



Public Notice

Planning and Zoning

From: Planning and Development Services Staff
Subject: Upcoming Applications for the Board of Zoning Appeals
Date: October 29, 2025

Meeting Location

The City of Greenville Board of Zoning Appeals will hold an in-person Public Hearing for the following items on **Thursday, November 13, 2025 at 4:00 PM** at Greenville City Hall, Council Chambers, 10th Floor at **206 South Main Street**. Those wishing to provide comment on an item may either provide written comment to staff or attend the in-person meeting.

Citizens may also view the meeting at the following web address:

<https://www.greenvillesc.gov/1694/City-Meetings-Listing>

The City of Greenville Board of Zoning Appeals will hold a Public Hearing on **Thursday, November 13, 2025 at 4:00 PM**, for the purpose of considering the following Applications:

OLD BUSINESS

A. A 25-307 *Requests deferral to January 8, 2026 meeting*

Application by FMO Real Estate, LLC to **APPEAL** the administrator's decision to deny a permit to install a digital face on a billboard in a MX-D, Mixed Use Downtown district near the intersection of **N ACADEMY ST AND BUNCOMBE ST** (TM# 001400-05-00300)

B. S 23-033M

Application by Whistler Restaurant Group, LLC (Jessica Kearns) dba Reys for a **SPECIAL EXCEPTION** to modify a 'General Food or Beverage' and 'Bar' use operating after midnight in an MXS-D, Shopfront Downtown district at **20 N MAIN ST** (TM# 000100-05-00200)

NEW BUSINESS

A. S 22-762M

Application by The Cocktail Company (Howard Dozier) for a **SPECIAL EXCEPTION** to modify a 'Bar or nightclub' use operating after midnight in an MXS-D, Shopfront Downtown district on **355 S MAIN ST STE 30** (TM# 006100-03-04115, 006100-03-04116)

B. V 25-815 *Application administratively deferred*

Application by Raybrook Homes (Chad Tompson) for a **VARIANCE** to modify the front setback in a RH-C, House C district on **206 PRINCETON AV** (TM# 028000-02-18400)

C. S 25-917

Application by McAdams (David Bergmark) on behalf of The Huntington National Bank (Nick Coventry) for a **SPECIAL EXCEPTION** to establish an accessory 'drive-thru' use as part of a 'General retail (up to 6,000 SF)' use in an MX-2, Mixed Use 2 district at **1601 LAURENS RD** (TM# 025700-08-00101)

(Continue to next page)

Documents relating to these applications are available for review online at www.greenvillesc.gov/bza. You may contact the Planning and Development Services office at (864) 467-4476 for more information.

You will have the opportunity to voice your comments at the public hearing. Each speaker is limited to three (3) minutes. Repetitive statements should be avoided; individuals sharing similar concerns are encouraged to appoint a spokesperson to represent their group. Written comments may be mailed to Planning Department, PO Box 2207, Greenville, SC 29602 or emailed to planning@greenvillesc.gov.

Written comments should be received by 5:00 p.m. on the Monday before the hearing to allow the Board reasonable time to review. Comments will continue to be forwarded to the Board until 5:00 p.m. on the Wednesday before the hearing. Comments after that time should be made at the public hearing. Please reference the application number and include your name and address on all correspondence. All written comments will be made part of the public record.

The criteria for the Board's decision are established in the Greenville Development Code (Chapter 19 of the City Code). A staff report will provide an analysis of the Applicant's request with regard to its context, any related City plans and ordinances, and the specific decision criteria. Staff will present its conclusion to the Board on whether the request satisfies the criteria and may recommend stipulations to the Board for its consideration in granting the request. The criteria for granting Special Exceptions and Variances is found in Greenville Development Code Section 19-6.2.15.D.

The Board will usually vote to grant or deny an application immediately after it considers the evidence and public testimony; however, it may decide to continue the hearing or postpone deliberation to a future date. After the Board votes to grant or deny an application, Staff will prepare a written decision for mailing to the Applicant. Anyone having a substantial interest affected by the decision may appeal to the Greenville County Circuit Court within thirty (30) days of the mailing of the decision.



APPLICATION FOR SPECIAL EXCEPTION

Contact Planning & Development (864) 467-4476 or planning@greenvillesc.gov

APPLICANT/OWNER INFORMATION

*Indicates Required Field

APPLICANT

PROPERTY OWNER

*Name:	Contact City of Greenville Planning for contact information	
*Title:		
*Address:		
*State:		
*Zip:		
*Phone:		
*Email:		

APPLICANT'S AGENT:

Name	MEMEBER Title / Organization
Phone	Email

(*Optional Field- includes project architects, engineers, attorneys, representatives, etc.*)

PROPERTY INFORMATION

STREET ADDRESS: 20 NORTH MAIN ST

TAX PARCEL #: 0001000500200 ACREAGE: .07 ZONING DESIGNATION: MXS-D

*Pursuant to S.C. Code Ann. § 6-29-1145, I hereby attest that the tract or parcel of land subject to this application IS NOT restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.
 Initial: JK

REQUEST

Refer to Article 19-3, Use Regulations, of the Greenville Development Code

PROPOSED LAND USE: _____

DESCRIPTION OF PROPOSED USE:

Zoning will be changed from a Restaurant and Bar to a Bar only. We are in the process of a remodel and we would like to have the front facade remodeled also. See attached. We will change various stipulations of our current Special Exception. Please see attached for details.

INSTRUCTIONS

1. Refer to the application timeline on Page 4 of this application for a detailed overview of this process.
2. Prior to submitting this application, an Applicant must schedule a pre-application conference with the Administrator to discuss the procedures, standards, and regulations required for approval. Contact the Planning and Zoning Division to schedule a pre-application conference. The email address is planning@greenvillesc.gov and the phone number is 864-467-4476.
3. The questions on Page 3 of this application are the criteria that the Board will use to judge an application. Ensure answers demonstrate how and why the application meets the requirements for the granting of a special exception permit. See **Section 19-6.2.15.(D)(2)** for additional information. An Applicant must attach a separate sheet addressing these questions. To find the Comprehensive Plan and the Greenville Development Code use standards, visit www.greenvillesc.gov/planningzoning.
4. Supplemental information will need to be included with this application as well. A floor plan and/or a site plan showing the existing and proposed conditions associated with the application is generally necessary. A zoning compliance application may also be required for some special exception applications.

For site plans, attach a scaled drawing of the property that reflects, at a minimum, the following:

- (a) property lines, existing buildings, and other relevant site improvements;
- (b) the nature (and dimensions) of the proposed development (activity);
- (c) existing buildings and other relevant site improvements on adjacent properties; and,
- (d) topographic, natural features, etc. relevant to the requested special exception.

5. The application must be received by the Planning and Zoning Division no later than 2:00 p.m. of the date reflected on the Board of Zoning Appeals meeting schedule. The application can be emailed to planning@greenvillesc.gov.
6. The Administrator will acknowledge receipt of the application and will provide instructions on application fee payment. The required application fee is \$250.00.
7. The Administrator will review the application for "completeness" pursuant to **Section 19-6.2.1(B)(3) Completeness Determination**, prior to proceeding with public notice. If the application is determined to be "incomplete," the Administrator will contact the Applicant to request that the applicant resolve the deficiencies.
8. The Applicant must post the subject property at least 15 calendar days (but not more than 18 days) prior to the scheduled hearing date. Additionally, the Applicant is responsible for preparing and mailing the written notice at least 15 calendar days prior to the public hearing. Posted and mailed notice instructions will be provided to the Applicant by the Administrator after application is determined to be complete.

Please read carefully: The Applicant and Property Owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

If the Planning and Zoning Division by separate inquiry determines that such a restriction exists, it shall notify the Applicant. If the Applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the Administrator will indicate in its report to the Board of Zoning Appeals that granting the requested change would not likely result in the benefit the Applicant seeks.

APPLICANT / AGENT SIGNATURE:  DATE Aug/8/25

PROPERTY OWNER SIGNATURE:  DATE Aug/8/25

APPLICANT RESPONSE TO

SECTION 19- 6.2.15(D)(2) - SPECIAL EXCEPTION PERMIT

The following questions are the criteria that the Board will use to judge an application. Ensure answers thoroughly demonstrate how and why the application meets the requirements for the granting of a special exception.

Please attach a separate sheet that addresses each of the following questions:

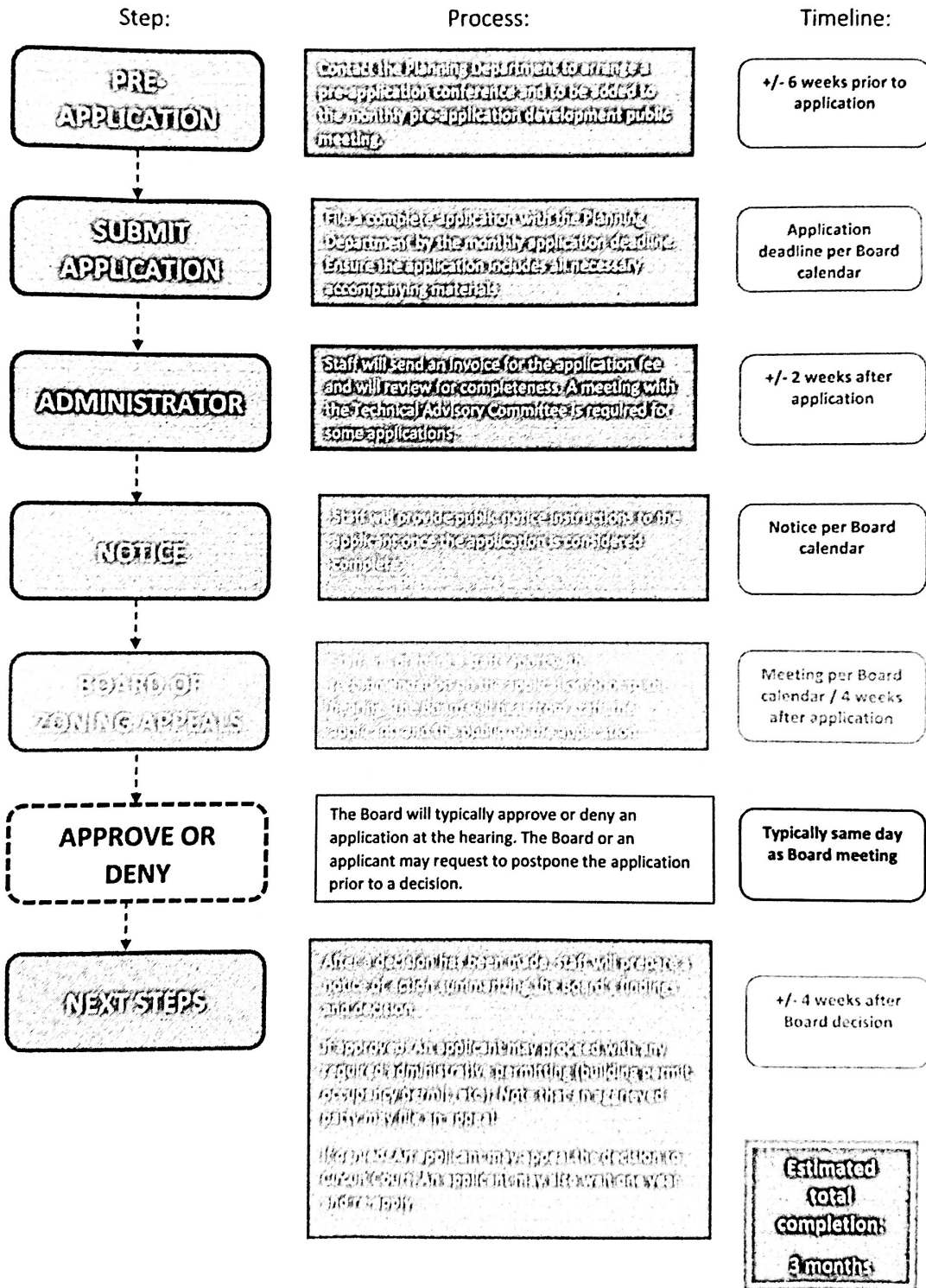
1. DESCRIBE THE WAYS IN WHICH THE PROPOSED SPECIAL EXCEPTION IS CONSISTENT WITH THE COMPREHENSIVE PLAN.

2. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL COMPLY WITH THE STANDARDS IN **SECTION 19-3.4, USE STANDARDS.**

3. DESCRIBE THE WAYS IN WHICH THE REQUEST IS APPROPRIATE FOR ITS LOCATION AND IS COMPATIBLE WITH THE CHARACTER OF EXISTING AND PERMITTED USES OF SURROUNDING LANDS AND WILL NOT REDUCE THE PROPERTY VALUES THEREOF.

4. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL MINIMIZE ADVERSE EFFECTS ON ADJACENT LANDS INCLUDING:
 - A. VISUAL IMPACTS;
 - B. SERVICE DELIVERY;
 - C. PARKING AND LOADING;
 - D. ODORS;
 - E. NOISE;
 - F. GLARE;
 - G. AND, VIBRATION.

Section 6.2.15(B) Application Requirements
Application Timeline



**APPLICANT RESPONSE TO
SECTION 19-2.3.5(D)(1), STANDARDS – SPECIAL EXCEPTION**

(YOU MAY ATTACH A SEPARATE SHEET)

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED SPECIAL EXCEPTION IS CONSISTENT WITH THE COMPREHENSIVE PLAN.

There will be no deviation from the current footprint other than adding the outside patio which is currently under the same footprint. The food menu will also be updated and the food menu may change time to time to meet current needs.

2. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL COMPLY WITH THE STANDARDS IN SECTION 19-4.3, USE SPECIFIC STANDARDS.

We will have policies in place to control and direct noise, safely handle disorderly conduct and staff accordingly to safely control high customer volumes and egress of customers.

3. DESCRIBE THE WAYS IN WHICH THE REQUEST IS APPROPRIATE FOR ITS LOCATION AND IS COMPATIBLE WITH THE CHARACTER OF EXISTING AND PERMITTED USES OF SURROUNDING LANDS AND WILL NOT REDUCE THE PROPERTY VALUES THEREOF.

The requested use has been in place for the business since 2009 and is a staple of main st in Greenville. We are not deviating from the previous plans, but rather clarifying business plans and proposed outdoor dining space is consistent with many neighboring bars and restaurants. The exterior modification will also make crowd control and occupancy management easier with one main entrance and exit from both establishments.

4. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL MINIMIZE ADVERSE EFFECTS ON ADJACENT LANDS INCLUDING: VISUAL IMPACTS; SERVICE DELIVERY; PARKING AND LOADING; ODORS; NOISE; GLARE; AND, VIBRATION. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL NOT CREATE A NUISANCE.

The request should cause no additional impact to surrounding businesses. No exterior sound amplification is proposed. This modification of the exterior will also help to minimize sidewalk obstruction during busy times where a line may be necessary as we will have more space off of the sidewalk for that line to form.

**APPLICANT RESPONSE TO
SECTION 19-2.3.5(D)(2). STANDARDS – CHANGE IN NONCONFORMING USE**

(YOU MAY ATTACH A SEPARATE SHEET)

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED NONCONFORMING USE IS MORE IN CHARACTER WITH, OR EQUAL TO, THE USES OTHERWISE PERMITTED IN THE ZONING DISTRICT THAN THE EXISTING OR PRIOR NONCONFORMING USES.

The current operating plan has been zoned as a bar and or restaurant since 2009. We are not deviating from the operating plan in place rather to modify and fine tune what we currently have, which is consistent with the surrounding businesses

2. DESCRIBE THE WAYS IN WHICH THE PROPOSED NONCONFORMING USE WILL NOT SUBSTANTIALLY AND PERMANENTLY INJURE THE USE OF NEIGHBORING PROPERTY FOR THOSE USES PERMITTED WITHIN THE RELEVANT ZONING DISTRICT(S).

The current operating business plan has the same special exception hours that we are requesting . Many neighboring businesses also have the same hours so it will not be a deviation from the normal, in our location.

3. IS ADEQUATE INFRASTRUCTURE CAPACITY AVAILABLE TO SERVE THE PROPOSED NONCONFORMING USE?

Yes

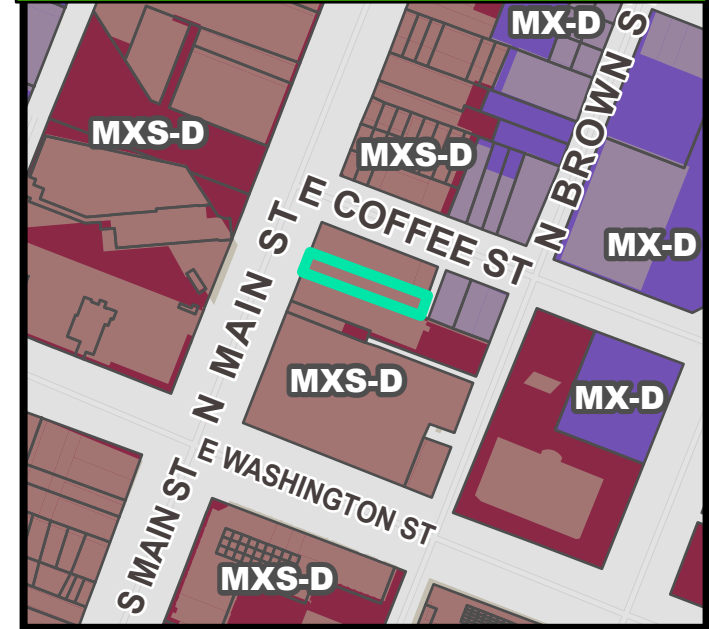
4. IS THE PROPOSED USE ONE THAT IS OTHERWISE PERMISSIBLE IN ANOTHER ZONING DISTRICT WITHIN THE CITY?

