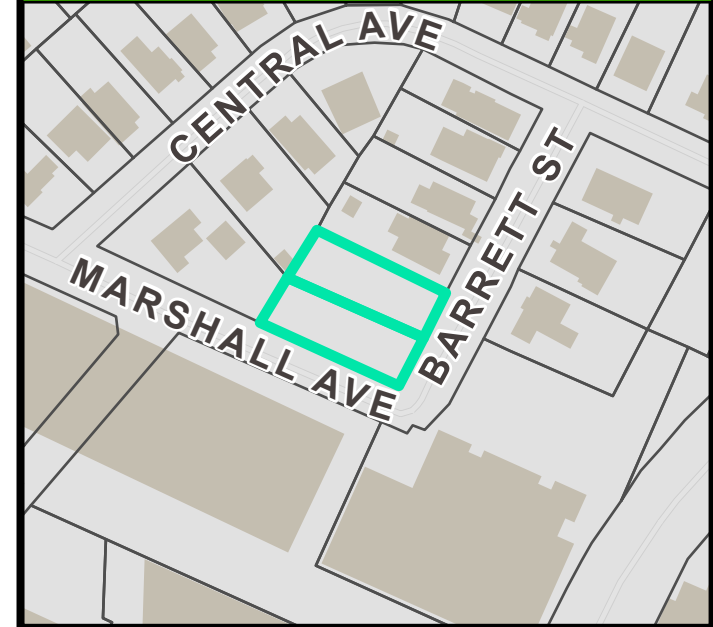
FUTURE LAND USE



NATURAL / ENVIRONMENTAL FEATURES

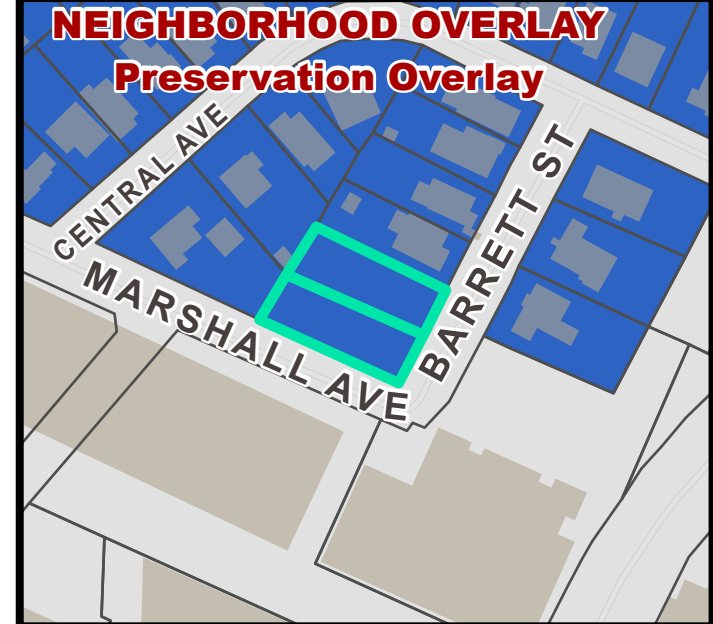


SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS

NEIGHBORHOOD OVERLAY
Preservation Overlay



Supplementary Historic Design Guidelines Compliance Statement

12 Barrett Street, Greenville SC

AR.1 – Maintain the line of building fronts

The residence is positioned 10 feet from the street to align with neighboring properties, with side setbacks mirroring adjacent homes.

AR.2 – Orient the front to the street

The primary entry faces Barrett Street and features a front porch with brick base columns and wood posts for a welcoming scale.

AR.3 – Maintain traditional front yard character

A grass lawn and minimal paved surfaces preserve the open, green front yard appearance; no inappropriate fencing is proposed.

AR.4 – Minimize exterior lighting impacts

Exterior lighting will be modest, shielded fixtures at entry points to avoid spillover into adjacent properties.

AR.5 – Screen mechanical equipment and service areas

Mechanical units and trash storage are positioned at the rear of the home and enclosed by a wood privacy fence, effectively concealing them from the street and maintaining the historic integrity of the property's primary elevations.

AR.6 – Mass and scale

This 1.5-story home stands approximately 24 feet in height and spans 30 feet in width on a 45-foot-wide lot. The proportions ensure that side yard setbacks are consistent with adjacent historic properties, while the overall mass remains compatible with the traditional residential scale of the district.

AR.7 – Building and roof form

The home's rectangular main mass, prominent front porch, and low-to-moderate pitched gabled roof are hallmarks of the Southern Bungalow style. Prevalent in Greenville's Heritage Historic Neighborhood during the early 20th century, this style is known for its welcoming porches, overhanging eaves, and emphasis on livable scale and neighborhood connection. The design reinterprets these defining features with simplified trim and modern detailing, while retaining the historic proportions and roof forms that give the Southern Bungalow its distinctive charm.

AR.8 – Materials

Brick veneer and horizontal wood siding are used on the exterior; roof shingles are architectural style in muted earth tones.

AR.9 – Visual compatibility

The home reflects the character of Greenville's Heritage Historic Neighborhood, where Southern Bungalow, cottage, and other early 20th-century residential styles are prevalent. As referenced in the Building and Roof Form section, this design draws most directly from the Southern Bungalow tradition, featuring a prominent front porch, low eave overhangs, and balanced massing. The simplified detailing, clean trim profiles, and restrained material palette allow it to read as a contemporary interpretation while preserving the scale, rhythm, and welcoming character that define historic Southern Bungalow and cottage architecture in this district.

AR.10 – Parking

A driveway accesses a rear parking location, eliminating the need for front yard parking.

AR.12 – Additions

As new construction, the design does not include additions; any future expansion will be rear-set and subordinate.

AR.14 – Outbuildings

No accessory building is proposed; any future outbuilding will be placed to the rear and be visually subordinate.

AR.15 – Color

Colors will be historically compatible, with subdued main tones, painted trim, and earth-toned roofing.

BARRETT STREET

12 Barrett Street
Greenville, South Carolina 29601

Drawing Index

T001	Title Sheet
AS100	Site Plan
A101	Floor Plans
A102	Roof Plan and Wall Detail
A201	Exterior Elevations
A202	Exterior Elevations
A203	Street Elevation
A301	Building Sections