Yes

AERIAL VIEW



CURRENT ZONING



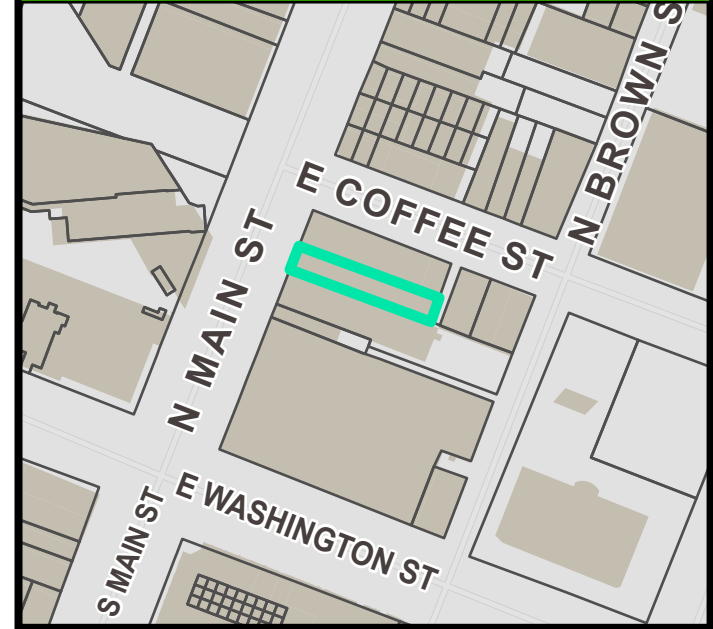
FUTURE LAND USE



NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS





city of greenville

Zoning Compliance Application

Establishments Serving Beer, Wine, Or Liquor

Applicant

Name [redacted] Phone [redacted]

Mailing Address [redacted]

Email [redacted]

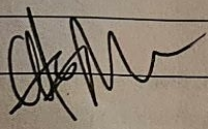
Signature of Applicant  Date 3/31/25

Property Owner

Name [redacted] Phone [redacted]

Mailing Address 1 [redacted]

Email [redacted]

Signature of Property Owner  Date 3/31/25

Property Information

Address 20 N Main St Greenville SC 29601

TMS# 0001000500200 Zoning District Designation MXS-D

Description of Proposed Use

Provide details for each of the following, as applicable, on a separate sheet:

Operating Plan

1. Type of Use (Restaurant, Nightclub, Event Venue, Etc.)
2. Days and Hours of Operation
3. Staffing Schedule
4. Kitchen Equipment Schedule
5. Menu and Hours of Food Service
6. Parking for Customers and Employees
7. Designated Smoking Area
8. Type of Entertainment and Duration
9. Closing / "Last Call" Procedures

Security Procedures

1. Number and Type of Designated Security Staff
2. Training / Certification of Staff
3. Specific Duties / Responsibilities of Staff
4. Entry / Exit / Re-Entry Procedures
5. Crowd Management
6. Crime Prevention through Environmental Design (CPTED)

Seating Plan

1. Provide a floor plan, drawn to scale, by a registered South Carolina architect. The plan must demonstrate the proposed occupancy with calculations based on the current adopted building code.

Business Plan

1. Business Plan Summary: Target Audience, Theme, Objectives / Goals
2. Projected Revenue: % Alcohol Vs. Food Sales
3. Fees For Entry / Membership / Entertainment
4. Status Of City Business License Application
5. Status Of SCDHEC 'Retail Food Establishment' Permit, If Applicable
6. Status Of Abl-901 Application To SC Department Of Revenue
7. Provide Documentation That Sled Requirements Have Been Met



Provide a response for each of the following:

1. Describe the ways in which the proposed use is consistent with the comprehensive plan.

2. Describe the ways in which the request is appropriate for its location and is compatible with the character of existing and permitted uses of surrounding lands and will not reduce the property values thereof.

3. Describe the ways in which the request will minimize adverse effects on adjacent lands including: visual impacts; service delivery; parking and loading; odors; noise; glare; and, vibration. Describe the ways in which the request will not create a nuisance.

Meet With the Technical Advisory Committee

Applications for Zoning Compliance will be reviewed by the Technical Advisory Committee (TAC), a City Staff committee comprised of representatives from the following City Departments and appointed by the City Manager:

- | | |
|--------------------------------|----------|
| Building Codes and Inspections | Police |
| Business Licensing | Fire |
| Economic Development | Planning |
| Public Information and Events | Legal |

The Technical Advisory Committee convenes once-a-month to meet with Applicants and review Conditional Use Permit applications that may be granted by the Zoning Administrator. This process promotes a more comprehensive understanding of the Applicant’s proposal, which in turn conveys a more comprehensive understanding of the multiple Departments’ operating requirements and expectations.

The Applicant, Business Owner, and Property Owner (if different) are required to attend a regularly scheduled TAC meeting prior to granting a Conditional Use Permit. Managers and anyone involved in operating the business are also encouraged to attend. The meeting date, time, and exact location within City Hall will be confirmed upon submittal of this application to the Planning and Development office on the 5th floor of City Hall.

Operating Plan

1. **Type of Use : Bar**
2. **Days and Hours of Operation**

We will be open 7 days a week and we will primarily be open from 4pm - 2 am and opening hours can and will be adjusted for special events and circumstances in or out of our control.
3. **Staffing Schedule:**
 1. We will match the current business schedule that is in place. We will have our opening staff in around 3 pm and the next shift(s) start around 7 pm with security usually arriving between 9pm and 10 pm depending on the night and circumstances. On weekends we usually add 3-6 staff members to keep up with demand. We always have a designated manager on duty and usually have two managers on duty on weekends and special events. If we decide to transition for lunch we will staff accordingly to open at 12 pm. Circumstances in or out of our control may affect staffing and scheduling to fit demands and unforeseen issues.
4. **Kitchen Equipment Schedule** : See exhibit A for Equipment Schedule
5. **Menu and Hours of Food Service**
 1. Food will be served during all business hours with the exceptions of us having a limited menu that will be served after 11 pm and we will stop all new food orders from our limited late night menu 15 minutes prior to last call. We will also provide pre packaged food available at all times and up until closing. See Exhibit B for food Menu
6. **Parking for Customers and Employees**
 1. There is on street parking and 4 parking garages within a short walking distance
7. **Designated Smoking Area**
 1. We have no designated smoking area and we will adhere to all city regulations and guidelines for patrons smoking
8. **Type of Entertainment and Duration**
 1. We will offer live music in different forms from time to time including but not limited to Live bands, Karaoke, Dj's, Acoustic sets, Comedy, Bingo, and various forms similar to this nature. Most Live entertainment would be for a few hours during business hours.
9. **Closing / "Last Call" Procedures**
 1. We will close no later than 2 am every night and we will usually do last call no later than 1:45. At Last call we cut the music and turn the lights on . We usually start last call based on the size of the crowd. If we have a larger crowd we start last call earlier.

Security Procedures

1. Number and Type of Designated Security Staff

We propose 1 SLED certified security guard on Thursday nights and 2 SLED certified security guards Fridays and Saturdays as well as any evening where a larger than usual crowd should be anticipated.

2. Training/Certification of Staff

1. All staff will hold proper training as needed. All staff will be required to hold and maintain such certifications as serv safe alcohol and serve safe food handler. Security will be hired through That Security company which holds and maintains SLED Certification.

3. Specific Duties/Responsibilities of Staff

1. Manager: manage the day to day tasks as well as scheduling, inventory ordering and management, special events, and hiring, training, and enforcing company procedures and protocols.
2. Assistant Manager: Manages the specific duties of their day, developing new menu items, assisting in marketing material
3. Bartender/Server: Making drinks and serving customers, Follows all safety protocols to maintain a safe and fun environment for customers.
4. Chef/Line cook: cooking food items and plating. Maintaining a clean and safe kitchen environment. Following all food safety requirements.
5. Barback/busser: Stocking shelves and coolers, maintaining a clean and tidy restaurant and restrooms. Restocking inventory. Clearing tables of food and drinks.

4. Entry/Exit/Re-Entry Procedures

1. Our only customer entrance will be through the front door. We maintain an emergency exit at the rear of the establishment that has a fire alarm on it that stays engaged while in business hours, and we have 3 doors at the front of the building however only one is advertised as the entrance and exit unless an emergency were to arise. Security is stationed at this primary entrance and ensures that only permitted aged persons are allowed inside of the business during designated night time hours. The restaurant will be in compliance with all state and local laws in regards to Exit Signs and maintaining each Exit.

5. Crowd Management

1. Security along with the on site manager will manage the door and ensure capacity is maintained appropriately during busy hours and that safety is a priority for our staff and customers. We will have an interior security officer that maintains crowd control as well as the on site manager while the exterior security controls the entrance/exit.

6. Crime Prevention through Environmental Design (CPTED)

1. Our building is a straight "shotgun style" restaurant meaning that you can see all the way to the rear and back fire exit from the front door without any rooms or walls to divide the space. We also will make sure to properly light any dim areas and strategically place mirrors to allow for easy vantage points for managers and security to control the space. Our on site manager will be trained on crime prevention and ensuring a safe environment for all at all times.

Seating Plan

1. Seating Plan

See attached Exhibit C

2. Schedule a Feasibility Inspection of the property

We will schedule the inspection if deemed necessary and be available to reply with any reasonable request made by the inspector.

Business Plan

1. Business Plan Summary:

1. Main level will be a more lively bar featuring bar food and Pizza and upstairs will be a more mature crowd focusing on craft cocktails and tapas style bar food.

2. Projected Revenue: % Alcohol VS Food Sales

1. *We will strive to have 40% food / 60% alcohol but we can not guarantee this every day.*

3. Fees for Entry/Membership/Entertainment

1. *Cover charge may be taken from time to time for special events, like New Years Eve but cover charge will not be a recurring weekly item.*

4. Status of City Business License Application

1. *We hold an Active business license*

5. Status of SCDHEC Retail Food Establishment Permit

1. *Current Grade A with DHEC*

6. Status of ABL 901 Application to SC Department of Revenue

1. *Current liquor license in place*

7. Provide Documentation that SLED Requirements have been met

1. *Current liquor license in place*

Exhibit A

Current Kitchen Equipment

Flat top Grill
Ice Maker - Manitowoc - Kitchen
Deep Fryer - Entree - 40 LB - Kitchen
Prep Station - Migali - Kitchen
Dishwasher - CMA Dish Machines- Bar
Kitchen Freezer - GE - Kitchen
Kitchen Freezer - Holiday - Kitchen
Freezer - Hotpoint - Basement
Walk in cooler - Vollrath - Basement
Sliding Glass Beer Cooler - TurboAir - Bar
Lay Down Cooler - TurboAir - Bar
3 Compartment Sink - Kitchen
Hand Wash sinks - Kitchen and bars
Racks and storage shelves - Kitchen
Pizza warmer
Pizza Oven

3 Compartment Sink
Hand wash sink(s)
Walk in freezer
Walk in refrigerator
Gas range with flattop
Deep fryer
8' hood
Microwaves
Freezers and refrigerators
Food prep surfaces
Food prep equipment:

- Knives
- Cutting boards
-
- Pots and pans
- Mixing bowls
- Food processors
- Storage containers and shelving

Compartment Sinks
Disposal Sinks
Hand Washing sinks
Restaurant POS system
Kitchen Display System
Serviceware

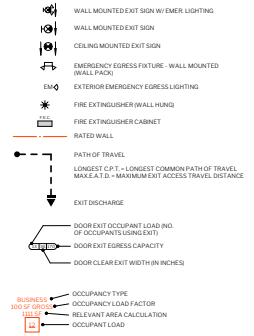
RAISED CHARACTER EXIT SIGNS

1. PROVIDE TACTILE SIGNAGE (TEXT AND BRAILLE) EXIT DOORS IN ACCORDANCE WITH ADA. TACTILE SIGNAGE SHALL ALSO BE IN ACCORDANCE WITH CANADIAN TACTILE SIGNAGE. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND INSTALLATIONS WITH FIRE MARSHAL. TACTILE EXIT SIGNAGE SHALL BE LOCATED AT EACH EXIT DOOR.
2. PROVIDE TACTILE SIGNAGE AT STAIRWAY ENTRANCE EXIT PASSAGEWAY EXIT DISCHARGE AND SHALL STATE EXIT. EACH DOOR PROVIDING ACCESS TO AN AREA OR REFUGE FROM AN ADJACENT FLOOR AREA SHALL BE IDENTIFIED BY A SIGN THAT STATES AREA OF REFUGE.
3. EACH DOOR PROVIDING ACCESS TO AN EXTERIOR AREA FOR ASSISTED RESCUE SHALL BE IDENTIFIED BY A SIGN THAT STATES EXTERIOR EMERGENCY EGRESS LIGHTING.
4. EXTERIOR EMERGENCY EGRESS LIGHTING SHALL BE IDENTIFIED BY A SIGN THAT STATES EXTERIOR AREA FOR ASSISTED RESCUE. SIGNAGE SHALL BE 6" X 6" X 1/4" NO WALL SPACES AVAILABLE ADJACENT TO THE SIGN. THE SIGN SHALL BE MOUNTED ON THE NEAREST PERPENDICULAR WALL TO THE LATCH SIDE OF THE DOOR.

LIFE SAFETY PLAN GENERAL NOTES

1. PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH INTERNATIONAL FIRE CODE DURING DEMOLITION & CONSTRUCTION, AS APPLICABLE. THE CONTRACTOR SHALL PROVIDE AND COORDINATE FINAL PLACEMENT AND SIZING OF ALL FIRE EXTINGUISHERS WITH THE LOCAL FIRE MARSHAL, AS INDICATED. SEE LIFE SAFETY PLAN PROJECT NOTES, AS APPLICABLE. TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75' OF MINIMUM FIRE EXTINGUISHER TYPES AS FOLLOWS OR AS APPROVED BY THE LOCAL FIRE MARSHAL:
 - A. TYPE A: WET CHEMICAL EXTINGUISHER
 - B. CORRIDORS: 3A-40B.C DRY CHEMICAL MULTIPURPOSE EXTINGUISHERS HAVING A RATED WEIGHT OF LESS THAN 40 POUNDS SHALL NOT BE ALLOWED SO THAT THE HANDLE OF THE EXTINGUISHER IS NOT MORE THAN 5 FEET ABOVE THE FLOOR AND IS MOUNTED ON A BRACKET OR AN APPROVED WALL CABINET. EXTINGUISHERS HAVING A WEIGHT OF MORE THAN 40 POUNDS SHALL BE INSTALLED 5 FEET TO 6 FEET ABOVE THE FLOOR. THE EXTINGUISHER IS NOT OVER 4 FEET ABOVE THE FLOOR. CLEARANCE BETWEEN THE BOTTOM OF THE EXTINGUISHER AND THE FLOOR SHALL BE AT LEAST 4 FEET.
 - C. EXTINGUISHERS SHALL BE PLACED IN A MANNER SUCH THAT THE OPERATING INSTRUCTIONS FACE OUTWARD. THE LOCATION OF EXTINGUISHERS SHALL BE CONSPICUOUSLY MARKED TO BE CLEARLY VISIBLE AT A DISTANCE OF 25 FEET.
2. SEE ELECTRICAL PLANS FOR ADDITIONAL EMERGENCY EXIT LIGHTING AND FIRE ALARM INFORMATION, AS APPLICABLE.
3. SEE MECHANICAL AND PLUMBING DRAWINGS FOR DRAIN/PENETRATIONS IN RATED WALLS, AS APPLICABLE.
4. DOOR EXIT EGRESS CAPACITY BASED ON WIDTH OF DOOR LEAF MINUS 4" FOR SINGLE DOORS.

LIFE SAFETY LEGEND



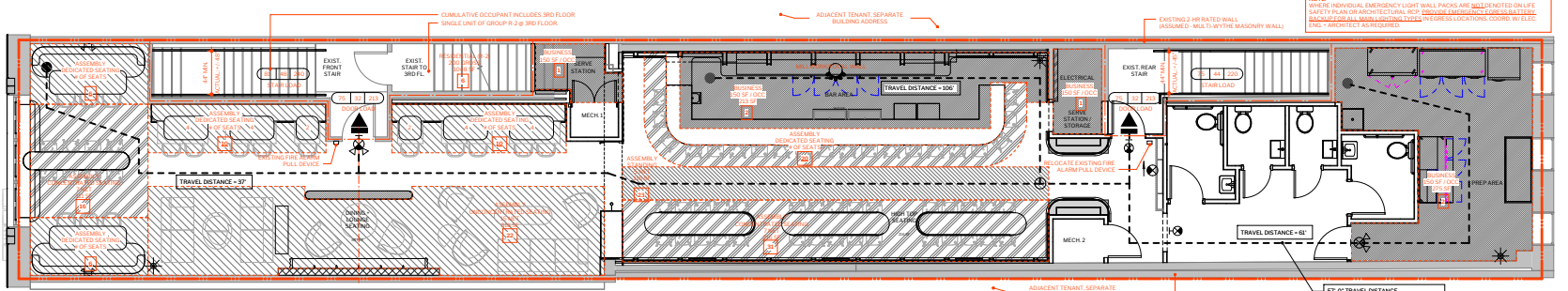
LIFE SAFETY PLAN PROJECT NOTES

1. ALL FURNITURE, EQUIPMENT, INTERIOR FINISHES BY OWNER NOT IN ARCHITECTURE SCOPE.
2. WALLS ARE SHOWN AS EXISTING UNLESS SHOWN OR NEW NOT SHOWN. EXISTING CONDITIONS WERE VERIFIED AS VISUALLY ACCESSIBLE. SOME AREAS WERE LIMITED IN THEIR ACCESSIBILITY. ORIGINAL PLANS OF THE BUILDING WERE NOT MADE AVAILABLE DUE TO ACCESSIBILITY.
3. ARCHITECT MAKES NO WARRANTY OF SCOPE AREA. RETAIL NEW EQUIPMENT AS SHOWN IS LIMITED TO EXISTING CONDITIONS.
4. OCCUPANCY TYPE REMAINS AS EXISTING FOR EXISTING FLOORS.
5. LONG TRAVEL CONDITIONS, INCLUDING EXIT CONDITIONS, OCCUPANCY TYPE REMAINS AS EXISTING FOR EXISTING FLOORS.
6. RENOVATIONS AT 1ST FLOOR, INCREASED OCCUPANT LOAD - COMPLETE RENOVATION OF 2ND FLOOR EXISTING STAIRS TO REMAIN.
7. NO MODIFICATIONS PROPOSED TO BASEMENT LEVEL OR 3RD FLOOR (SUPPLEMENT LEVEL).
8. SPRINKLER MODIFICATIONS AND FIRE ALARM SYSTEMS TO BE DESIGNED BY OTHERS - PERMITTED SEPARATELY.

EXIT ARRANGEMENTS (IBC CHAPTER 10)

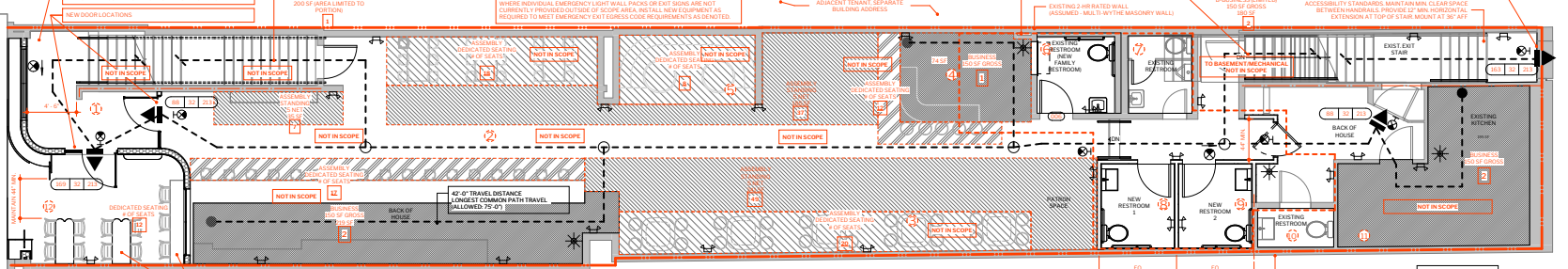
- A. OCCUPANT LOAD (IBC CODE):
 - a. ASSEMBLY OCCUPANCY: A-2 (FLOOR 1 + 2)
 - b. MAXIMUM OCCUPANT LOAD OF SPACE AT 1ST FLOOR: 172 (8000/46.5) (REVISION TO EXISTING EXISTING LOAD: 190 (8000/42.5))
 - c. MAXIMUM OCCUPANT LOAD OF SPACE AT 2ND FLOOR: 172 (8000/46.5)
 - d. REFER TO LIFE SAFETY PLAN FOR AREA RESIDENT TRAFFIC (IBC CODE 1004.3 - MULTIPLE FUNCTION OCCUPANT LOAD TABLE 1004.3) MEANS OF EGRESS.
 - e. STAIRWAY CAPACITY FACTOR (IBC CODE 1005.3.1) 0.2 (2 INCH SPRINKLER)
 - f. OTHER EGRESS COMPONENTS CAPACITY FACTOR: 1.0 (DOORS IBC CODE 1005.3.2) 0.15 (2 INCH SPRINKLER)
 - g. MINIMUM EGRESS WIDTH AT CORRIDORS: 44" MIN.
- B. DISTANCE TO EXIT:
 - a. MULTIPLE EXITS IBC CODE 1006.3.3
 - b. MAXIMUM COMMON PATH OF EGRESS TRAVEL: A: 75'-0" (IBC CODE 1009.4 EXCEPTION 1)
- C. EXIT ACCESS TRAVEL DISTANCE:
 - a. EXISTING BUILDING
 - b. GROUP A-2 (SEE TABLE BELOW)

LEVEL, ROOM AND/OR SPACE DESIGNATION	MIN. # OF EXITS	TRAVEL DISTANCE	
		ALLOWABLE TRAVEL (50' ANGLE TABLE 1007.2)	MAXIMUM EXIT ACCESS TRAVEL DISTANCE (300') MIN.
LEVEL 1	2	250'	128'-0"
LEVEL 2	2	250'	125'-0"



2ND LEVEL - LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"



1ST LEVEL - LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"

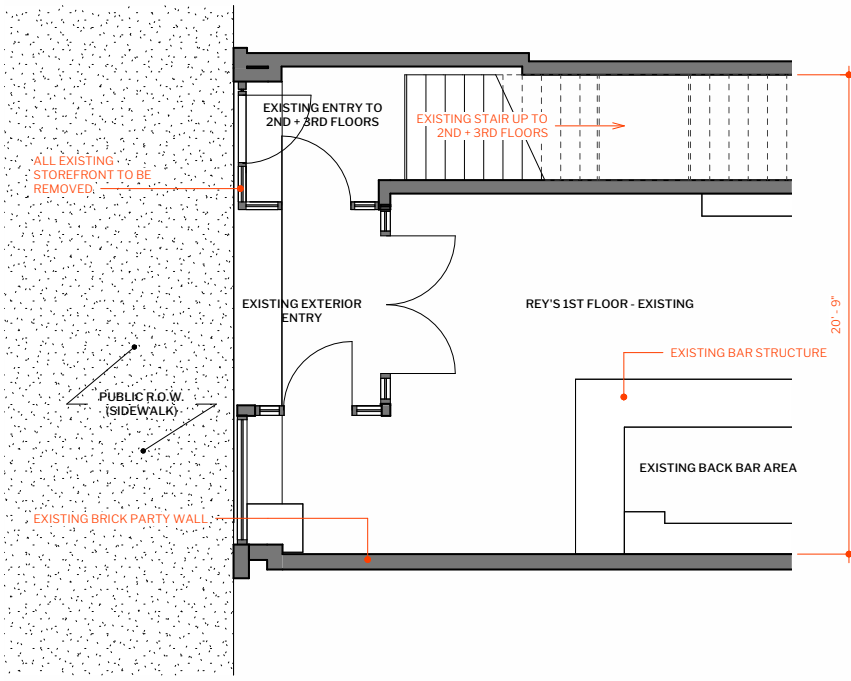
ISSUE DATE DESCRIPTION
24004



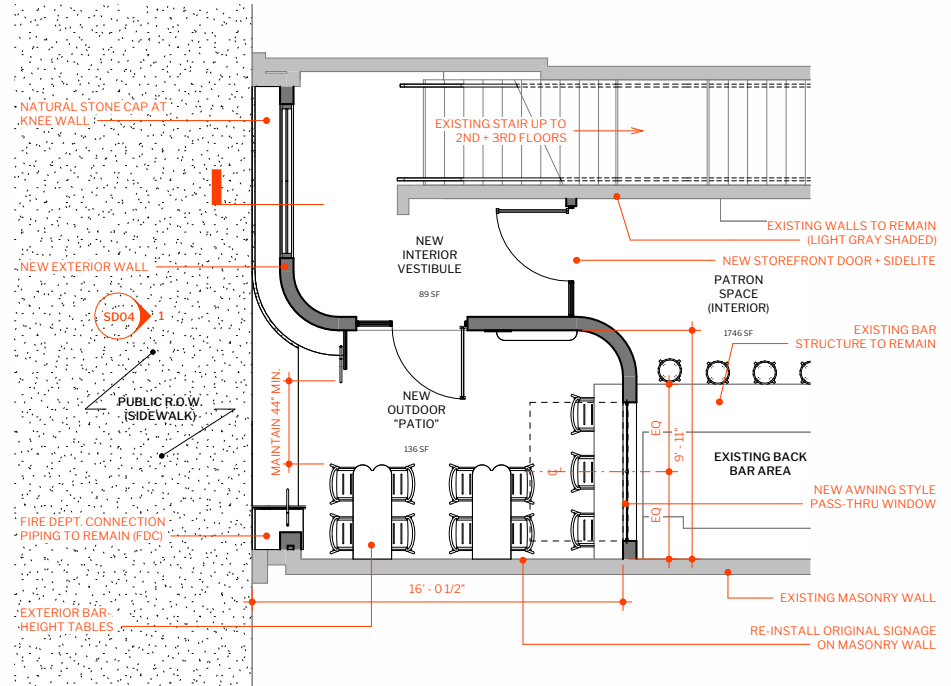
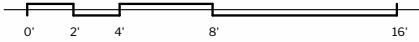
Rey's Front Entry Renovation
20 N Main St.
Greenville, SC 29601

LIFE SAFETY PLAN

LS100

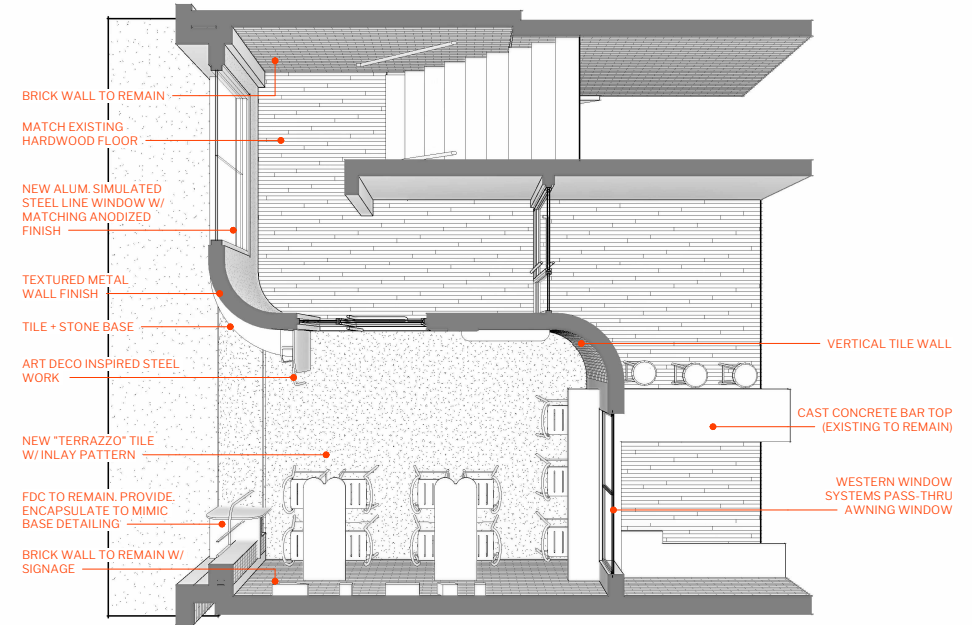


1 1ST LEVEL - EXISTING PLAN
 SCALE: 1/4" = 1'-0"



2 1ST LEVEL - FRONT ENTRY CONCEPT PLAN
 SCALE: 1/4" = 1'-0"

From CA 25-332



3 PERSPECTIVE PLAN
 SCALE:



From CA 25-332



Food Menu



20 N. MAIN ST.,
GREENVILLE SC 29601

SIDES

FRENCH FRIES \$4

TATER TOTS \$4

ONION RINGS \$5

MOZARELLA STICKS \$6

CHICKEN TENDER BASKET

Huge and juicy hand breaded chicken tenders with your choice of side

3 tenders for \$9 or 4 for \$11

Available sauces: ketchup, ranch, house-made honey mustard

WHOLE PIZZA

Large hand tossed pizza

CHEESE \$9

PEPPERONI \$10

VEGGIE VIBEZ \$12

green peppers, onions, black olives and mushrooms

MEAT ME AT REYS \$13

pepperoni, sausage, bacon

THE FULL SEND \$15

ALL veggies and ALL meats

\$1.50
ALL DAY
EVERYDAY

PIZZA
BY THE
SLICE

late night Menu

11 PM UNTIL CLOSE

SLICE OF PIZZA \$1.50

ask your server for tonight's available toppings

MAMA HEN'S PRETZELS \$6

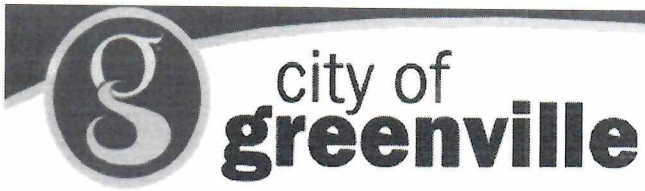
lemon pepper, loaded baked potato, dill pickle, churro



Scan the QR code to
follow us on online



20 N. MAIN ST.,
GREENVILLE SC 29601



APPLICATION FOR SPECIAL EXCEPTION

Contact Planning & Development (864) 467-4476 or planning@greenvillesc.gov

APPLICANT/OWNER INFORMATION

*Indicates Required Field

APPLICANT

PROPERTY OWNER

*Name:	Contact City of Greenville Planning for contact information
*Title:	
*Address:	
*State:	
*Zip:	
*Phone:	
*Email:	

APPLICANT'S AGENT¹:

Name	Title / Organization
Phone	Email

(¹Optional Field- includes project architects, engineers, attorneys, representatives, etc.)

PROPERTY INFORMATION

STREET ADDRESS: 355 s main street unit 30

TAX PARCEL #: 0061000304115 ACREAGE: _____ ZONING DESIGNATION: C-4

*Pursuant to S.C. Code Ann. § 6-29-1145, I hereby attest that the tract or parcel of land subject to this application IS NOT restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.
Initial: hd

REQUEST

Refer to Article 19-3, Use Regulations, of the Greenville Development Code

PROPOSED LAND USE: Bar/rest

DESCRIPTION OF PROPOSED USE:

A high-end cocktail lounge with food. Consistent with the surrounding area

INSTRUCTIONS

1. Refer to the application timeline on Page 4 of this application for a detailed overview of this process.
2. Prior to submitting this application, an Applicant must schedule a pre-application conference with the Administrator to discuss the procedures, standards, and regulations required for approval. Contact the Planning and Zoning Division to schedule a pre-application conference. The email address is planning@greenvillesc.gov and the phone number is **864-467-4476**.
3. The questions on Page 3 of this application are the criteria that the Board will use to judge an application. Ensure answers demonstrate how and why the application meets the requirements for the granting of a special exception permit. See **Section 19-6.2.15.(D)(2)** for additional information. An Applicant must attach a separate sheet addressing these questions. To find the Comprehensive Plan and the Greenville Development Code use standards, visit www.greenvillesc.gov/planningzoning.
4. Supplemental information will need to be included with this application as well. A floor plan and/or a site plan showing the existing and proposed conditions associated with the application is generally necessary. A zoning compliance application may also be required for some special exception applications.

For site plans, attach a scaled drawing of the property that reflects, at a minimum, the following:

- (a) property lines, existing buildings, and other relevant site improvements;
- (b) the nature (and dimensions) of the proposed development (activity);
- (c) existing buildings and other relevant site improvements on adjacent properties; and,
- (d) topographic, natural features, etc. relevant to the requested special exception.

5. The application must be received by the Planning and Zoning Division no later than 2:00 p.m. of the date reflected on the Board of Zoning Appeals meeting schedule. The application can be emailed to planning@greenvillesc.gov.
6. The Administrator will acknowledge receipt of the application and will provide instructions on application fee payment. The required application fee is \$250.00.
7. The Administrator will review the application for "completeness" pursuant to **Section 19-6.2.1(B)(3) Completeness Determination**, prior to proceeding with public notice. If the application is determined to be "incomplete," the Administrator will contact the Applicant to request that the applicant resolve the deficiencies.
8. The Applicant must post the subject property at least 15 calendar days (but not more than 18 days) prior to the scheduled hearing date. Additionally, the Applicant is responsible for preparing and mailing the written notice at least 15 calendar days prior to the public hearing. Posted and mailed notice instructions will be provided to the Applicant by the Administrator after application is determined to be complete.

Please read carefully: The Applicant and Property Owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

If the Planning and Zoning Division by separate inquiry determines that such a restriction exists, it shall notify the Applicant. If the Applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the Administrator will indicate in its report to the Board of Zoning Appeals that granting the requested change would not likely result in the benefit the Applicant seeks.

APPLICANT / AGENT SIGNATURE:  _____ DATE: 9/30/2025

PROPERTY OWNER SIGNATURE: **Jodee Hutchinson** _____ DATE: 9/30/2025

Digitally signed by Jodee Hutchinson
Date: 2025.10.01 12:14:28 -04'00'

APPLICANT RESPONSE TO

SECTION 19- 6.2.15(D)(2) - SPECIAL EXCEPTION PERMIT

The following questions are the criteria that the Board will use to judge an application. Ensure answers thoroughly demonstrate how and why the application meets the requirements for the granting of a special exception.

Please attach a separate sheet that addresses each of the following questions:

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED SPECIAL EXCEPTION IS CONSISTENT WITH THE COMPREHENSIVE PLAN.

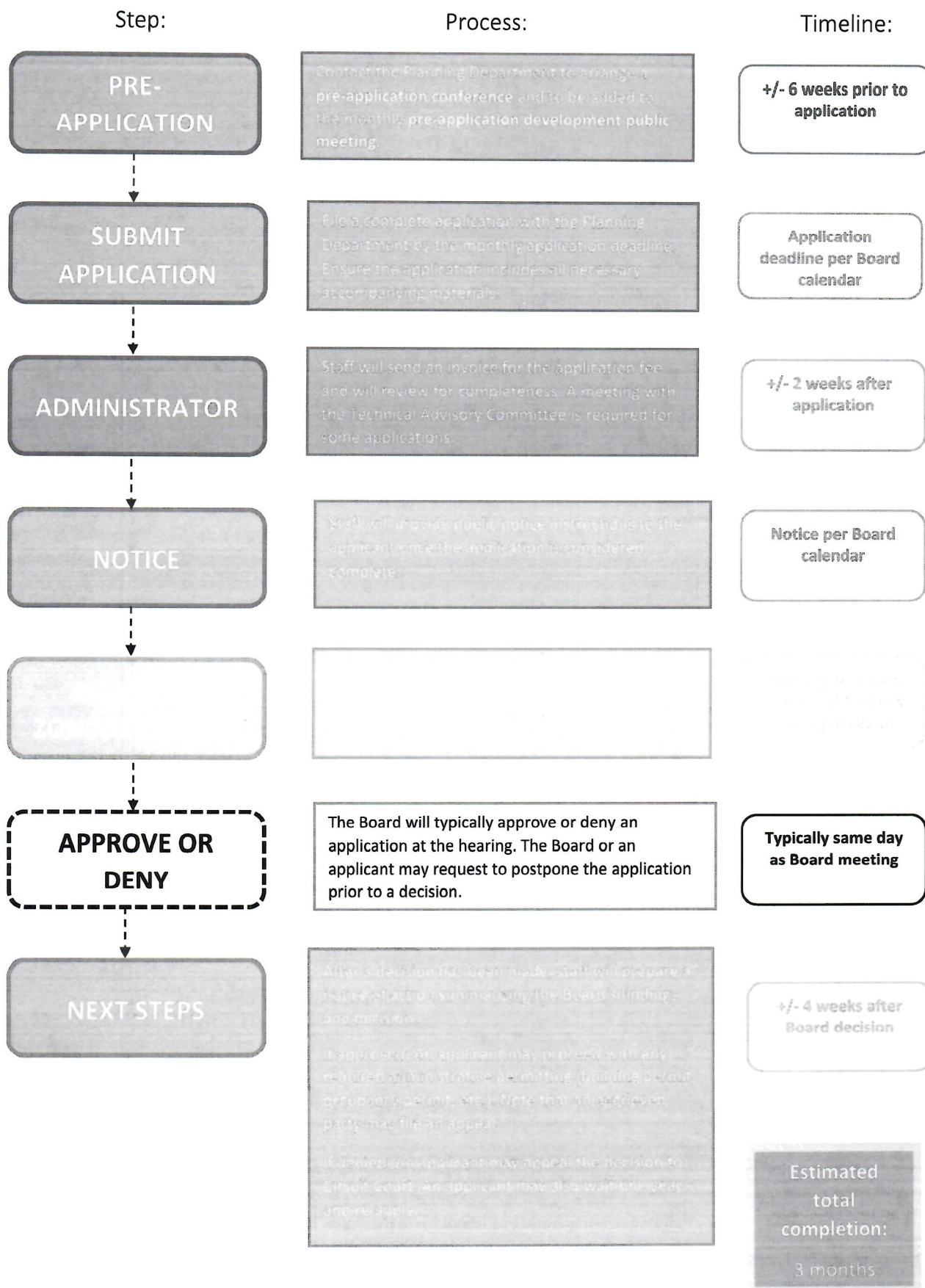
2. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL COMPLY WITH THE STANDARDS IN **SECTION 19-3.4, USE STANDARDS.**

3. DESCRIBE THE WAYS IN WHICH THE REQUEST IS APPROPRIATE FOR ITS LOCATION AND IS COMPATIBLE WITH THE CHARACTER OF EXISTING AND PERMITTED USES OF SURROUNDING LANDS AND WILL NOT REDUCE THE PROPERTY VALUES THEREOF.

4. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL MINIMIZE ADVERSE EFFECTS ON ADJACENT LANDS INCLUDING:

- A. VISUAL IMPACTS;
- B. SERVICE DELIVERY;
- C. PARKING AND LOADING;
- D. ODORS;
- E. NOISE;
- F. GLARE;
- G. AND, VIBRATION.