Property Information

Project Type: Single Family Dwelling

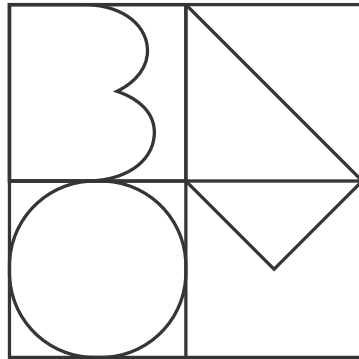
Owners: Cobblestone Homes LLC

Site Address:
12 Barrett Street
Greenville, South Carolina 29601

Assessor Parcel Number:
TMS 0531010100207

Zoning: RN-A

Setbacks:
Front 10 feet
Side 5 feet
Rear 5 feet



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General Notes

- 1. The Work:**
All work shall conform to all applicable codes and ordinances.
- 2. Cleaning upon Completion of Work:**
At the completion of work, the Contractor shall be responsible to clean areas of the house where work has been done thoroughly, including, but not limited to, the following items: all carpeted areas shall be vacuumed, all hard surfaced floors shall be mopped.All bathrooms & fixtures shall be cleaned.All windows shall be cleaned on the inside.All new windows shall be cleaned inside & out. All walls, inside & out, shall be dusted of construction dust. All new light fixtures shall be dusted.
- 3. Unforeseen Conditions:**
Contractor shall promptly notify the Owner & Architect of any condition which requires the Contractor to perform work which could not have been reasonably ascertained from either the construction documents or inspection of existing conditions prior to commencement of work.If such condition is found to exist, the Contractor shall submit a Change Order for the remedying of the condition.
- 4. Change Orders:**
Before commencement of any work that makes changes to the contract sum or contract time, written authorization must be obtained from the architect. Work that proceeds without written authorization from the Architect is at the Contractor's own risk.
- 5. Dimensions:**
DO NOT SCALE SET DRAWINGS. Use figures given for dimensions.If necessary dimensions or items are missing, contact Architect for clarification & do not proceed on any work without correct & complete information. Work that is installed on the basis of incorrectly assumed dimensions may be subject to correction at Contractor's expense.
- 6. Pre-Construction Meeting:**
After the awarding of the contract, and prior to the start of construction, Contractor shall conduct a pre-construction meeting to review the drawings and notes in detail with the Architect and project Site Foreman.
- 7. Shop Drawing/Order Review:**
The following items will be required to be reviewed by the Architect prior to the ordering or fabrication of building elements:

Orders:
-Windows & Exterior Doors
-Interior Doors

Shop Drawings:
-Custom Cabinetry
-Outdoor Cabinetry
-Custom trims
-Stairs & Associated Railings
-Final HVAC Plans & Specifications from HVAC Subcontractor
-Steel Structure
-Custom Fireplace Details

The Architect will require up to two weeks of review time for each item. Contractor shall build review time into their schedule.

8. Samples and Submittals:
Where required, the contractor shall submit samples for Architect and Owner's review and final approval. Contractor should allow for two weeks of review time on the Owner and Architect's part. Where required, the contractor shall submit samples for Architect and Owner's review and final approval. Contractor should allow for two weeks of review time on the Owner and Architect's part.

Samples:
-Powdercoat finish for steel elements
-Stucco mock-up (color and finish texture)
-Custom metal finishes
-Custom lighting fixtures

9. On-Site Protection:
Provide protection, shoring and bracing as required by site conditions in order to maintain a safe job site and protect unfinished construction elements.

205 Wade Hampton Blvd
Greenville, SC 29609

864.991.1640
hello@blomdesignstudio.com

www.blomdesignstudio.com

BARRETT ST

12 Barrett Street
Greenville, South Carolina
29601

CONDITIONED AREA

FIRST FLOOR	1,432
SECOND FLOOR	819
	2,251 ft²

UNCONDITIONED AREA

FRONT PORCH	208
REAR PORCH	72
	280 ft²

AREA UNDER ROOF

2,517

APPLICATION SET

REVISIONS:

FIRST DRAFT: 21 MAY 2025

CONTRACT:

PERMIT:

FOR CONSTRUCTION:

Title Sheet

T001

PRINTED: 8/20/25

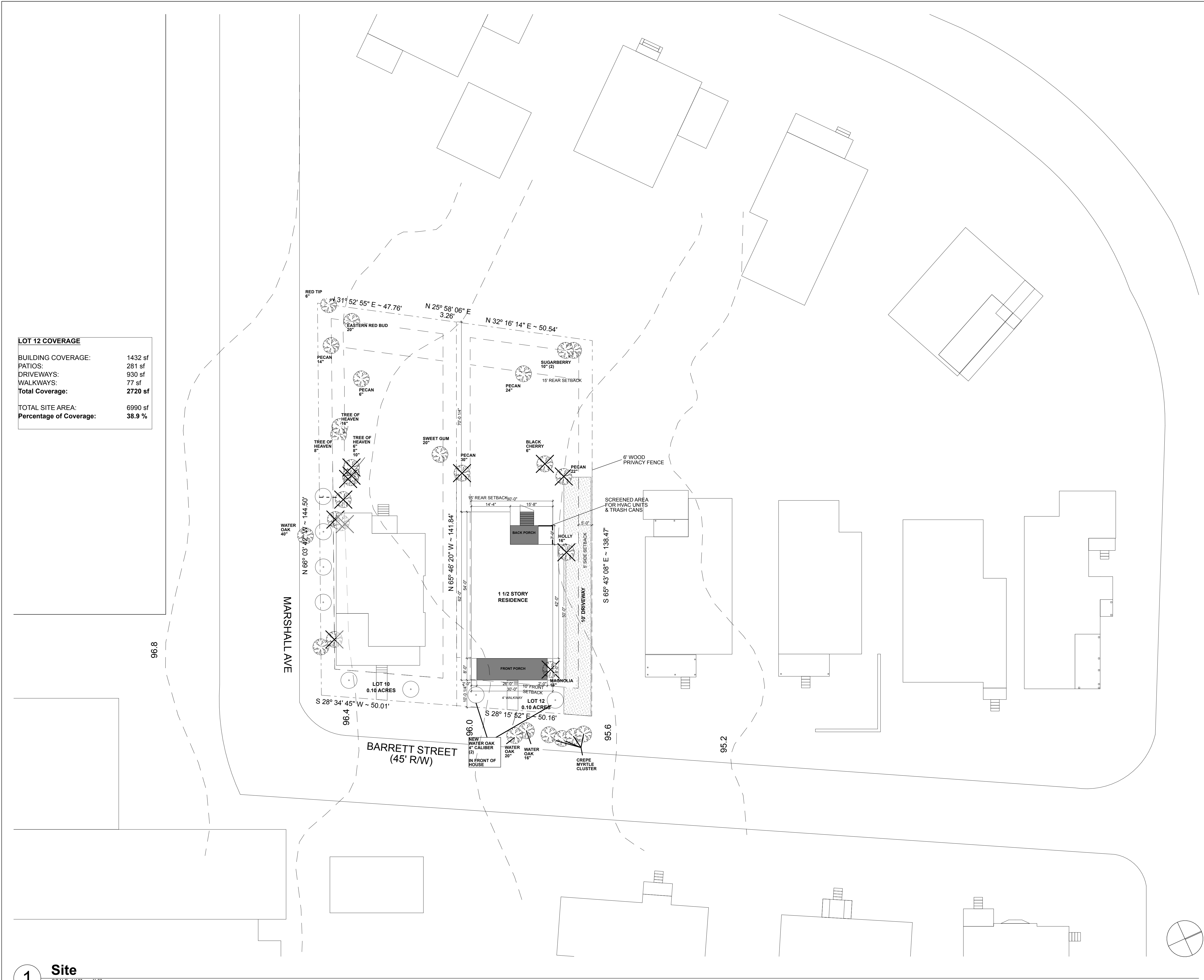


RENDERINGS ARE FOR VISUALIZATION PURPOSE ONLY, PLEASE REFER TO ELEVATION DRAWINGS FOR DETAILS



RENDERINGS ARE FOR VISUALIZATION PURPOSE ONLY, PLEASE REFER TO ELEVATION DRAWINGS FOR DETAILS





LOT 12 COVERAGE	
BUILDING COVERAGE:	1432 sf
PATIOS:	281 sf
DRIVEWAYS:	930 sf
WALKWAYS:	77 sf
Total Coverage:	2720 sf
TOTAL SITE AREA:	6990 sf
Percentage of Coverage:	38.9 %