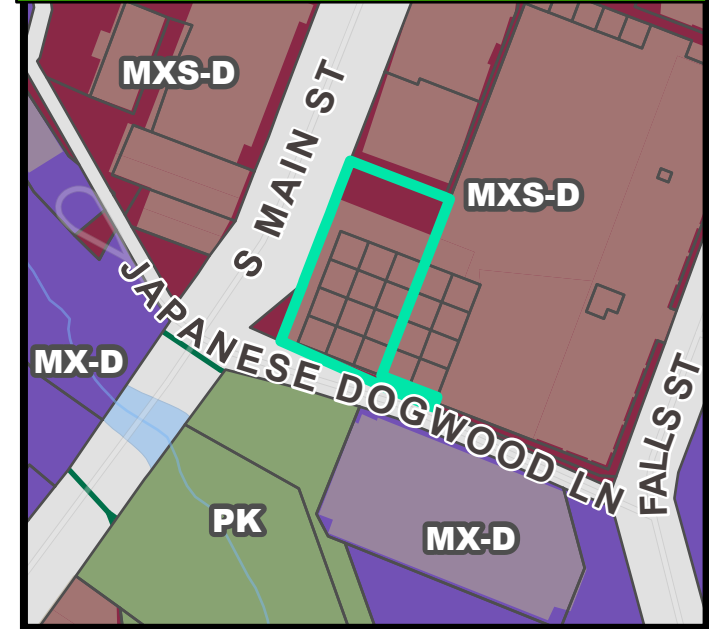
Section 6.2.15(B) Application Requirements
Application Timeline



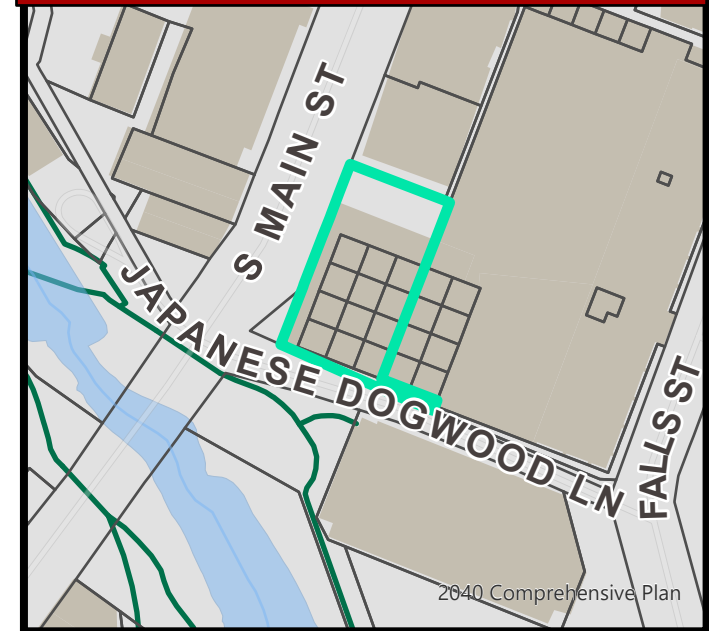
AERIAL VIEW



CURRENT ZONING



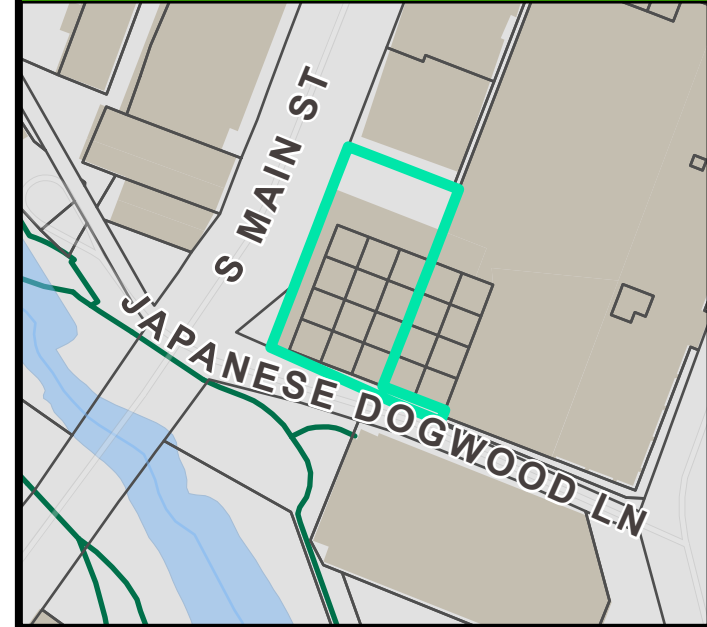
FUTURE LAND USE



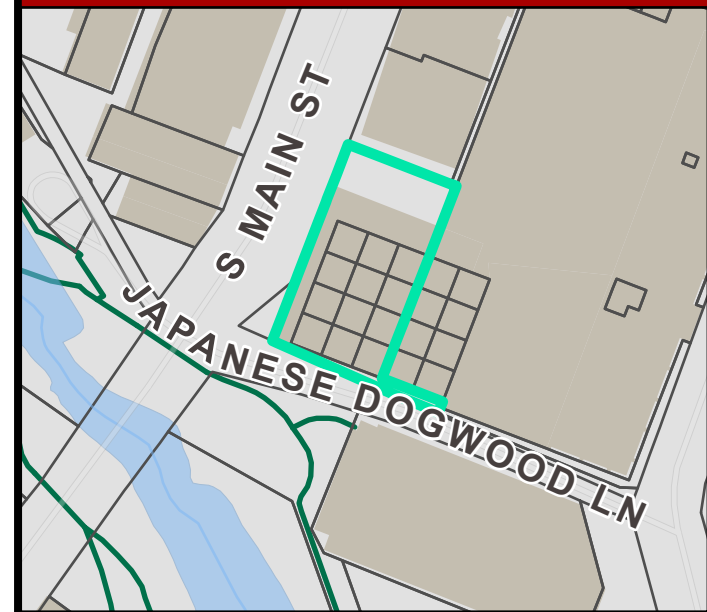
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS





APPLICATION FOR TECHNICAL ADVISORY COMMITTEE REVIEW

Contact Planning & Development (864) 467-4476 or planning@greenvillesc.gov

APPLICANT/OWNER INFORMATION

***Indicates Required Field**

	APPLICANT	PROPERTY OWNER
*Name:		
*Title:		
*Address:		
*State:		
*Zip:		
*Phone:		
*Email:		

PROPERTY INFORMATION

*STREET ADDRESS: _____

*TAX MAP #(S): _____

*CURRENT ZONING DESIGNATION: _____

Description of Proposed Use

Provide details for each of the following, as applicable, on a separate sheet:

Operating Plan

1. Type of Use (Restaurant, Nightclub, Event Venue, Etc.)
2. Days and Hours of Operation
3. Staffing Schedule
4. Kitchen Equipment Schedule
5. Menu and Hours of Food Service
6. Parking for Customers and Employees
7. Designated Smoking Area
8. Type of Entertainment and Duration
9. Closing / "Last Call" Procedures

Seating Plan

1. Provide a floor plan and life safety plan, drawn to scale, by a registered South Carolina architect. The plan must demonstrate the proposed occupancy with calculations based on the current adopted building code.

Business Plan

1. Business Plan Summary: Target Audience, Theme, Objectives / Goals
2. Projected Revenue: % Alcohol vs. Food Sales
3. Fees For Entry / Membership / Entertainment
4. Status of City Business License Application
5. Status of SCDHEC 'Retail Food Establishment' Permit, If Applicable
6. Status of Abl-901 Application to SC Department of Revenue
7. Provide Documentation That SLED Requirements Have Been Met

Security Procedures

1. Number and Type of Designated Security Staff
2. Training / Certification of Staff
3. Specific Duties / Responsibilities of Staff
4. Entry / Exit / Re-Entry Procedures
5. Crowd Management



Provide a response for each of the following:

1. Describe the ways in which the request is appropriate for its location and is compatible with the character of existing and permitted uses of surrounding lands and will not reduce the property values thereof.
2. Describe the ways in which the request will minimize adverse effects on adjacent lands including: visual impacts; service delivery; parking and loading; odors; noise; glare; and, vibration. Describe the ways in which the request will not create a nuisance.

Meeting With the Technical Advisory Committee

Applications will be reviewed by the Technical Advisory Committee (TAC), a City Staff committee comprised of representatives from the following City Departments/Divisions and appointed by the City Manager:

Building Codes and Inspections
City Attorney
Economic Development
Fire Prevention

Planning and Zoning
Police
Revenue (Business License)
Tourism and Events

The Technical Advisory Committee generally convenes once-a-month to meet with Applicants and review applications. The purpose of these meetings is to develop a more comprehensive understanding of the Applicant's proposal by the Committee, which in turn conveys a more comprehensive understanding of the City's operating requirements and expectations for Applicants. This Committee will form recommendations for the Zoning Administrator and Board of Zoning Appeals as applicable.

The Applicant and Business Owner are required to attend a TAC meeting to discuss the application. The Property Owner, Architect, and anyone involved in management of the business' operations may also attend. The meeting date, time, and exact location will be confirmed upon submittal of this application to planning@greenvillesc.gov.

The Cocktail Company

OPERATING PLAN

1. Type of use: Cocktail bar with small plate food offerings (tapas, charcuterie, etc.).
Beer, wine

and liquor will be served.

2. Hours of operation: Sunday thru Wednesday: 4pm to Midnight

Thursday & Friday: 4pm to 2am

Saturday: Noon to 2am

3. Staffing schedule: Afternoon shift: Two hours prior to opening to 6pm

Evening Shift: 6pm to one hour after closing.

4. Kitchen equipment schedule: Mop Sink, Ice Machine, 3 comp sink, Dishwasher,
Worktop

refrigerator, Sandwich Prep Station. There will be no cooking. Menu items will be
prepared

from pre-cooked / pre-packaged ingredients.

5. Menu and hours of food service: Menu will consist simply of charcuterie boards
offering

various combinations of cured meats, cheeses, fruit, bread, crackers, vegetables, nuts,
jams,

spreads and other similar items. The food service hours will be daily from opening until
Midnight.

6. Parking for customers and employees: There is no dedicated parking available
therefore it

will be necessary to rely on public parking and valet service offered by The
Camperdown

development. There are several public parking garages nearby.

7. Designated smoking area: N/A

8. Type of entertainment and duration: DJs that play house music only (NO HIP HOP)

As well as solo/duo music performers will be playing at a moderate and comfortable sound level, inside,

with doors closed. The duration of the performances will be tailored to our peak business hours

but might occur at any time and any length during our operating hours. Please refer to the Hours

of Operation listed above.

9. Closing / last call procedures: A "Last Call" announcement will be made 15 minutes prior to

closing. Additionally, live music performers will stop prior to the last call announcement.

All customers will be off premises prior to closing. Please refer to the Hours of Operation listed

above.

SECURITY PROCEDURES

1. Number and type of designated security staff: The Camperdown development provides all

tenants with 24 hour security personnel who will monitor the common areas. In-house security

will be handled within our staff who will be responsible for checking ID's, keeping the occupancy

count below our maximum allowed number, monitoring the crowd for potential safety threats,

and alerting first responders in the event of an emergency.

2. Training / certification of the staff: Each employee will be properly trained and earn their

required level of certification for their position which may include but not limited to ServSafe,

TIPS, and other standard restaurant and bar industry training. Employees without adequate

certifications will not be allowed to serve alcoholic beverages.

3. Specific duties / responsibilities of staff:

Bartender – The Bartenders will be the primary customer service contact and will have the majority of the floor responsibilities. They will make and serve drinks, take food orders, and count cash and credit card receipts every night after closing.

Bartenders will

check customer IDs for legal drinking age when IDs are not checked at the door.

Barback – The barback will keep the bar and surrounding area clean and free for movement, keep all needed items stocked and easily reachable for the bartenders. The barback will also clean the bar at the end of the night and prepare it for the next shift.

Servers - Servers will take orders, clean tables, and deliver food to customers. Servers will

check customer IDs for legal drinking age when IDs are not checked at the door.

Kitchen Staff – The kitchen staff will maintain the ingredients, prepare the charcuterie boards, wash dishes and keep the kitchen clean and in compliance with DHEC regulations.

Security – When large crowds are expected, security staff will monitor entry points and Check ID's for legal drinking age prior to customer entrance, and maintain the order and safety of patrons and employees.

Assistant Managers - The assistant managers will be on premise during all operating hours

to handle all customer service complaints and issues. They will oversee the working staff to

ensure compliance with all applicable laws and codes.

General Manager - The GM will oversee all operations of the business such as personnel

management, scheduling, supplies stocking.

4. Entry / exit and re-entry procedures. The front door will act as the primary entrance and

exit for normal hours of operation. When security is needed all ID's will be checked at the front

door and occupancy number will be continuously monitored. In the case of an emergency all of

the patrons will be directed to leave via the closest exit. All exits will be clearly marked and

egress aisles will be kept clear at all times.

5. Crowd management - When necessary there will be staff security located at the front door continually counting for occupancy to ensure the number of occupants inside the

building does not exceed the maximum number allowed. If maximum occupancy is reached,

customers will be asked to wait outside until an adequate number of occupants leave the

premises which will allow them to enter. Substantial common area and sidewalk space is

available outside of the main entrance.

6. Crime prevention through environmental design - The bar will be positioned to allow bartenders and servers full view of the entire restaurant at all times. Several transparent full

height windows allow clear sight lines to the common areas and sidewalk outside the building as

well as views into the space at night.

SEATING PLAN

1. Seating plan - Please see attached life safety plan.
2. Schedule a feasibility inspection of the property - A feasibility inspection will be scheduled

BUSINESS PLAN

1. Business Plan Summary: Target customers are young professionals, tourists, and local

restaurant-goers aging from 25 - 60. Theme is a high-end cocktail bar primarily serving “top

shelf” bourbons and other similar liquors crafted into sensational cocktails with fine ingredients.

The charcuterie offered will complement the cocktails with fine meats, cheeses and other

offerings. Objective and goal is to enhance downtown Greenville with a relaxed place to get a

top notch cocktail after work, after dinner, or before a nearby event.

2. Projected revenue % alcohol vs. food sales - 60 % alcohol vs 40 % food.

3. Fees for entry / membership / entertainment - There will not be a fee for entry. No membership will be offered. Entertainment will be free to customers.

4. Status of city business license application - To be applied for.

5. Status of SCDHEC retail establishment permit if applicable - To be applied for.

6. Status of ABL-901 application to SC department of revenue - To be applied for..

7. Provide documentation that SLED requirements have been met - To be applied for.

We have been operating for 2 years with no issues. My current permit says I'm permitted to have "music/live entertainment". Although I mentioned in my initial permit that I did not plan on having a DJ, I was unaware that a DJ would not fall under this.

This business sometimes requires some pivoting to find a niche

DJs do NOT play hip hop but almost exclusively house music

THE COCKTAIL COMPANY

Cocktails

The Cocktail Company Signature <i>Hendrick's, Yellow Chartreuse, Green Tea, Lemon, Honey, Egg Whites</i>	\$15
Til The Bitter End <i>Rittenhouse Rye, Antica Formula Vermouth, Amaro Montenegro, Fernet Branca, Angostura Bitters, Sugar</i>	\$14
Lazy Sunday <i>Eljah Craig, Blackberry Simple Syrup, Mint, Lemon, Egg Whites</i>	\$15
Blood Red Sky <i>Basil Hayden® Dark Rye, Amaro Nonino, Black Walnut Bitters</i>	\$14
New Friend <i>Monkey Shoulder, Cocchi Americano, Aperol, Club Soda, Orange Peel</i>	\$13
Life is Peachy <i>Woodford Reserve, Rothman Orchard Peach, Lillet Blanc, Peach Purée, Sugar, Peychaud's</i>	\$15
Lavender Lust <i>The Botanist, Crème De Violette, Lavender Simple, Mint, Lemon, Prosecco</i>	\$14
Minted Windows <i>Ketel Cucumber & Mint, Green Chartreuse, Lime, Mint</i>	\$12
No Sympathy for the Devil <i>Milagro Reposado, Ancho Reyes, Blood Orange, Jalapeño Simple, Lime, Aztec Bitters, Habanero Rim</i>	\$14
Tipsy Flamango <i>Herradura Silver, 400 Conejos Mezcal, Mango, Agave, Grapefruit, Smoked Sea Salt</i>	\$15
Going Bananas <i>Plantation 3 Star, Plantation Dark, Giffard Banane, John Taylor Falernum, Black Walnut Bitters</i>	\$13
Start Your Engines <i>Hilton Head Espresso Rum, St. Elizabeth's Twenty Carolina Cream, Chocolate Bitters, Cold Brew, Sugar</i>	\$14

Small Plates

CHARCUTERIE BOARDS

4 / \$23 | 5 / \$28 | 6 / \$32

All Boards Served with House Accompaniments

Choose your Combination of Rotating Meats and Cheeses

Crisp Apple Salad <i>Spinach, Apples, Feta, Bacon, Red Onion, Walnuts, Maple Bourbon Vinaigrette</i>	\$14
Fruit And Cheese Plate <i>Variety of Four Cheeses, Fresh Fruit, Honey, Artisan Crackers</i>	\$23
Burrata Caprese <i>Burrata, Grape Tomatoes, Micro Basil, Balsamic Glaze add Prosciutto \$6</i>	\$14
Tuna Tartare <i>Ahi Tuna, Avocado, Lime, Red Onion, Cilantro, Soy, Wontons</i>	\$17*
Pimento Cheese <i>Housemade Pimento Cheese, Pickled Vegetables, Artisan Crackers</i>	\$12
Loaded Potato Dip <i>Bacon, Cheese, Scallions, Sour Cream with Kettle Chips</i>	\$13
Southwest Bruschetta <i>Corn, Avocado, Tomatoes, Queso Fresca, Cilantro, Honey Chipotle Vinaigrette</i>	\$12
White Bean Hummus <i>Castelvetrano Olives, Feta, Pita Bread</i>	\$14
Bacon Deviled Eggs <i>House Made Filling, Bacon Bits</i>	\$11
Panini's (Served with Kettle Chips) <i>Prosciutto, Grand Cru, Spinach, Tomato, Onion, Dijonnaise</i> Or <i>Veggie - Spinach, Tomato, Cucumber, Avocado, Burrata and Honey Chipotle Vinaigrette</i>	\$14

Desserts

Raspberry Lemon Drop <i>Yellow Sponge Cake, Lemon Mousse, Raspberry Jam, Whipped Cream</i>	\$9
Tuxedo Bomb <i>Chocolate Cake, Dark & White Chocolate Mousse, Chocolate Ganache, Whipped Cream</i>	\$9

Please drink responsibly. 3515737

GENERAL NOTES

1. THE TERM 'WORK' AS USED IN THESE NOTES SHALL INCLUDE ALL PROVISIONS AS DRAWN OR SPECIFIED IN THESE DOCUMENTS AS WELL AS ALL OTHER PROVISIONS SPECIFICALLY INCLUDED BY THE OWNER IN THE FORM OF DRAWINGS, SPECIFICATIONS, AND WRITTEN INSTRUCTIONS AND APPROVED BY THE ARCHITECT.

2. THE TERM 'CONTRACTOR' AS USED IN THESE NOTES SHALL REFER TO THE GENERAL CONTRACTOR OR TO THE SUB-CONTRACTORS. THE OWNER MAY ELECT TO CONTRACT DIRECTLY WITH A SUB-CONTRACTOR FOR ANY PART OF THE WORK.

3. SCOPE OF WORK: THE CONTRACTOR SHALL INCLUDE AND PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, AND PAY ALL EXPENSES INCURRED IN THE PROPER COMPLETION OF WORK UNLESS SPECIFICALLY NOTED TO BE THE WORK OF OTHERS. CONTRACTOR SHALL PERFORM ALL WORK NECESSARY FOR PRODUCING A COMPLETE, HABITABLE PROJECT, INCLUDING BUT NOT LIMITED TO SITE WORK, STRUCTURAL, ARCHITECTURAL, ELECTRICAL, PLUMBING AND HVAC.

4. GENERAL CONTRACTOR TO REFER TO THESE DOCUMENTS FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. ALL ITEMS NOT MARKED AS OWNER SUPPLIED ARE TO BE SUPPLIED BY GENERAL CONTRACTOR UNLESS NOTED OTHERWISE. ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR BEFORE CONSTRUCTION BEGINS. THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK AND SHALL BE RESPONSIBLE FOR SAME. CONTRACTOR SHALL ACCEPT PREMISES AS FOUND. OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE EXISTING SITE OR EXISTING STRUCTURES AT THE TIME OF BIDDING OR THEREAFTER.

5. IF THE CONTRACT DRAWINGS ARE FOUND TO BE UNCLEAR, AMBIGUOUS OR CONTRADICTORY, THE CONTRACTOR MUST REQUEST CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT PART OF THE WORK. STATED DIMENSIONS TAKE PRECEDENCE OVER GRAPHICS, DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS.

6. ALL CONTRACTORS SHALL USE THE MANUFACTURERS APPROVED SHOP DRAWINGS, DATA SHEETS, AND INSTALLATION INSTRUCTIONS IN CONJUNCTION WITH THE CONSTRUCTION DOCUMENTS HEREIN AND IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. FOR CONSTRUCTION DETAILS NOT SHOWN, REFER TO MANUFACTURERS RECOMMENDATIONS OR BEST PRACTICE METHODS PUBLISHED BY THE RELEVANT LEADING INDUSTRY ASSOCIATIONS. THE ARCHITECT SHALL BE AVAILABLE TO VISIT THE SITE WHEN REQUESTED. IF A CONDITION EXISTS THAT REQUIRES OBSERVATION OR ACTION BY THE ARCHITECT OR ENGINEER, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT. APPROVED PLANS SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION. CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF PLANS ON THE PREMISES IN GOOD CONDITION AT ALL TIMES. THIS SHALL INCLUDE ALL ADDENDA AND CHANGE ORDERS.

7. CONTRACTOR SHALL BE FAMILIAR WITH PROVISIONS OF ALL APPLICABLE CODES AND SHALL INSURE THE COMPLIANCE OF THE WORK WITH ALL LOCAL, STATE AND FEDERAL CODES, TRADE STANDARDS AND MANUFACTURER'S RECOMMENDATIONS. IN THE EVENT OF CONFLICT BETWEEN LOCAL, STATE AND NATIONAL CODES, THE MORE STRINGENT SHALL GOVERN. BEFORE COMMENCING WORK NOT SHOWN IN DOCUMENTS, BUT REQUIRED TO ACHIEVE FULL COMPLIANCE WITH CODES, CONTRACTOR SHALL NOTIFY ARCHITECT. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, COMPLIANCE WITH STATE AND FEDERAL REGULATIONS REGARDING SAFETY AND COMPLIANCE WITH REQUIREMENTS SPECIFIED IN THE OWNER/CONTRACTOR CONTRACT IS, AND SHALL BE, THE CONTRACTORS RESPONSIBILITY.

8. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES AND SAFETY PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.

9. UNLESS SPECIFICALLY DIRECTED OTHERWISE, ALL DRAWINGS, NOTES AND DETAILS ARE APPLICABLE TO ALL OTHER DRAWINGS, NOTES AND DETAILS HEREIN, ACROSS ALL TRADES. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS ACROSS ALL TRADES. THE CONDITIONS AND REQUIREMENTS OF THE DRAWINGS, SPECIFICATIONS, AND ALL OTHER ITEMS CONTAINED IN THE CONTRACT DOCUMENTS ARE EQUALLY BINDING ON ALL CONTRACTORS OF ALL TRADES. THE GENERAL CONTRACTOR AND EACH SUB-CONTRACTOR IS REQUIRED TO KEEP AN UP-TO-DATE COMPLETE SET OF THE CONTRACT DOCUMENTS AND PROVIDE FULL SET COPIES, INCLUDING ALL TRADES, TO HIS OR HER EMPLOYEES IN ORDER TO ENSURE ALL WORK IS FULLY COORDINATED AND INSTALLED WITH THE WORK OF OTHER CONTRACTORS ACROSS ALL TRADES.

10. CONTRACTOR SHALL REFER AND CONFORM TO ALL RECOMMENDATIONS AND FINDINGS AS SET FORTH IN THE SOILS EVALUATION REPORT. THE OWNER AND/OR ARCHITECT ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF THE FINDINGS OR FOR THE FINAL RECOMMENDATIONS, GRADING, TRENCHING, ETC. - CONTACT OWNER FOR INSTRUCTIONS PRIOR TO THE CONTINUATION OF WORK SHOULD ANY UNUSUAL CONDITIONS BECOME APPARENT DURING GRADING OR FOUNDATION CONSTRUCTION. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE OWNER SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.

11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.

12. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION.

13. NON-FIXED FURNITURE AND EQUIPMENT IS SHOWN FOR INFORMATION ONLY. NO NON-FIXED FURNITURE, FURNISHINGS OR EQUIPMENT ARE A PART OF THE CONSTRUCTION CONTRACT UNLESS NOTED OTHERWISE.

14. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EQUIPMENT AND COORDINATE LOCATION OF FLOOR SINKS, FLOOR DRAINS, SLOPES/SLAB DEPRESSIONS AND RAISED CURBS, ELECTRICAL AND PLUMBING STUB-OUTS, AND ALL OTHER WORK UNDER THE SCOPE OF RESPONSIBILITY RELATED TO THE EQUIPMENT.

15. GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING, RECEIVING, UNLOADING, UNCRATING AND INSPECTING, STORING, INSTALLATION AND HOOK-UP OF ALL OWNER FURNISHED ITEMS U.N.O.

16. GENERAL CONTRACTOR IS REQUIRED TO LABEL ALL ELECTRICAL PANELS, A/V EQUIPMENT, PLUMBING VALVES, AND ROOF TOP EQUIPMENT. LABELS SHALL BE LEGIBLE, NON-FADING, DURABLE, AND WEATHERPROOF.

17. CONTRACTOR SHALL SUPPLY, LOCATE AND BUILD INTO THE WORK ALL INSERTS, ANCHORS, ANGLES, PLATES, OPENINGS, SLEEVES, HANGERS, SLAB DEPRESSIONS AND PITCHES AS MAY BE REQUIRED TO ATTACH AND ACCOMMODATE OTHER WORK. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE IN THE WORK EXCEPT WHERE A DIFFERENT DETAIL IS SHOWN.

18. UNLESS OTHERWISE NEGOTIATED WITH OWNER OR TENANT, CONTRACTOR SHALL PAY ALL TAXES, SECURE ALL PERMITS AND PAY ALL FEES INCURRED IN THE COMPLETION OF THE PROJECT, INCLUDING BUT NOT LIMITED TO BUILDING PERMITS, WATER, ELECTRIC AND TELEPHONE SERVICE CONNECTION IMPACT FEES, CERTIFICATE OF OCCUPANCY, AND INSPECTIONS.

19. THE OWNER/TENANT AND/OR ARCHITECT WILL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT OF THE PROJECT. THE OWNER AND/OR ARCHITECTS APPROVAL OF A SEPARATE ITEM SHALL NOT INDICATE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS REQUIRED BY THESE DOCUMENTS WITHIN FOURTEEN DAYS FROM DATE OF SIGNING CONTRACT AND/OR GIVEN NOTICE TO PROCEED.

20. INSURANCE: WORKMEN'S COMPENSATION, AS REQUIRED BY LAW, AND PUBLIC LIABILITY SHALL BE CARRIED BY THE CONTRACTOR. GUARANTEE: THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS, AND WORKMANSHIP FURNISHED OR INSTALLED BY HIM OR HIS SUBCONTRACTORS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE AND SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT PERIOD WITHOUT EXPENSE TO THE OWNER AND PAY FOR ALL DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM DEFECTIVE WORK OR ITS REPAIR. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK WITHIN TEN (10) DAYS AFTER IT IS BROUGHT TO HIS ATTENTION. EXCEPTION: (THE ROOFING SUBCONTRACTOR SHALL FURNISH AND MAINTAIN AGREEMENT CO-SIGNED BY THE CONTRACTOR TO MAINTAIN THE ROOFING IN A WATER TIGHT CONDITION FOR A PERIOD OF TWO (2) YEARS STARTING AFTER DATE OF FINAL TURNOVER INSPECTION.)

21. PIPES AND DUCTS EXCEEDING ONE THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. SEE MECHANICAL AND/OR ELECTRICAL DRAWINGS FOR LOCATION OF SLEEVES, ACCESSORIES, ETC.

22. HOT WATER TEMPERATURE AT ALL SINKS TO BE ADJUSTED SO AS NOT TO EXCEED 120 DEGREES FAHRENHEIT.

23. PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND THAT OF HIS SUBCONTRACTORS FOR LOSSES AND DAMAGES TO EQUIPMENT, TOOLS AND MATERIAL USED IN CONJUNCTION WITH THE WORK AND FOR ACTS OF HIS EMPLOYEES.

24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE JOB IS IN PROGRESS AND UNTIL JOB IS COMPLETED.

25. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.

26. CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED.

27. CLEANING UP: THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH AND AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL REMOVE ALL RUBBISH, IMPLEMENTS, AND THOSE SURPLUS MATERIALS NOT REQUESTED TO REMAIN BY OWNER AND LEAVE THE BUILDING CLEAN, WITH PAINTED AND WOOD SURFACES CLEAN, ALL FLOORS WAXED AND/OR POLISHED AS SPECIFIED, AND ALL GLASS AND MIRRORS CLEANED AND POLISHED.

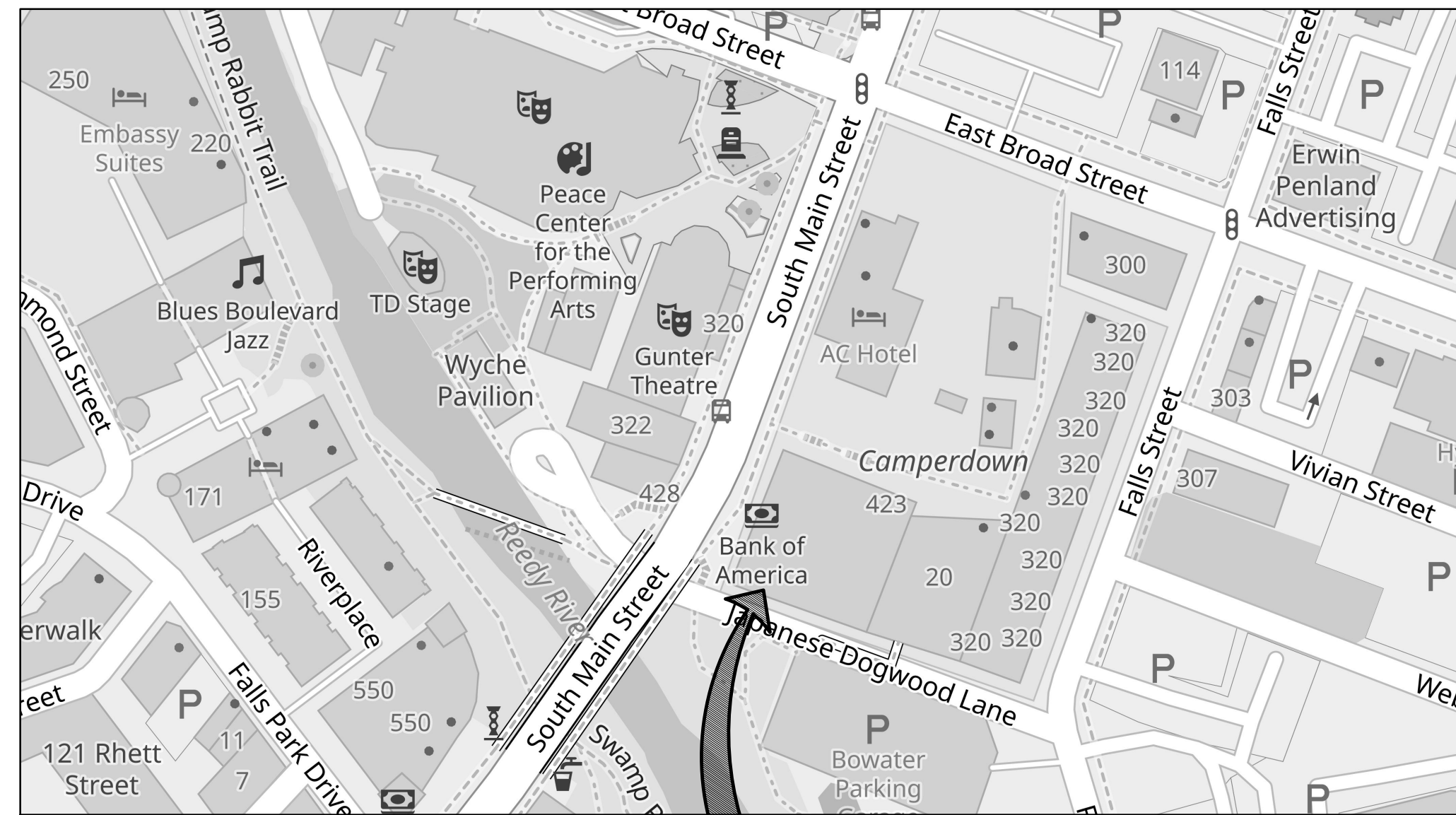
28. CONTRACTOR IS TO PROVIDE TO THE OWNER A LIST OF ALL SUBCONTRACTORS USED, COMPLETE WITH ADDRESSES, PHONE NUMBERS AND COPIES OF ALL WARRANTIES AND OPERATIONS AND MAINTENANCE MANUALS.

29. AFTER COMPLETION OF WORK, CONTRACTOR TO SUBMIT ONE COPY OF 'AS BUILT' DRAWINGS TO TENANT AND PLACE AN ADDITIONAL COPY IN AN APPROPRIATELY SIZED PVC PIPE WITH REMOVABLE CAPS. PIPE IS TO BE LABELED 'AS BUILT DRAWINGS' AND MOUNTED TO A WALL AS SPECIFIED BY TENANT.

THE COCKTAIL COMPANY

355 SOUTH MAIN STREET, UNIT 30 GREENVILLE, SC 29601

VICINITY MAP



PROJECT CONTACTS

ARCHITECT KEEL CONCEPTS, INC	M.E.P. ENGINEER CAROLINA ENGINEERING SOLUTIONS	TENANT THE COCKTAIL COMPANY LLC	LANDLORD CAP CAMPERDOWN OFFICE, LLC
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DESIGNERS OF RECORD

DESIGNER	NAME	LICENSE	TELEPHONE
ARCHITECTURAL:	LAWRENCE J. DELANEY III	8048	
MECHANICAL:	JOHN D. JOYE	13573	
PLUMBING:	JOHN D. JOYE	13573	
ELECTRICAL:	JAMES D. JOYE	21651	

DEFERRED SUBMITTALS

- BUILDING SIGNS
- FIRE ALARM MODIFICATIONS
- SPRINKLER SYSTEM MODIFICATIONS

OWNER FURNISHED ITEMS

ITEM	OWNER		GC		REMARKS
	FURNISH	INSTALL	FURNISH	INSTALL	
FOODSERVICE EQUIPMENT	●	●			
DECOR	●	●			
FURNITURE	●	●			
POS SYSTEM	●	●			
WAREWASHING EQUIPMENT	●	●			
SECURITY SYSTEM	●	●			
TELEVISIONS	●			●	

- GENERAL RESPONSIBILITY NOTES:
- ITEMS NOT LISTED IN SCHEDULE SHALL BE CONSIDERED GC FURNISHED AND INSTALLED, UNLESS NOTED OTHERWISE.
 - G.C. IS RESPONSIBLE FOR ALL FINAL EQUIPMENT CONNECTIONS TO BUILDING PLUMBING AND ELECTRICAL SYSTEMS, UNLESS NOTED OTHERWISE.
 - G.C. SHALL COORDINATE PROPER SEQUENCING AND DELIVERY SCHEDULE WITH OWNER AND OWNERS VENDORS.
 - G.C. IS RESPONSIBLE FOR RECEIVING OWNER FURNISHED ITEMS ON SITE AND PROTECTING FROM DAMAGE OR THEFT THROUGHOUT CONSTRUCTION.

DRAWING SYMBOLS LEGEND

DRAWING TITLE 1 **FLOOR PLAN**
1 1/2" = 1'-0"

DETAIL NUMBER DRAWING SCALE

SECTION SECTION I.D. NUMBER
A3.1 SHEET WHERE SECTION IS LOCATED

DETAIL (ENLARGED) ENLARGED AREA
A3.1 DETAIL I.D. NUMBER
A3.1 SHEET WHERE DETAIL IS LOCATED

ELEVATION ELEVATION I.D. NUMBER
A3.1 SHEET WHERE SECTION IS LOCATED

ROOM ROOM NUMBER
001 ROOM NAME
KITCHEN

WALL TAG WALL TYPE
14 REFER TO LEGEND

DOOR TAG DOOR NUMBER
4 DESIGNATION

WINDOW TAG WINDOW NUMBER
A DESIGNATION

MATERIAL TAG FINISH DESIGNATION
P-2 TRIM ONLY
COMMENTS, IF APPLICABLE

KEYED NOTES KEYED NOTE DESIGNATION
1 ON APPLICABLE SHEET

REVISIONS REVISION NUMBER (BY SET, NOT PER SHEET)
REVISED AREA CLOUDED

ELEVATION HEIGHT ELEVATION HEIGHT
100'-0" REFERENCE POINT

DRAWING LIST

SHEET	DRAWING DESCRIPTION	REVISION							COUNT
		1	2	3	4	5	6	7	
T1.1	TITLE SHEET	●	●	●					1
LS1.1	LIFE SAFETY PLAN								2
A1.1	DIMENSIONED FLOOR PLAN	●							3
A1.2	NOTED FLOOR PLAN	●							4
A1.3	FLOOR FINISH PLAN	●							5
A1.4	SCHEMATIC FLOOR PLAN	●							6
A2.1	REFLECTED CEILING PLAN	●							7
A3.1	SCHEDULES	●							8
A4.1	ENLARGED PLANS AND DETAILS	●							9
A4.2	DETAILS	●							10
P0.1	PLUMBING SCHEDULES, DETAILS AND NOTES			●					11
P1.1	SANITARY WASTE AND VENT FLOOR PLAN								12
P1.2	DOMESTIC WATER PLAN								13
P1.3	NATURAL GAS FLOOR PLAN (SHEET REMOVED FROM SET - REV 3)								14
M0.1	MECHANICAL SCHEDULES, DETAILS AND NOTES								15
M1.1	MECHANICAL HVAC PLAN	●							16
E1.1	ELECTRICAL LIGHTING PLAN	●							17
E2.1	ELECTRICAL POWER PLAN	●							18

PROJECT NARRATIVE

TENANT UPFIT OF COLD DARK SHELL INTO COCKTAIL BAR WITH DINING AREAS, RESTROOMS, PREP KITCHEN AREA. NO COOKING WILL BE PERFORMED, NO HOOD IS REQUIRED.