VICINITY MAP

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SITE NOTES

1. Finished grades are indicated on plans to show design intent. Contractor shall determine cut/fill requirements.

SITE LEGEND

PROPOSED CONTOURS

PROPOSED CONTOURS

EXISTING CONTOURS

PROPOSED CONTOURS

EXISTING SPOT ELEVATION

IRON FENCE

WOOD FENCE

SANITARY SEWER

STORM SEWER

GAS LINE

DOWNSPOUT

TREE

LIMIT OF DISTURBANCE

SILT FENCE

EX BUILDING

NEW BUILDING

LINES FOR SITE FEATURES

SITE CONSTRUCTION NOTES

1. TBD

CONDITIONED AREA

FIRST FLOOR1,432

SECOND FLOOR819

2,251 ft²

UNCONDITIONED AREA

FRONT PORCH208

REAR PORCH72

280 ft²

AREA UNDER ROOF

2,517

APPLICATION SET

REVISIONS:

FIRST DRAFT:21 MAY 2025

CONTRACT:

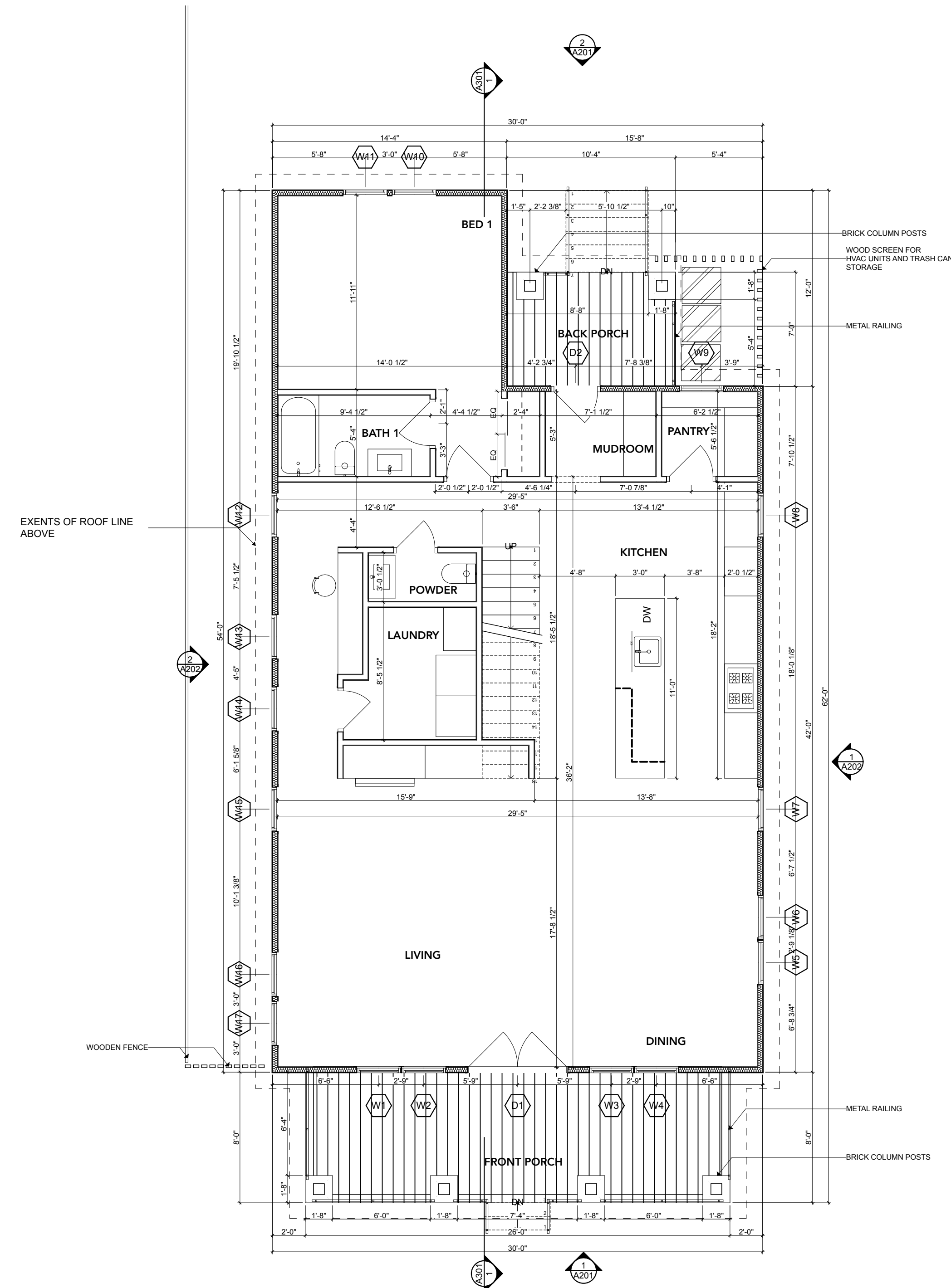
PERMIT:

FOR CONSTRUCTION:

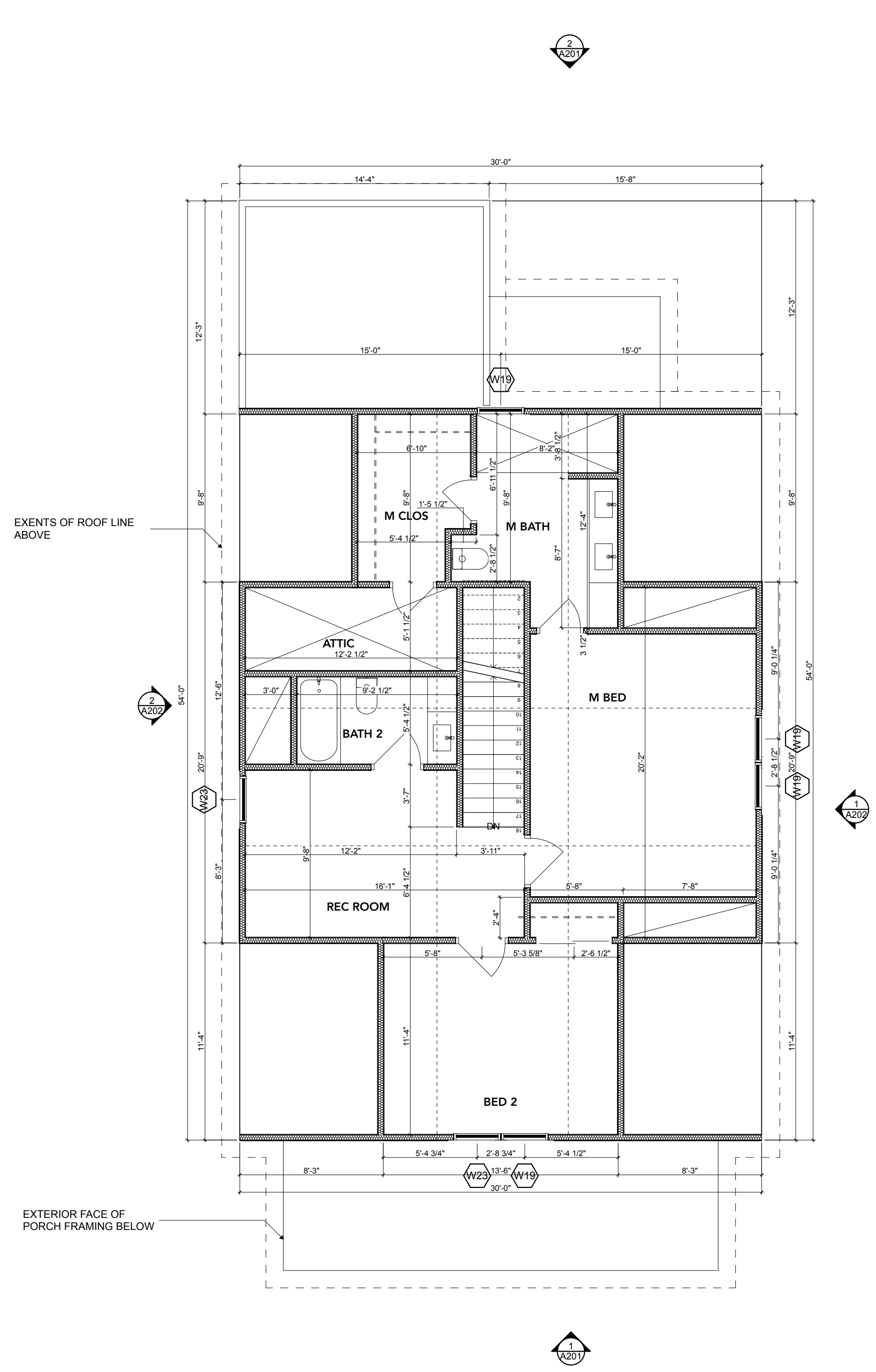
Site Plan

AS100

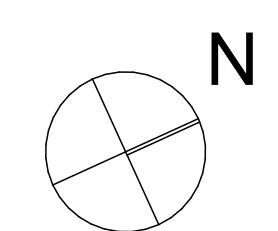
PRINTED: 8/28/25



1 FIRST FLOOR Construction Plan
SCALE: 3/16" = 1'-0"



2 SECOND FLOOR Construction Plan
SCALE: 3/16" = 1'-0"



DIMENSIONING CONVENTIONS

Plan:

- Exterior foundation dimensions are taken from exterior face of foundation.
- Exterior wall dimensions are taken from exterior face of stud.
- Interior dimensions are from face of stud.
- Window and door dimensions are from face of stud to opening center lines, U.N.O.
- Cased opening dimensions given are finished dimensions.

Elevations and Sections:

- Floor elevations are rough floor (top of subfloor).
- Ceiling elevations are rough ceiling (top of frame wall, bottom of ceiling joist).
- Window & door rough heads are from rough floor to top of rough opening Rough sills are then determined from the window schedule.

Sheathing at Foundation:

- Typical exterior wall detail is for exterior face of stud to align with exterior face of masonry foundation.
- Atypical details, if any, are identified in wall sections.

CONSTRUCTION LEGEND	
	NEW WALL
	NEW DOOR
	NEW WINDOW
	DOWNSPOUT
	CENTER LINE
	DIMENSION REGULATING LINE
	ELEVATION MARKER
	SECTION MARKER
	DETAIL MARKER
	INTERIOR ELEVATION MARKER
	ROUGH FLOOR HEIGHT MARKER
	FINISH CEILING HEIGHT MARKER
	FINISHES ALIGNMENT INDICATOR
	CHANGE IN FLOOR/CLG LEVEL
	ROUGH DIMENSIONS
	FINISH DIMENSIONS
	NOTE
	STAIR TAG

WALL TYPES	
	A EXTERIOR SHEATHING INSULATED 2x6 WOOD STUD FRAMING 1/2" GYP BOARD
	B EXTERIOR SHEATHING 2x6 WOOD STUD FRAMING 1/2" GYP BOARD
	C EXTERIOR SHEATHING 2x6 WOOD STUD FRAMING EXTERIOR SHEATHING
	D 1/2" GYP BOARD INSULATED 2x6 WOOD STUD FRAMING 1/2" GYP BOARD
	E 1/2" GYP BOARD 2x6 WOOD STUD FRAMING 1/2" GYP BOARD
	F 1/2" GYP BOARD 2x4 WOOD STUD FRAMING 1/2" GYP BOARD

CONSTRUCTION NOTES

- Exterior framed walls to be wall type "A" except where noted on plan.
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CONDITIONED AREA	
FIRST FLOOR	1,432
SECOND FLOOR	819
	2,251 ft²

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FRONT PORCH	208
REAR PORCH	72
	280 ft²

AREA UNDER ROOF	2,517
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APPLICATION SET