EXISTING SPACE CONTAINS EXISTING FIRE SPRINKLER SYSTEM WHICH WILL BE MODIFIED AS REQUIRED, UNDER SEPARATE PERMIT.

EXISTING TENANT SPACE IS ONE LEVEL.

CODE SUMMARY

CODE	EDITION
International Building Code (with SC State Amendments)	2018
International Mechanical Code	2018
National Electric Code (with SC State Amendments)	2017
International Plumbing Code	2018
International Fire Code (with SC State Amendments)	2018
International Energy Conservation Code	2009
NFPA 101 Life Safety Code	2018
ICC/ANSI A117.1 SC Barrier Free Building Design Standard	2017

OCCUPANCY	CONSTRUCTION TYPE	MAX. HEIGHT (FT)	NO. OF STORIES	AREA PER FLOOR (TENANT AREA)
A-2	IIIB-SPRINKLERED	±14'-0"	1	2,290 SF

BUILDING ELEMENT	REQUIRED	PROVIDED
PRIMARY STRUCTURAL FRAME	0	0
BEARING WALLS - EXTERIOR	0	0
BEARING WALLS - INTERIOR	0	0
NONBEARING WALLS - EXTERIOR (PER TABLE 602)	0	0
NONBEARING WALLS - INTERIOR	0	0
FLOOR CONSTRUCTION	0	0
ROOF CONSTRUCTION	0	0

BUILDING ELEMENT	REQUIRED	PROVIDED
INTERIOR EXIT STAIRWAYS, INTERIOR EXIT RAMPS AND EXIT PASSAGEWAYS	A	A
CORRIDORS AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS AND EXIT ACCESS RAMPS	B	B
ROOMS AND ENCLOSED SPACES	C	C

AUTOMATIC SPRINKLER SYSTEMS (SECTION 903) & FIRE ALARM AND DETECTION SYSTEMS (SECTION 907)	REQUIRED	PROVIDED
AUTOMATIC SPRINKLER SYSTEM WHERE REQUIRED PER SECTION 903.2	YES	YES
MANUAL FIRE ALARM SYSTEM WHERE REQUIRED PER SECTION 907.2	YES	YES

FLOOR	USE OF SPACE	FLOOR AREA	FLOOR AREA ALLOWED PER OCCUPANT	OCCUPANT LOAD
GROUND	COMMERCIAL KITCHEN	350 GSF	200 GSF	2
GROUND	ASSEMBLY - UNCONC. TABLES & CHAIRS	450 NSF	15 NSF	30
GROUND	ASSEMBLY - FIXED SEATING W/O DIVIDERS	744'	18'	42
GROUND	ASSEMBLY - FIXED BAR SEATING	384'	18'	22
GROUND	ASSEMBLY - STANDING	130 NSF	5 NSF	26
GROUND	PATIO - UNCONC. TABLES AND CHAIRS	960 NSF	15 NSF	38
			TOTAL OCCUPANT LOAD	160

OCCUPANCY FLOOR, ROOM, OR SPACE	SPRINKLERED	REQUIRED INCHES PER OCCUPANT		REQUIRED TOTAL INCHES		PROVIDED TOTAL INCHES	
		STAIRWAYS	OTHER	STAIRWAYS	OTHER	STAIRWAYS	OTHER
GROUND	X	0.3	0.2	44"	32"	N/A	68"

FLOOR/SPACE	OCCUPANT LOAD	NUMBER OF EXITS		ACCESSIBLE EXITS	
		REQUIRED	PROVIDED	REQUIRED	PROVIDED
INTERIOR	122	2	2	2	2
EXTERIOR PATIO	38	1	2	1	2

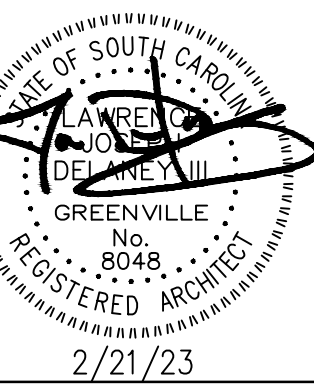
FLOOR/SPACE	SPRINKLERED	MAXIMUM ALLOWED TRAVEL DISTANCE		MAXIMUM ACTUAL TRAVEL DISTANCE
		YES	NO	
GROUND	X	250'-0"		125'-0"

PLUMBING FIXTURES (TABLE 403.1)				
TOTAL OCCUPANT LOAD: 160*		OCCUPANCY CLASSIFICATION: A-2 NIGHTCLUB/BAR/LOUNGE		
ITEM	CALCULATION	REQUIRED	PROVIDED	NOTES
WATER CLOSETS	1:40 MALE	2	2	
	1:40 FEMALE	2	2	
LAVATORIES	1:75	3	4	
DRINKING FOUNTAINS	1:500	0	0	NOT PROVIDED PER 410.4.
SERVICE SINK		1	1	

*160 OCCUPANTS = 122 INTERIOR OCCUPANTS + 38 EXTERIOR PATIO OCCUPANTS



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GREENVILLE, SC 29601

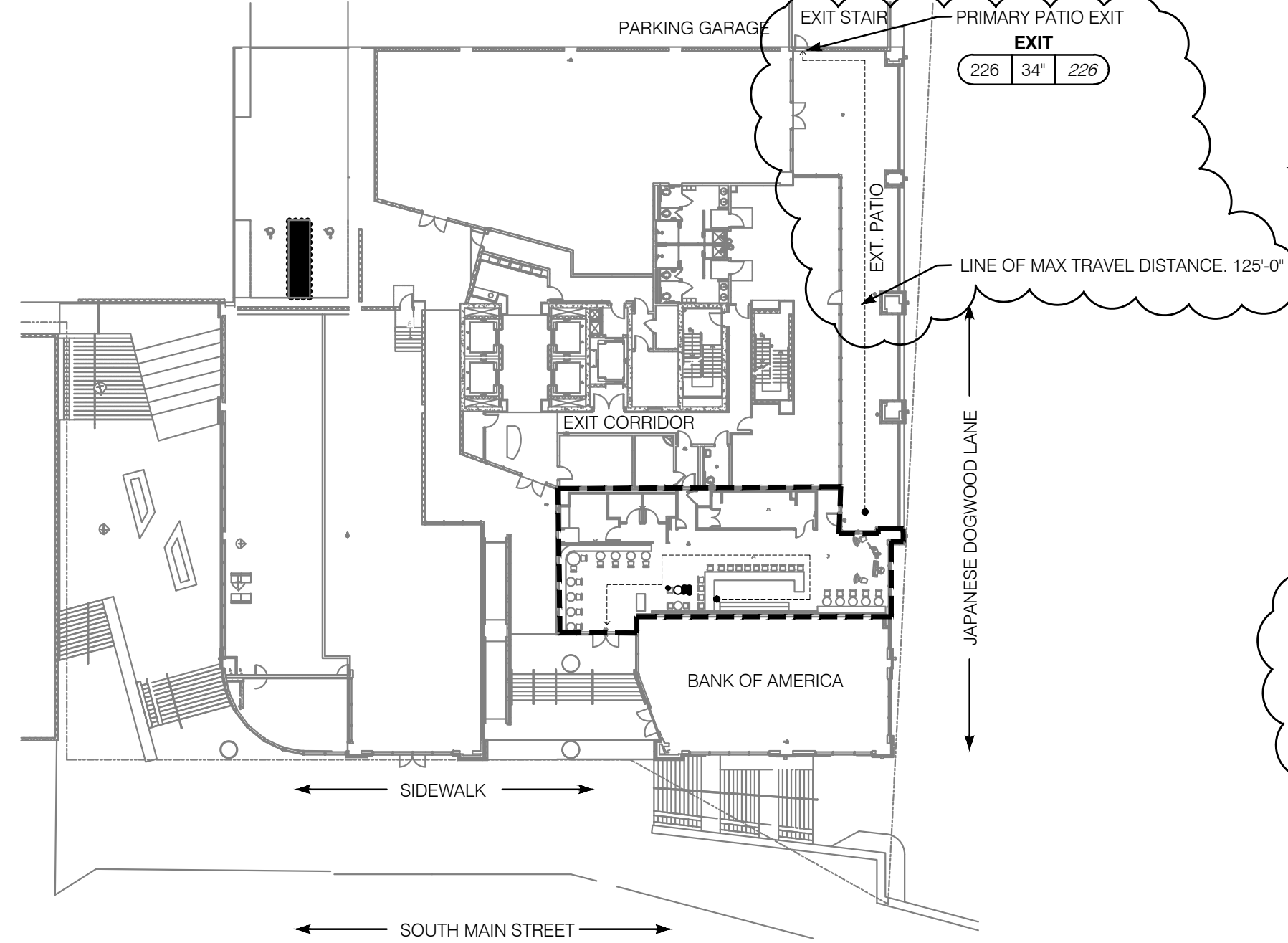
Job Number: 22067

Date: 23 DEC 2022

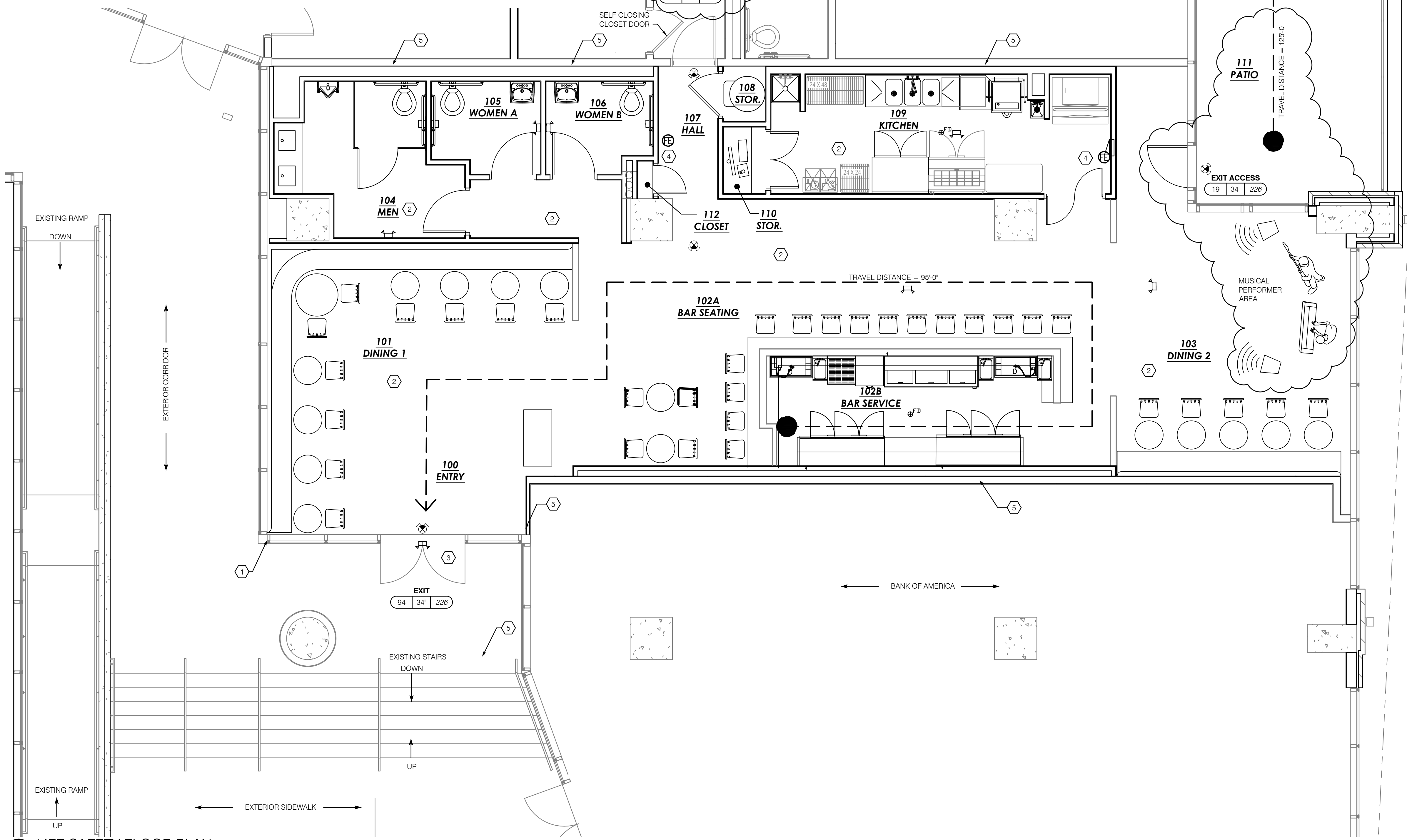
Revision # Revision Date
25 JAN 2023
21 FEB 2023
21 FEB 2023

TITLE SHEET

T1.1



2 PROJECT LOCATION WITHIN FALLS TOWER
1/32" = 1'-0"



1 LIFE SAFETY FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

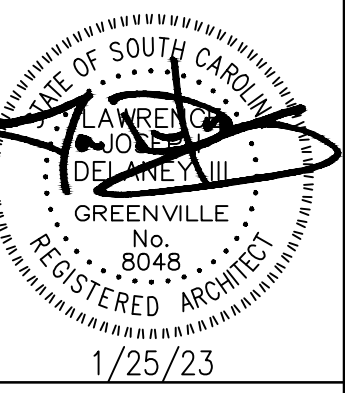
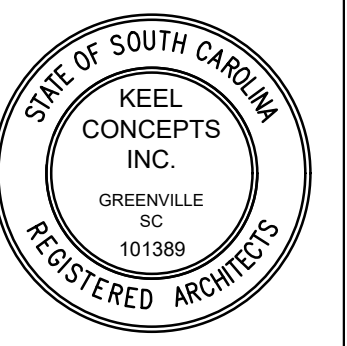
- A. PROVIDE AN OCCUPANT LOAD SIGN: "MAXIMUM CAPACITY - XX PERSONS" G.C. TO VERIFY THE EXACT LOCATION AND PROPER WORKING WITH THE LOCAL FIRE DEPARTMENT HAVING JURISDICTION.
- B. PROVIDE EXIT DOOR TACTILE SIGNAGE IN ACCORDANCE WITH NFPA 101.7.10.1.3 SIGNS ARE TO BE 4X4 READING "EXIT" AND INCLUDING BRAILLE TEXT. SIGNS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF I.C.C. AS 117.1 SIGNS TO BE MOUNTED BETWEEN 48" & 60" A.F.F. TO THE CENTER AND SHALL BE LOCATED TO THE LATCH SIDE OF SINGLE DOORS AND TO THE RIGHT OF DOUBLE DOORS.
- C. PORTABLE FIRE EXTINGUISHERS TO BE MINIMUM 2A:10BC AND LOCATED SUCH THAT THE MAXIMUM TRAVEL DISTANCE TO AN EXTINGUISHER DOES NOT EXCEED 75'-FT.
- D. FIRE EXTINGUISHERS SHALL BE INSTALLED SO THAT THE TOP OF THE FIRE EXTINGUISHER IS NOT MORE THAN 5 FT ABOVE THE FLOOR AND MUST BE KEPT ON A BRACKET, ON A HANGER, OR IN AN APPROVED CABINET OR WALL RECESS.
- E. GC TO CONFIRM FIRE EXTINGUISHER PLACEMENT AND QUANTITIES WITH FIRE MARSHAL PRIOR TO INSTALLATION. PROVIDE ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED BY FIRE MARSHAL.
- F. PROVIDE RAISED CHARACTER AND BRAILLE EXIT SIGNS STATING "EXIT" ADJACENT TO EACH EXIT PASSAGEWAY AND EXIT DISCHARGE.
- G. INTERIOR FLOOR FINISHES SHALL COMPLY WITH 804 OF THE 2018 INTERNATIONAL BUILDING CODE.
- H. PENETRATION OF ALL FIRE RATED BARRIERS, PARTITIONS AND HORIZONTAL ASSEMBLIES SHALL COMPLY WITH SECTION 714 OF THE 2018 INTERNATIONAL BUILDING CODE.
- I. EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- J. A CERTIFICATE OF OCCUPANCY MUST BE OBTAINED BY THE TENANT PRIOR TO OCCUPYING ANY BUILDINGS OR PORTIONS OF BUILDINGS.
- K. EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. ACCESS TO EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS IN CASES WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. EXIT SIGN PLACEMENT SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR IS MORE THAN 100 FEET FROM THE NEAREST VISIBLE EXIT SIGN.
- L. RENOVATIONS THAT REQUIRE ALTERATIONS TO THE FIRE SPRINKLER SYSTEM WILL REQUIRE A STATE LICENSED SPRINKLER CONTRACTOR TO SUBMIT PLANS TO AND OBTAIN A PERMIT FROM THE FIRE MARSHAL PRIOR TO ALTERATIONS TO THE SYSTEM. THE SYSTEM SHALL BE TESTED IN THE PRESENCE OF AND A CONTRACTORS MATERIAL AND TEST CERTIFICATE PROVIDED TO THE FIRE MARSHAL FOLLOWING ALTERATIONS.
- M. PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH NFPA 10 (SEE SECTION 906 OF THE 2018 INTERNATIONAL FIRE CODE.)

KEYED NOTES

- 1 PROVIDE KNOX BOX 3200 SERIES. GC TO CONFIRM MODEL AND MOUNTING LOCATION WITH FIRE MARSHAL.
- 2 PROVIDE, ADJUST AND/OR AMEND INDICATED EMERGENCY LIGHT LOCATIONS AS REQUIRED TO MEET THE REQUIREMENTS OF NFPA 101.
- 3 ADDRESS NUMBERS TO BE POSTED ON BUILDING WITH MINIMUM 4" HEIGHT, UNLESS SO OTHERWISE DIRECTED BY SIZE AS REQUIRED BY FIRE MARSHALL, BY SCALE OF BUILDING.
- 4 PORTABLE FIRE EXTINGUISHERS TO BE MINIMUM 2A:10BC. REFER TO GENERAL NOTE E.
- 5 EXISTING TENANT SEPARATION WALL. GC TO MAINTAIN INTEGRITY OF FIRE RATING THROUGHOUT CONSTRUCTION. NO PENETRATIONS SHALL BE MADE.

LEGEND

- ⊗ EXIT LIGHT
 - ⊗ EXIT LIGHT WITH DIRECTIONAL INDICATORS
 - ⊗ EXIT LIGHT WITH EMERGENCY LIGHTS
 - ⊏ EMERGENCY LIGHT
 - ⊕ FIRE EXTINGUISHER
- EGRESS COMPONENT
- EXIT 220 60' 300
- OCCUPANTS ALLOWED
 - ACTUAL WIDTH
 - ACTUAL OCCUPANT LOAD



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Job Number:	22067
Date:	23 DEC 2022
Revision #	Revision Date
1	25 JAN 2023

LIFE SAFETY PLAN

LS1.1

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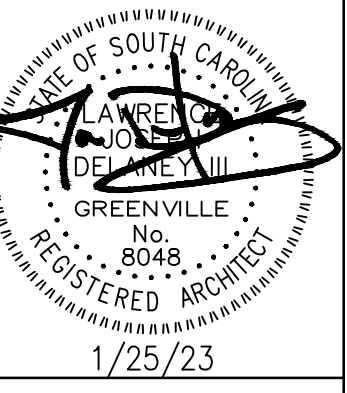
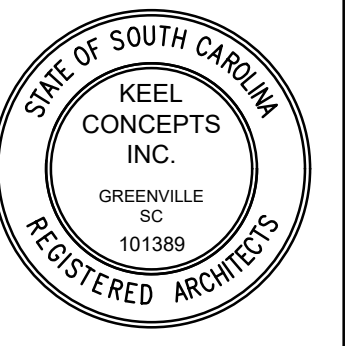
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IMPORTANT NOTE !!!

PRIOR TO BEGINNING CONSTRUCTION, SLAB IS TO BE X-RAYED TO CONFIRM LOCATION OF POST-TENSIONED SLAB REINFORCEMENT TENDONS. GC TO COORDINATE LOCATION OF SLAB PENETRATIONS AND CORINGS TO AVOID DAMAGE TO STRUCTURAL SYSTEM. REPORT ANY DISCREPANCIES BETWEEN AS-BUILT CONDITIONS AND PROPOSED PLANS TO ARCHITECT BEFORE PERFORMING WORK.

GENERAL NOTES

- A. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD, OR TO CENTER OF OPENING UNLESS OTHERWISE NOTED.
- B. DIMENSIONS SHOWN FOR OPENINGS ARE ROUGH OPENING DIMENSIONS UNLESS NOTED OTHERWISE.
- D. PROVIDE SOLID 2X WOOD BLOCKING WITHIN PARTITIONS AT ALL LOCATIONS WHERE CASEWORK, SHELVING, BRACKETS, DISPLAYS, GRAB BARS, HANDRAILS AND/OR EQUIPMENT WILL BE MOUNTED OR ATTACHED TO THE FACE OF WALL. REFERENCE FLOOR PLAN FOR LOCATIONS OF SUCH EQUIPMENT.
- E. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE 3-5/8" METAL STUD FRAMING @ 16" O.C. WITH 5/8" GWB EACH SIDE. PROVIDE MOISTURE RESISTANT GWB IN BATHROOMS.
- F. UNLESS NOTED OR DIMENSIONED OTHERWISE, DOOR FRAMES SHALL BE PLACED AS SHOWN ON THE PLAN-CENTERED IN WALL SECTIONS OR LOCATED 3" FROM THE ADJACENT WALL SYSTEM CORNER TO OUTSIDE OF THE DOOR FRAME. REFER TO TYPICAL HINGE SIDE JAMB CONDITION DETAIL.
- G. ANY DISCREPANCIES BETWEEN THIS DRAWING AND THE ACTUAL FIELD CONDITIONS ARE TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER.
- H. ROOMS ARE DEFINED BY WALLS, FACES OF DOORS AND ROOM CHANGE INDICATORS.
- E. LUMBER AND BLOCKING IN CONTACT WITH MASONRY AND CONCRETE SHALL BE PRESSURE TREATED.
- F. PLUMBING FIXTURE LOCATIONS (LINO)
 *TOILETS 18" O.C. FROM ADJACENT WALL SURFACE
 *SINKS CENTERED IN CABINET
 *LAVATORIES 15" O.C. FROM ADJACENT FINISH WALL.
- G. COORDINATE AND PERFORM ADDITIONAL WORK AS REQUIRED TO PRODUCE THE COMPLETED PLAN. ACCOMMODATE ALL EQUIPMENT. REMOVE ALL EXISTING FINISHES AND PROPERLY PREPARE SURFACES TO RECEIVE NEW FINISHES, AND INCORPORATE ALL DETAILS.
- H. ALL FIXTURES, FINISHES, MILLWORK, AND EQUIPMENT, ARE TO BE SELECTED BY THE OWNER.
- I. ALL ROOF WORK SHALL BE DONE IN ACCORDANCE WITH ROOF MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS AS TO NOT VOID ANY EXISTING WARRANTY.



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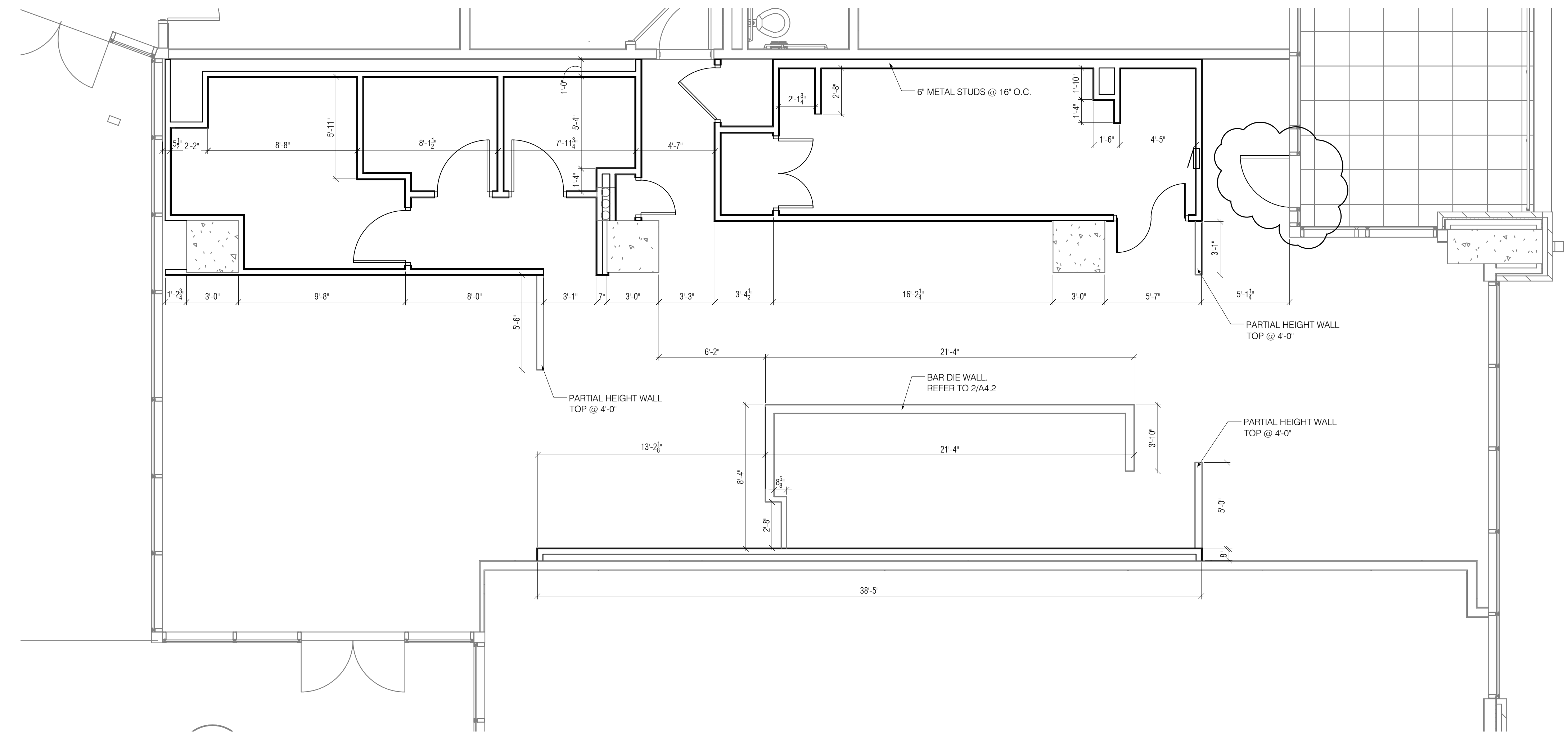
Job Number: 22067

Date: 23 DEC 2022

Revision #	Revision Date
△	25 JAN 2023

DIMENSIONED FLOOR PLAN

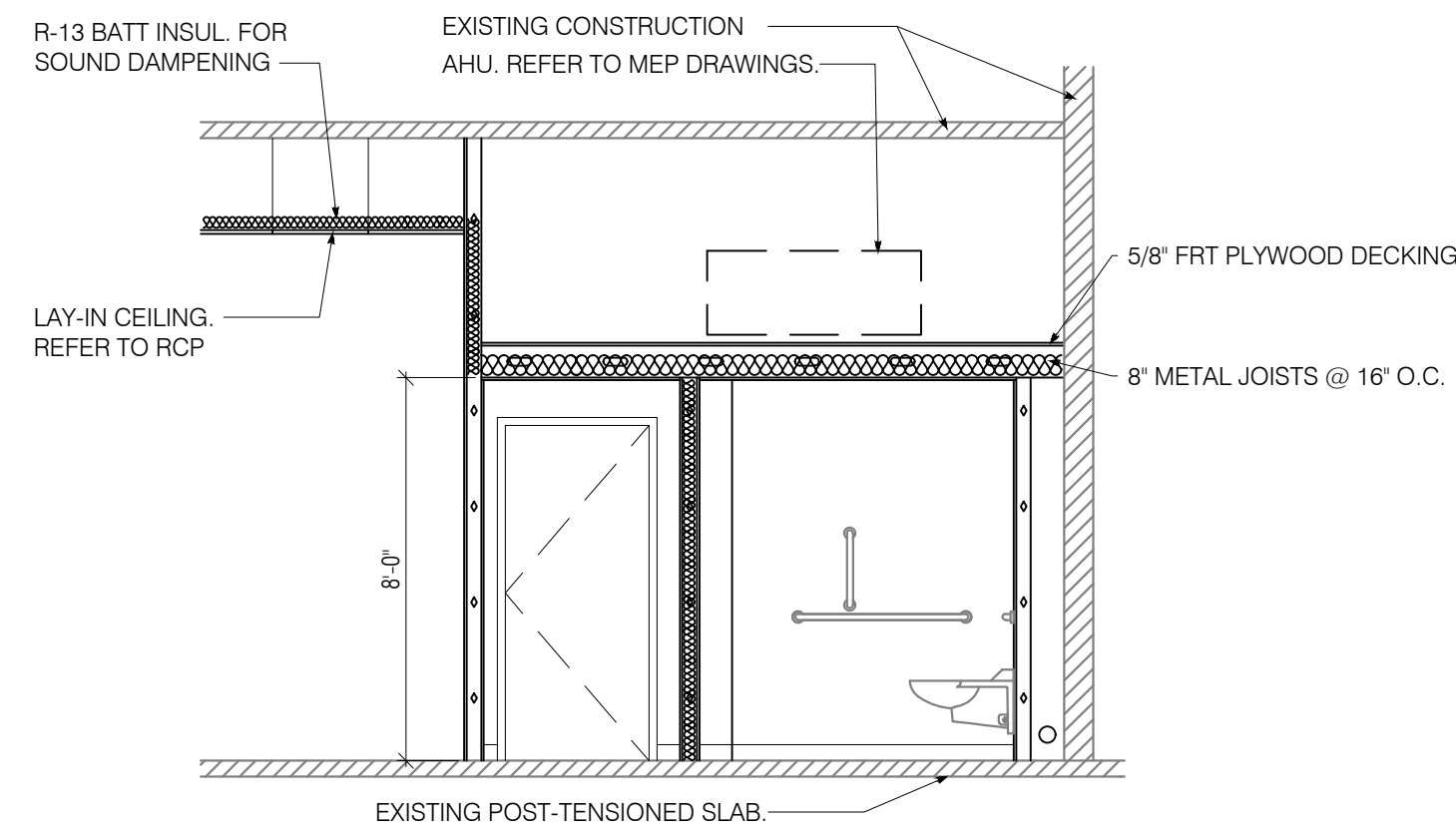
A1.1



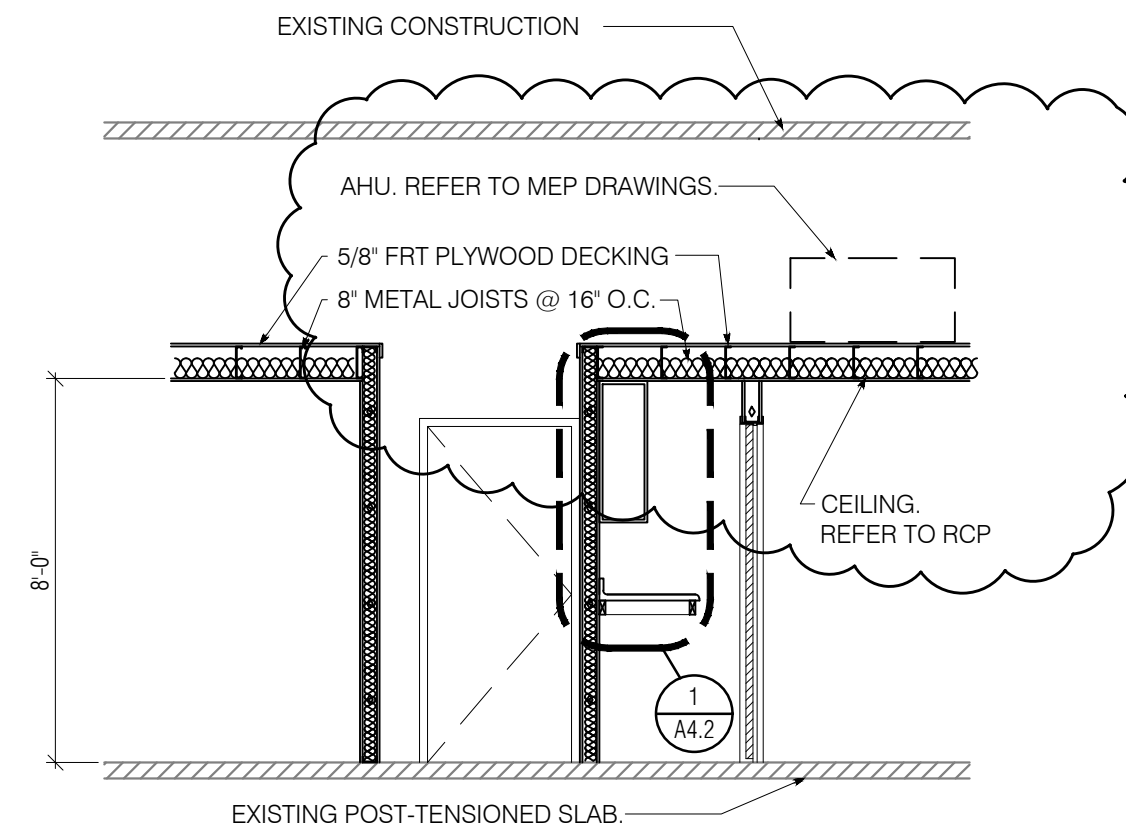
1 DIMENSIONED FLOOR PLAN
 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FULL HEIGHT WALL TO 6" ABOVE CEILING, U.N.O.



2 WALL SECTION THRU RESTROOM
1/4"=1'-0"



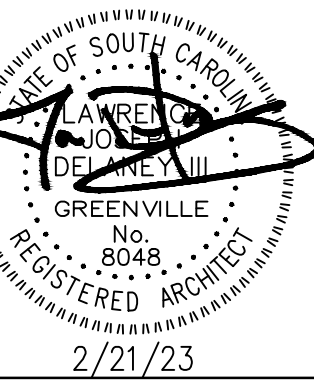
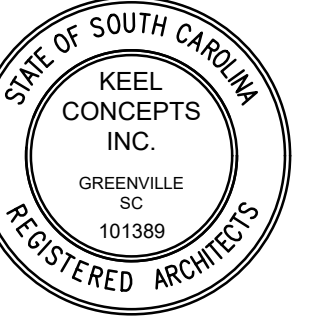
3 WALL SECTION THRU HALL
1/4"=1'-0"

IMPORTANT NOTE !!!

PRIOR TO BEGINNING CONSTRUCTION, SLAB IS TO BE X-RAYED TO CONFIRM LOCATION OF POST-TENSIONED SLAB REINFORCEMENT TENDONS. GC TO COORDINATE LOCATION OF SLAB PENETRATIONS AND CORINGS TO AVOID DAMAGE TO STRUCTURAL SYSTEM. REPORT ANY DISCREPANCIES BETWEEN AS-BUILT CONDITIONS AND PROPOSED PLANS TO ARCHITECT BEFORE PERFORMING WORK.