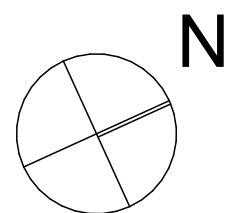
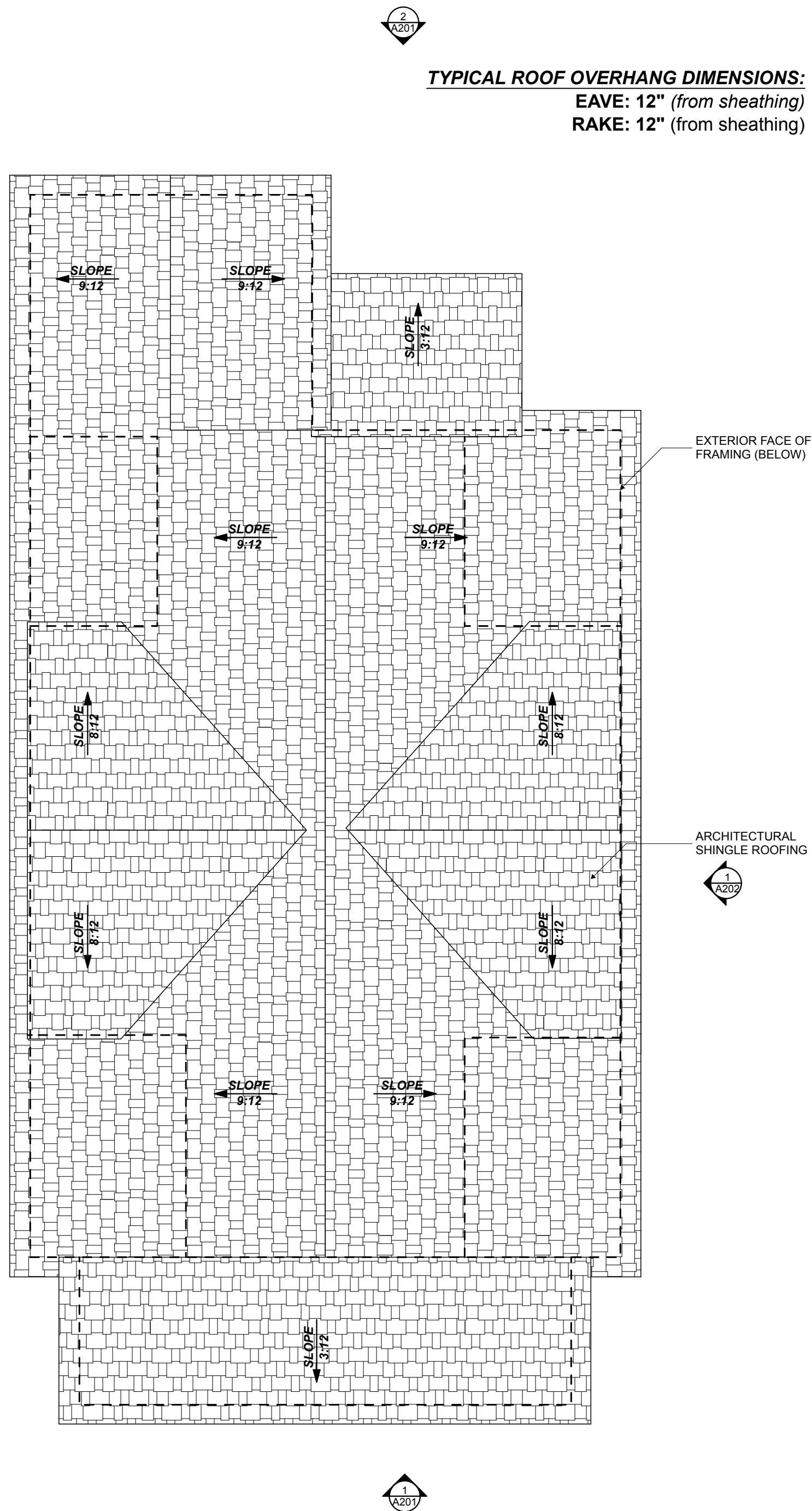
REVISIONS:	
FIRST DRAFT:	21 MAY 2025
CONTRACT:	
PERMIT:	
FOR CONSTRUCTION:	

Floor Plans

A 101

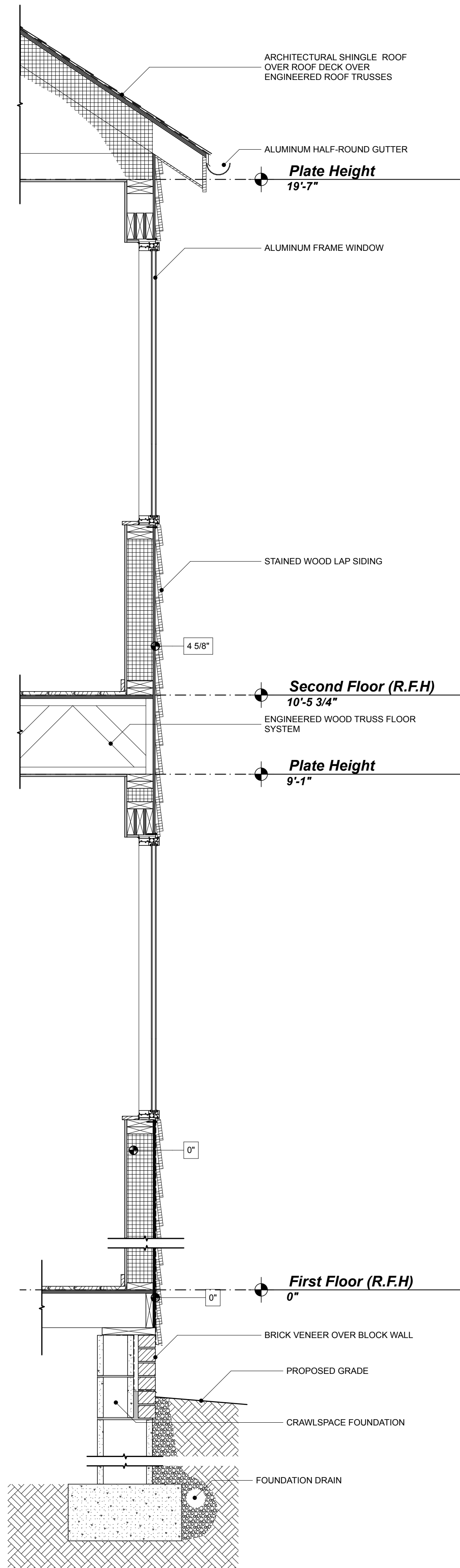
2 ROOF Construction Plan

SCALE: 3/16" = 1'-0"



1 WALL DETAIL

SCALE: 3/4" = 1'-0"



DIMENSIONING CONVENTIONS

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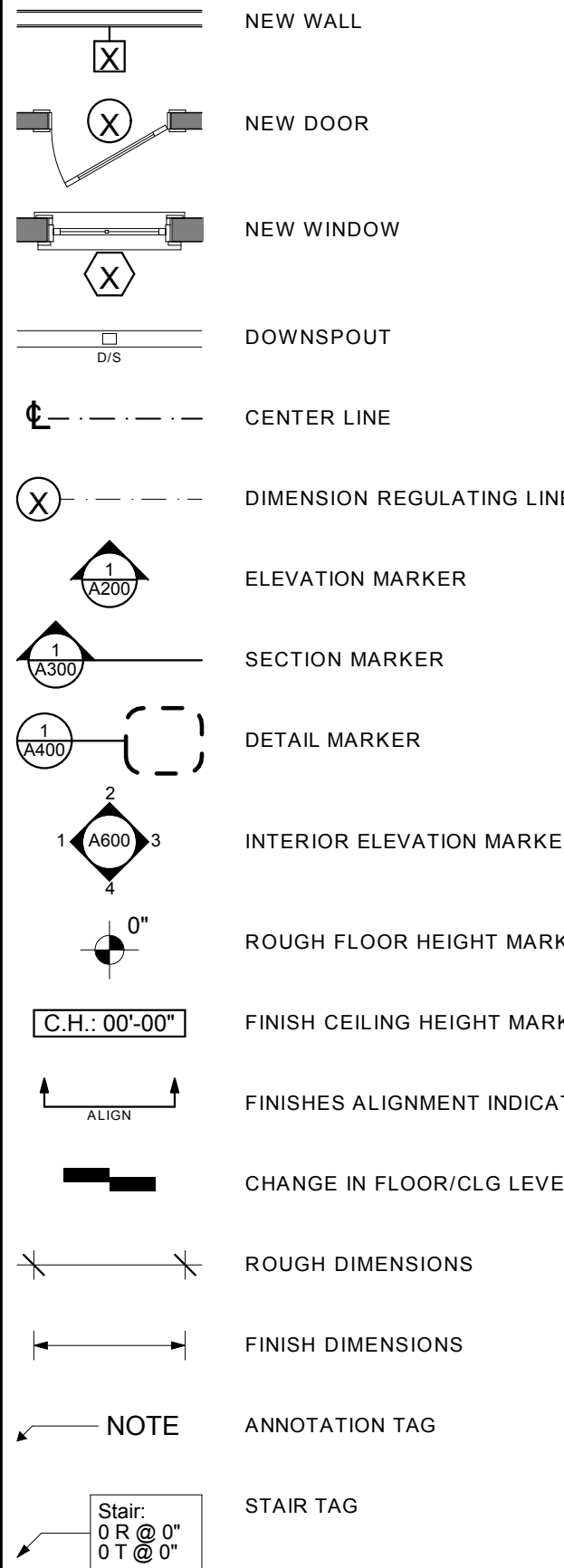
Elevations and Sections:

- Floor elevations are rough floor (top of subfloor).
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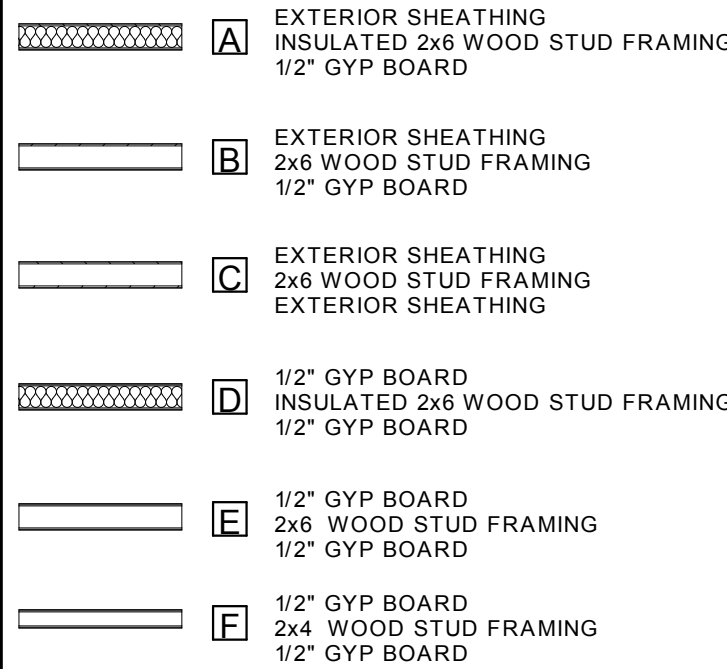
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CONSTRUCTION LEGEND

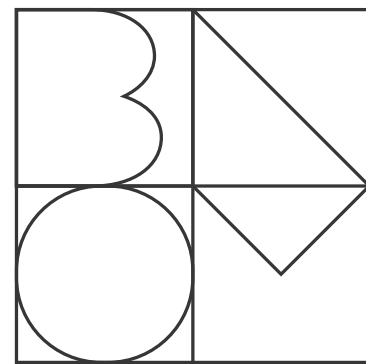


WALL TYPES



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	2,251 ft²

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REAR PORCH	72
	280 ft²

AREA UNDER ROOF

2,517

APPLICATION SET

REVISIONS:

FIRST DRAFT: 21 MAY 2025

CONTRACT:

PERMIT:

FOR CONSTRUCTION:

Roof Plan and Wall
Detail

A 102

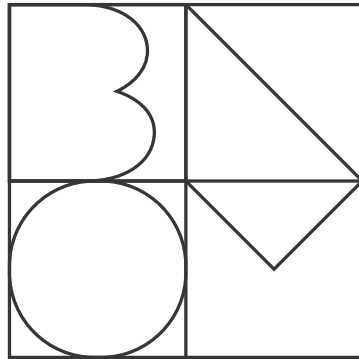
PRINTED: 8/20/25

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CONSTRUCTION LEGEND

- NEW WALL
- NEW DOOR
- NEW WINDOW
- DOWNSPOUT
- CENTER LINE
- DIMENSION REGULATING LINE
- ELEVATION MARKER
- SECTION MARKER
- DETAIL MARKER
- INTERIOR ELEVATION MARKER
- ROUGH FLOOR HEIGHT MARKER
- FINISH CEILING HEIGHT MARKER
- FINISHES ALIGNMENT INDICATOR
- CHANGE IN FLOOR/CLG LEVEL
- ROUGH DIMENSIONS
- FINISH DIMENSIONS
- NOTE
- STAIR TAG

WALL TYPES

- EXTERIOR SHEATHING
INSULATED 2x6 WOOD STUD FRAMING
1/2" GYP BOARD
- EXTERIOR SHEATHING
2x6 WOOD STUD FRAMING
1/2" GYP BOARD
- EXTERIOR SHEATHING
2x6 WOOD STUD FRAMING
EXTERIOR SHEATHING
- 1/2" GYP BOARD
INSULATED 2x6 WOOD STUD FRAMING
1/2" GYP BOARD
- 1/2" GYP BOARD
2x6 WOOD STUD FRAMING
1/2" GYP BOARD
- 1/2" GYP BOARD
2x4 WOOD STUD FRAMING
1/2" GYP BOARD

CONSTRUCTION NOTES

- Exterior framed walls to be wall type "A" except where noted on plan.
- Interior framed walls are to be wall type "F" except where noted on plan.

CONDITIONED AREA

FIRST FLOOR 1,432
SECOND FLOOR 819
2,251 ft²

UNCONDITIONED AREA

FRONT PORCH 208
REAR PORCH 72
280 ft²

AREA UNDER ROOF

2,517

APPLICATION SET

REVISIONS:

FIRST DRAFT: 21 MAY 2025

CONTRACT:

PERMIT:

FOR CONSTRUCTION:

Exterior Elevations

A201

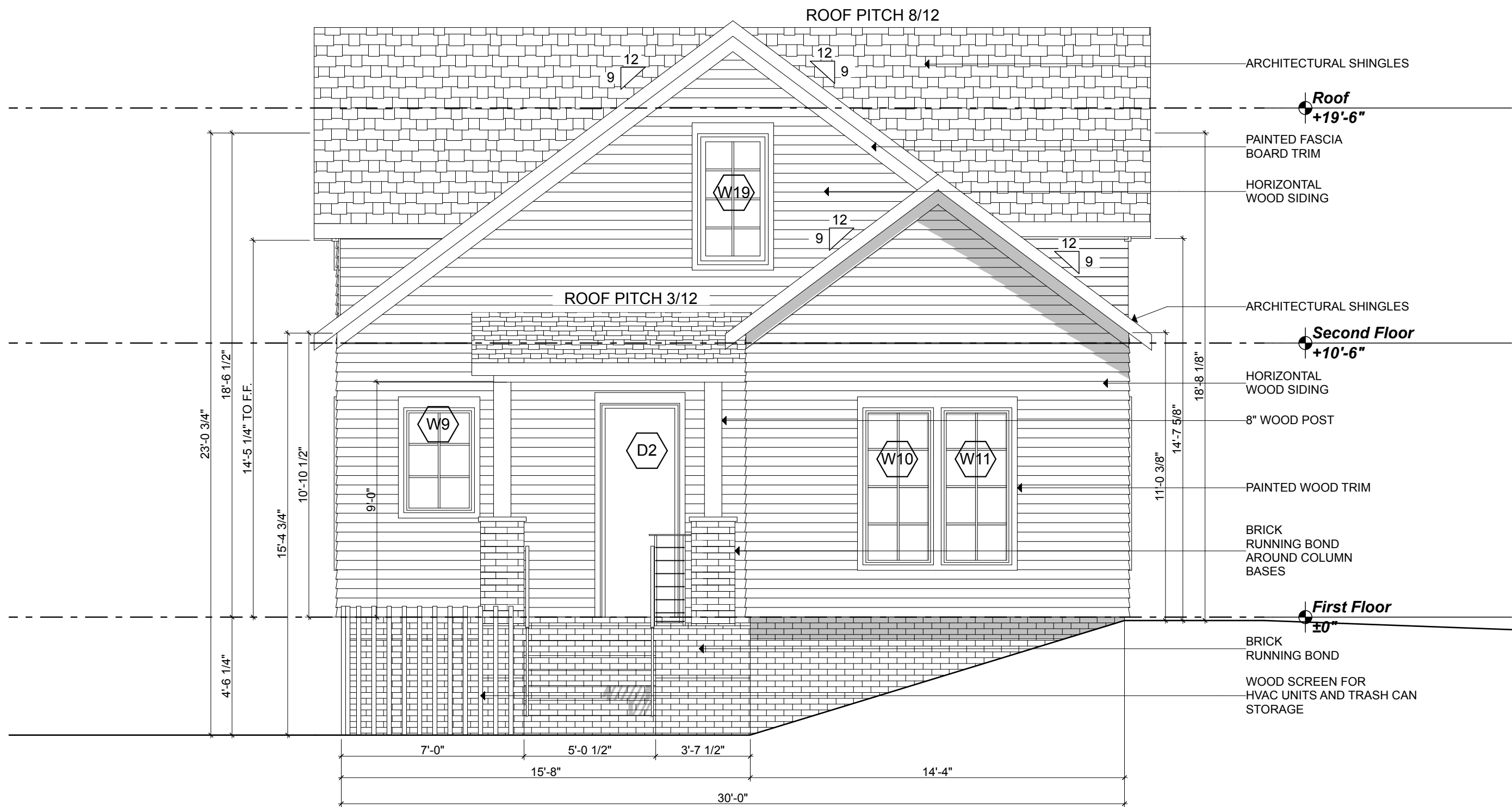
PRINTED: 8/20/25

PRIMARY STREET TRANSPARENCY	
Ground Story	37 % (min 25%)
Upper Story	18% (min 15%)



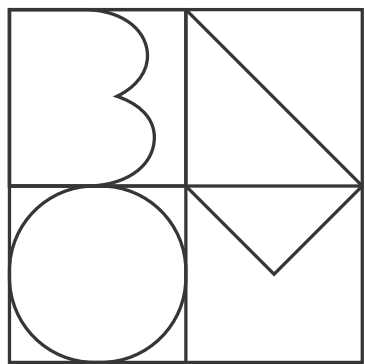
2 FRONT ELEVATION

SCALE: 1/4" = 1'-0"



1 REAR ELEVATION

SCALE: 1/4" = 1'-0"



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	2,251 ft²

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	280 ft²

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	2,517
--	--------------

APPLICATION SET

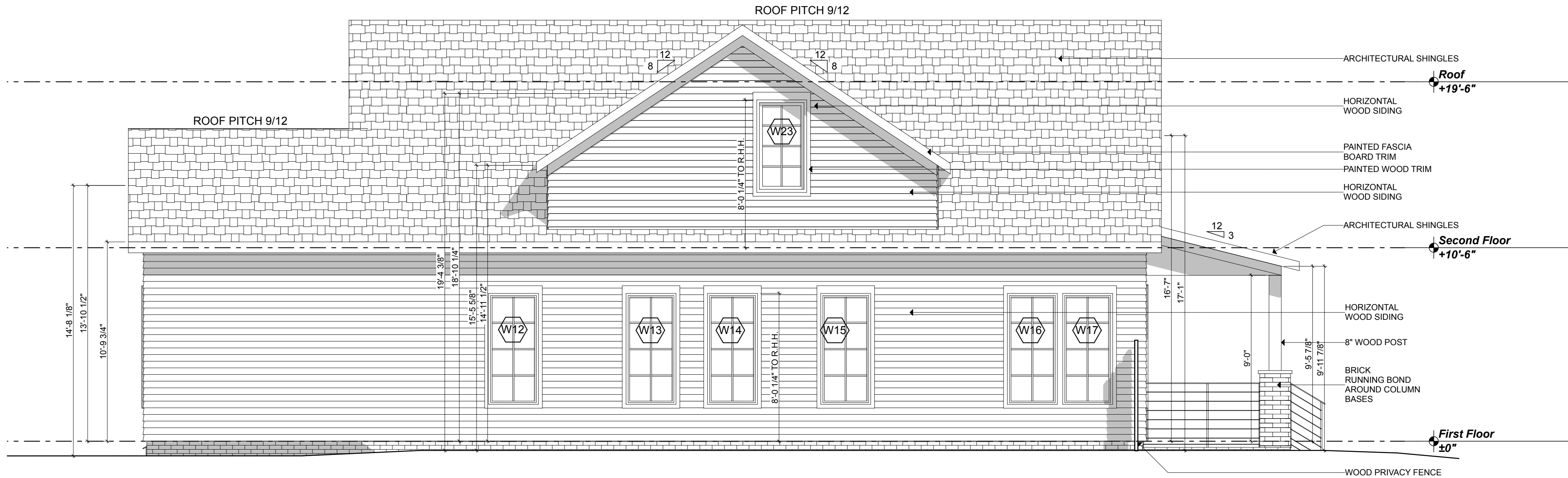
REVISIONS:

FIRST DRAFT:	21 MAY 2025
CONTRACT:	
PERMIT:	
FOR CONSTRUCTION:	

Exterior Elevations

A 202

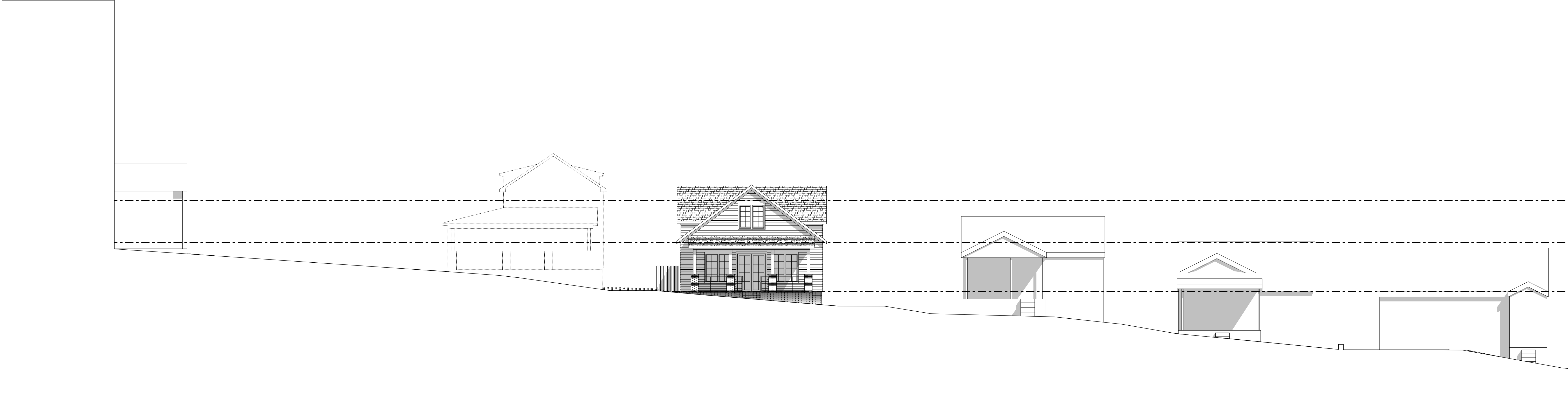
PRINTED: 8/20/25



2 LOT 12 Left Side Elevation
SCALE: 1/4" = 1'-0"



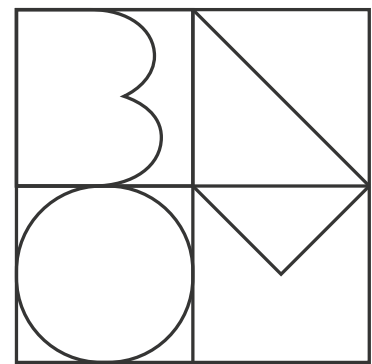
1 LOT 12 Right Side Elevation
SCALE: 1/4" = 1'-0"



1 **Street Elevation**
SCALE: 3/32" = 1'-0"



SITE AND SURROUNDING HOMES



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REAR PORCH	72
	280 ft²

AREA UNDER ROOF	
	2,517

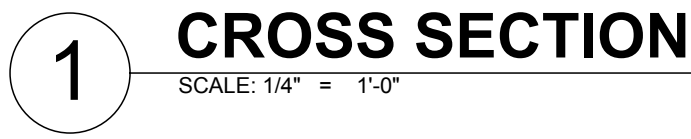
APPLICATION SET

REVISIONS:	
FIRST DRAFT:	21 MAY 2025
CONTRACT:	
PERMIT:	
FOR CONSTRUCTION:	

Street Elevation

A 203

PRINTED: 8/20/25



DIMENSIONING CONVENTIONS

Plan:

- Exterior foundation dimensions are taken from exterior face of foundation.
- Exterior wall dimensions are taken from exterior face of stud.
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Sheathing at Foundation

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Atypical details, if any, are identified in wall sections.

CONSTRUCTION LEGEND

NEW WALL

NEW DOOR

NEW WINDOW

D/S
DOWNSPOUT

CENTER LINE

DIMENSION REGULATING LINE

ELEVATION MARKER

SECTION MARKER

DETAIL MARKER

INTERIOR ELEVATION MARKER

ROUGH FLOOR HEIGHT MARKER

C.H. 00'-00"
FINISH CEILING HEIGHT MARKER

ALIGN
FINISHES ALIGNMENT INDICATOR

CHANGE IN FLOOR/CLG LEVEL

ROUGH DIMENSIONS

FINISH DIMENSIONS

NOTE
ANNOTATION TAG

Stair:
0 R @ 0°
0 T @ 0°
STAIR TAG

WALL TYPES

A EXTERIOR SHEATHING
INSULATED 2x6 WOOD STUD FRAMING
1/2" GYP BOARD

B EXTERIOR SHEATHING
2x6 WOOD STUD FRAMING
1/2" GYP BOARD

C EXTERIOR SHEATHING
2x6 WOOD STUD FRAMING
EXTERIOR SHEATHING

D 1/2" GYP BOARD
INSULATED 2x6 WOOD STUD FRAMING
1/2" GYP BOARD

E 1/2" GYP BOARD
2x6 WOOD STUD FRAMING
1/2" GYP BOARD

F 1/2" GYP BOARD
2x4 WOOD STUD FRAMING
1/2" GYP BOARD

CONSTRUCTION NOTES

1. Exterior framed walls to be wall type "A" except where noted on plan.

2. Interior framed walls are to be wall type "F" except where noted on plan.

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APPLICATION SET

REVISIONS:

FIRST DRAFT: 21 MAY 2025

CONTRACT:

PERMIT:

FOR CONSTRUCTION:

Building Sections

A301

PRINTED: 8/20/2025



MATERIAL & COLOR BOARD

10 & 12 Barrett Street

AUG 20 2025

Brick Foundation and Column Base

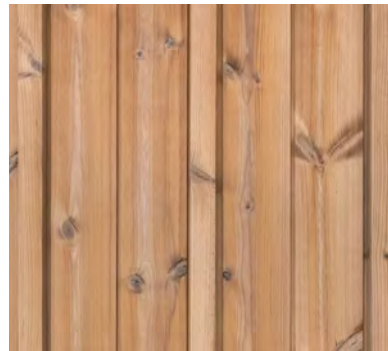
Cherokee Brick - Old Pearl River



OLD PEARL RIVER

Privacy Screen Accents

Thermowood Pine Cladding



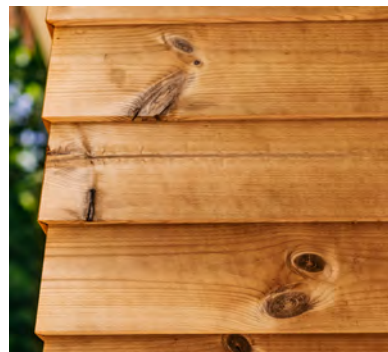
Exterior Cladding (10 Barrett St)

Thermowood, Lap Siding
Ebony Stain



Exterior Cladding (12 Barrett St)

Thermowood, Lap Siding
Natural Stain



MATERIAL & COLOR BOARD

10 & 12 Barrett Street

AUG 20 2025

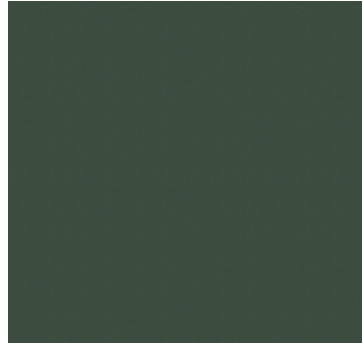
Soffits

SW0041 Dark Hunter Green



Painted Wood Posts

SW0041 Dark Hunter Green



Exterior Windows

SW0041 Dark Hunter Green



Roofing

Architectural Asphalt Shingles,
CertainTeed Landmark, Colonial Slate