GENERAL NOTES

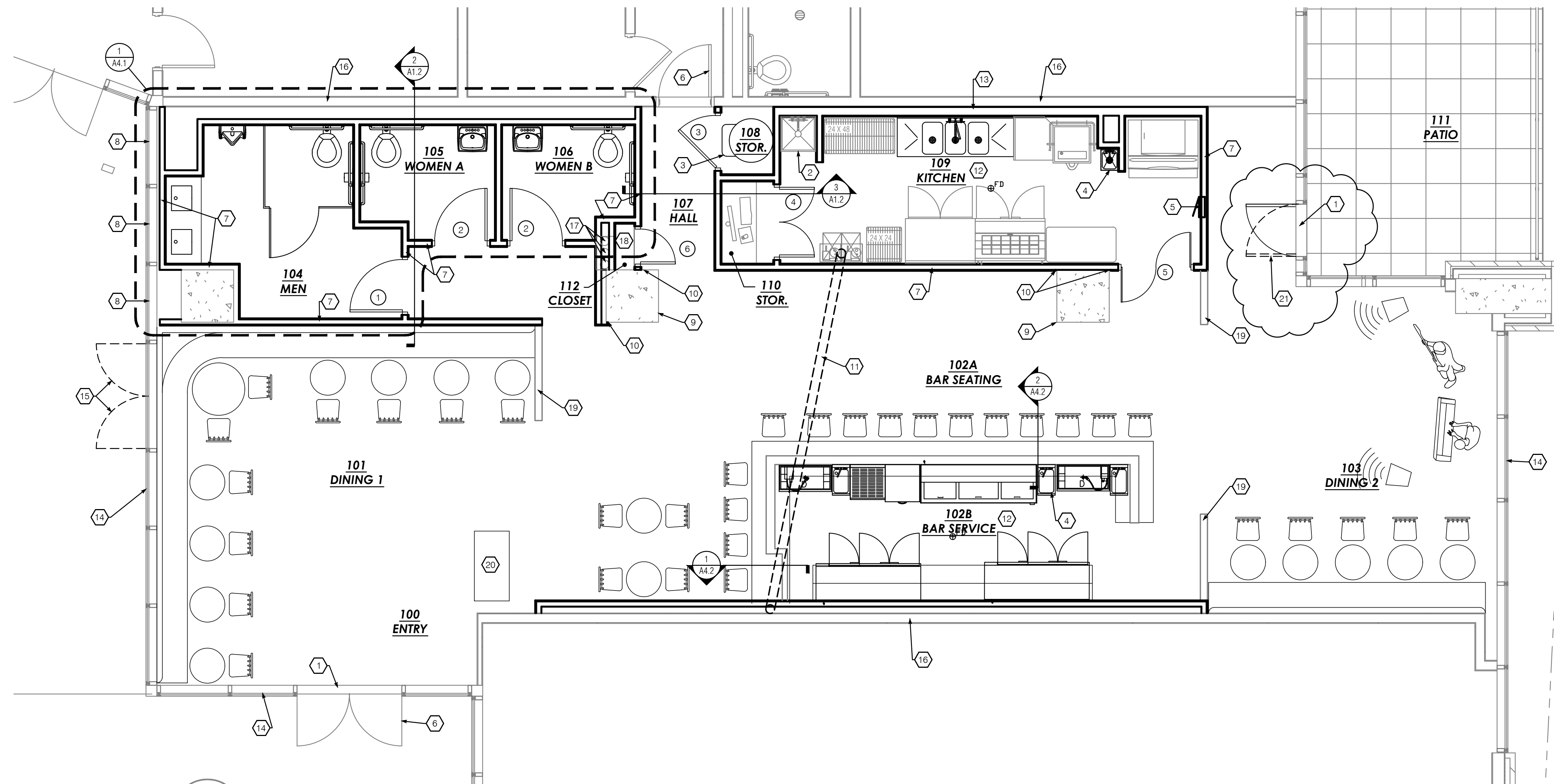
- A. ALL INTERIOR DIMENSIONS ARE FROM FACE OF STUD, OR TO CENTER OF OPENING UNLESS OTHERWISE NOTED.
- B. DIMENSIONS SHOWN FOR OPENINGS ARE ROUGH OPENING DIMENSIONS UNLESS NOTED OTHERWISE.
- D. PROVIDE SOLID 2X WOOD BLOCKING WITHIN PARTITIONS AT ALL LOCATIONS WHERE CASEWORK, SHELVING, BRACKETS, DISPLAYS, GRAB BARS, HANDRAILS AND/OR EQUIPMENT WILL BE MOUNTED OR ATTACHED TO THE FACE OF WALL. REFERENCE FLOOR PLAN FOR LOCATIONS OF SUCH EQUIPMENT.
- E. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE 3-5/8" METAL STUD FRAMING @ 16" O.C. WITH 5/8" GWB EACH SIDE. PROVIDE MOISTURE RESISTANT GWB IN BATHROOMS.
- F. UNLESS NOTED OR DIMENSIONED OTHERWISE, DOOR FRAMES SHALL BE PLACED AS SHOWN ON THE PLAN-CENTERED IN WALL SECTIONS OR LOCATED 3" FROM THE ADJACENT WALL SYSTEM CORNER TO OUTSIDE OF THE DOOR FRAME. REFER TO TYPICAL HINGE SIDE JAMB CONDITION DETAIL.
- G. ANY DISCREPANCIES BETWEEN THIS DRAWING AND THE ACTUAL FIELD CONDITIONS ARE TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER.
- H. ROOMS ARE DEFINED BY WALLS, FACES OF DOORS AND ROOM CHANGE INDICATORS.
- E. LUMBER AND BLOCKING IN CONTACT WITH MASONRY AND CONCRETE SHALL BE PRESSURE TREATED.
- F. PLUMBING FIXTURE LOCATIONS (LNO)
*TOILETS 18" O.C. FROM ADJACENT WALL SURFACE
*SINKS CENTERED IN CABINET
*LAVATORIES 15" O.C. FROM ADJACENT FINISH WALL.
- G. COORDINATE AND PERFORM ADDITIONAL WORK AS REQUIRED TO PRODUCE THE COMPLETED PLAN. ACCOMMODATE ALL EQUIPMENT. REMOVE ALL EXISTING FINISHES AND PROPERLY PREPARE SURFACES TO RECEIVE NEW FINISHES, AND INCORPORATE ALL DETAILS.
- H. ALL FIXTURES, FINISHES, MILLWORK, AND EQUIPMENT, ARE TO BE SELECTED BY THE OWNER.
- I. ALL ROOF WORK SHALL BE DONE IN ACCORDANCE WITH ROOF MANUFACTURERS STANDARD DETAILS AND SPECIFICATIONS AS TO NOT VOID ANY EXISTING WARRANTY.



THE COCKTAIL COMPANY
355 SOUTH MAIN STREET, UNIT 30
GREENVILLE, SC 29601

KEYED NOTES

- 1 EXISTING ACCESSIBLE THRESHOLD
- 2 MOP SINK. REFER TO PLUMBING DRAWINGS.
- 3 WATER HEATER. REFER TO PLUMBING DRAWINGS.
- 4 HAND SINK. REFER TO PLUMBING DRAWINGS.
- 5 ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS.
- 6 EXISTING DOOR TO REMAIN. ENSURE DOOR MEETS ACCESSIBILITY REQUIREMENTS IN DOOR GENERAL NOTES, SHEET A3.1.
- 7 PROVIDE SOUND BATT INSULATION WITHIN RESTROOM AND KITCHEN WALLS.
- 8 OPAQUE FILM TO BE APPLIED TO GLASS (INTERIOR SIDE)
- 9 EXISTING CONCRETE COLUMN TO REMAIN EXPOSED
- 10 PROVIDE PAINTABLE VERTICAL J-CHANNEL WHERE SHEETROCK MEETS EXISTING CONCRETE COLUMN.
- 11 ABOVE CEILING SODA LINE CHASE TO BAR. PROVIDE 6" PVC CHASE. STUB OUT @ 6" BELOW CEILING. MAINTAIN MINIMUM 24" SWEEPS.
- 12 EQUIPMENT SHOWN FOR REFERENCE. SUPPLIED AND INSTALLED BY OTHERS. REFER TO A1.4.
- 13 6" METAL STUD WALL FURRED OUR FROM EXISTING DEMISING WALL.
- 14 EXISTING STOREFRONT TO REMAIN.
- 15 EXISTING STOREFRONT DOOR TO BE SECURED IN CLOSED POSITION. DOOR OPERATING HARDWARE TO BE REMOVED. EXISTING EXIT SIGN TO BE RELOCATED.
- 16 EXISTING TENANT SEPARATION WALL TO REMAIN AS-IS. PROTECT FROM DAMAGE THROUGHOUT CONSTRUCTION SO AS TO PRESERVE INTEGRITY OF FIRE RATING. ANY AND ALL PENETRATIONS SHALL BE EFFECTIVELY FIRE STOPPED.
- 17 EXISTING PIPING TO REMAIN.
- 18 5 TIER ADJUSTABLE SHELVING W/ HEAVY DUTY STANDARDS.
- 19 PARTIAL HEIGHT WALL. REFER TO 3/A4.2
- 20 HOST STAND BY OTHERS.
- 21 EXISTING DOOR SWING TO BE REVERSED. ENSURE DOOR MEETS ACCESSIBILITY REQUIREMENTS IN DOOR GENERAL NOTES, SHEET A3.1.



1 NOTED FLOOR PLAN
1/4"=1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FULL HEIGHT WALL (TO 6" ABV CEILING U.N.O.)

Job Number:	22067
Date:	23 DEC 2022
Revision #	Revision Date
1	21 FEB 2023

NOTED FLOOR PLAN

A1.2

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IMPORTANT NOTE !!!

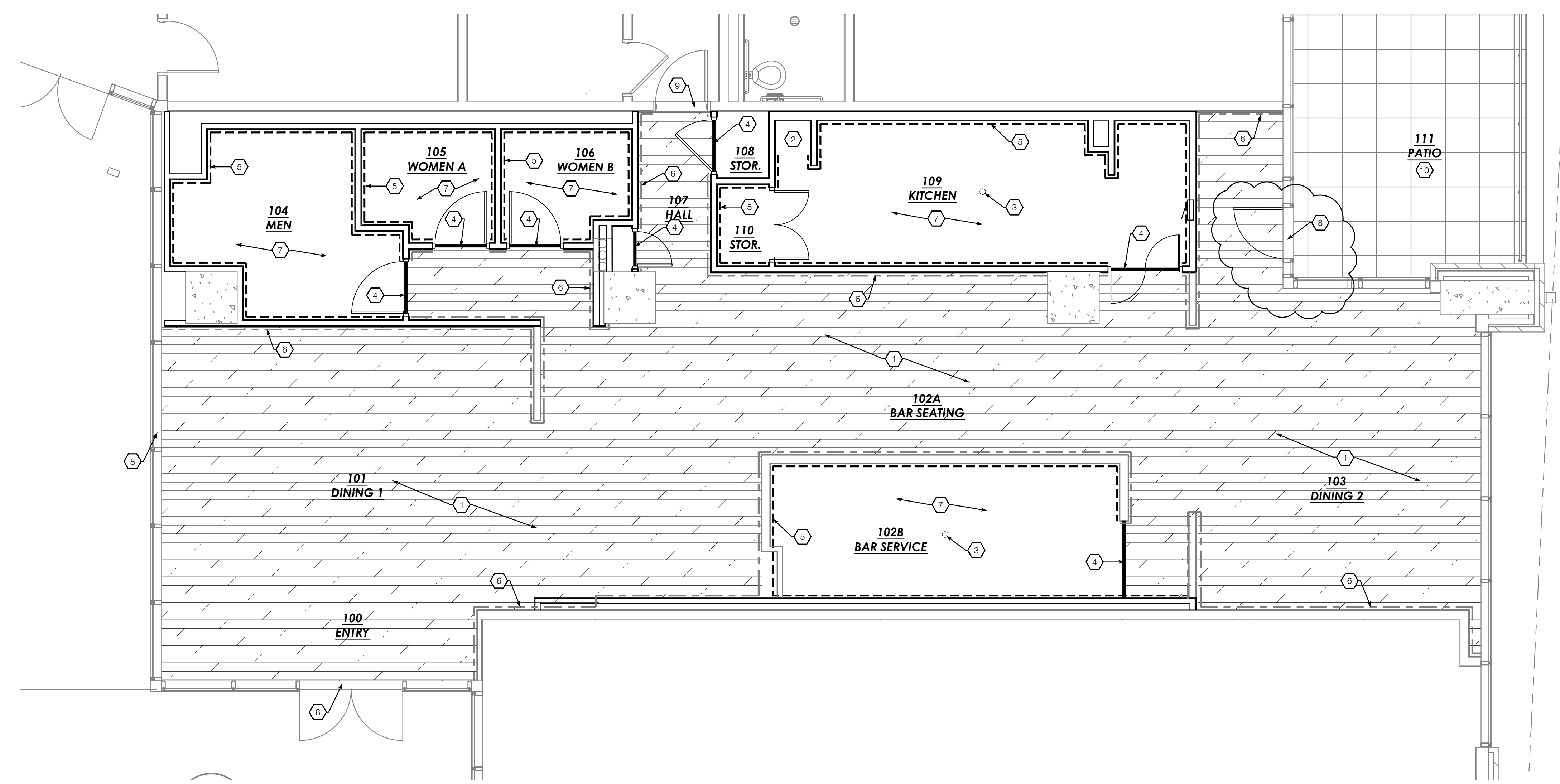
PRIOR TO BEGINNING CONSTRUCTION, SLAB IS TO BE X-RAYED TO CONFIRM LOCATION OF POST-TENSIONED SLAB REINFORCEMENT TENDONS. GC TO COORDINATE LOCATION OF SLAB PENETRATIONS AND CORINGS TO AVOID DAMAGE TO STRUCTURAL SYSTEM. REPORT ANY DISCREPANCIES BETWEEN AS-BUILT CONDITIONS AND PROPOSED PLANS TO ARCHITECT BEFORE PERFORMING WORK.

GENERAL NOTES

- A. ALIGN JOINTS OF WALL AND FLOOR TILE. U.N.O.
- B. FLOOR FINISH TRANSITIONS SHALL OCCUR AT LINE OF DOOR IN CLOSED POSITION. U.N.O.
- C. CONTINUE FLOOR FINISH UNDERNEATH CASEWORK (WHERE OCCURS), TYPICAL.
- D. ALL FLOOR FINISHES SHALL BE PROTECTED FROM TIME OF INSTALLATION THROUGH TURNOVER.
- E. ANY DISCREPANCIES BETWEEN THIS DRAWING AND THE ACTUAL FIELD CONDITIONS ARE TO BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER.

KEYED NOTES

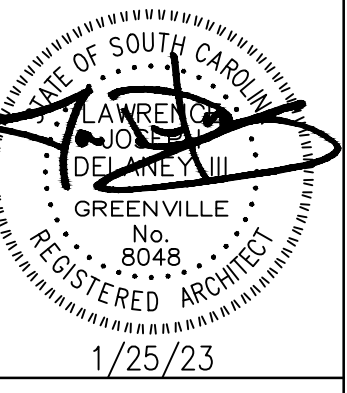
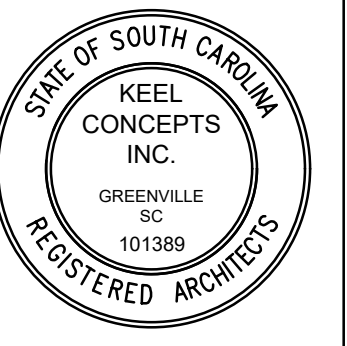
- 1 LVT-1 FLOORING. REFER TO FINISH SCHEDULE.
- 2 MOP SINK. REFER TO PLUMBING DRAWINGS.
- 3 FLOOR DRAIN. REFER TO PLUMBING DRAWINGS.
- 4 TRANSITION STRIP. SCHLUTER VINPRO-U. 10MM HEIGHT OR LESS (ADA COMPLIANT).
- 5 4" RUBBER COVE BASE TRIM (WHERE INDICATED BY THE LINE TYPE: - - - - -). REFER TO FINISH SCHEDULE.
- 6 1X6 WOOD BASE TRIM. PAINT. (WHERE INDICATED BY THE LINE TYPE: - - - - -). REFER TO FINISH SCHEDULE.
- 7 SEALED CONCRETE FLOOR.
- 8 EXISTING ACCESSIBLE THRESHOLD. REMOVE AND REINSTALL TO ACCOMMODATE NEW FLOOR FINISH.
- 9 NEW ACCESSIBLE THRESHOLD.
- 10 EXISTING PATIO FLOOR FINISH TO REMAIN.



1 FLOOR FINISH PLAN
1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW FULL HEIGHT WALL. (TO 6' ABV CEILING U.N.O.)



THE COCKTAIL COMPANY
355 SOUTH MAIN STREET, UNIT 30
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FLOOR FINISH PLAN

A1.3

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EQUIPMENT SCHEDULE

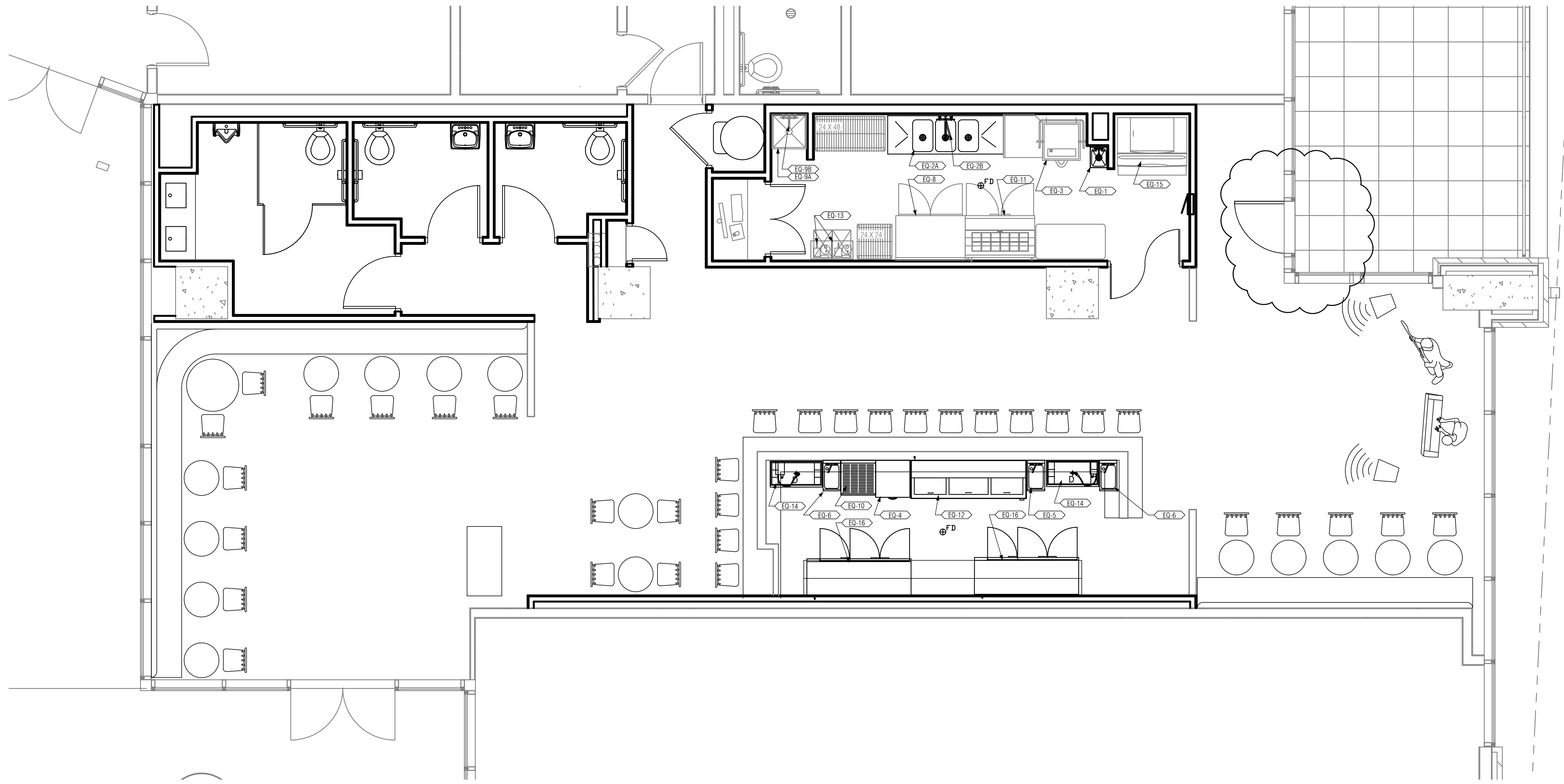
EQUIPMENT SCHEDULE		
EQ NUMBER	ITEM	MODEL
EQ-1	HAND SINK	SPLASH WM800
EQ-2A	3-COMP SINK	REGENCY 600315152G
EQ-2B	3-COMP FAUCET	TAS BRASS EQUIP SPR-WW12
EQ-3	WAREWASHER	NOBLE 1-E COMMERCIAL WAREWASHER
EQ-4	DISHWASHER	NOBLE COMMERCIAL UNDERCOUNTER DISHWASHER (LOW TEMP)
EQ-5	BAR HAND SINK	REGENCY 600811014
EQ-6	BAR DRAIN SINK	REGENCY 600811014
EQ-7		NOT USED
EQ-8	MOUNT TOP REFRIGERATOR	AVANTCO #1765SVT48PHC
EQ-9A	MOP SINK	MUSTEE MODEL 63M
EQ-9B	MOP FAUCET	TAS BRASS B-0965-BSTR
EQ-10	BAR DRAIN/CHARGE	ADVANCE TABCO PPRC-19-24
EQ-11	COLD PREP	AVANTCO APT-48-HC
EQ-12	BOTTLE COOLER	AVANTCO HBB-80-HC
EQ-13	CARBONATORS	MCANNIS 43-6002 (MOUNT 84" A.F.F.)
EQ-14	COCKTAIL STATION	KROWNE 21-36
EQ-15	ICE MACHINE	MANITOWAC IT0900
EQ-16	BACK BAR FRIIDGE	AVANTCO #178L-BB125TG
EQ-17	WATER HEATER	LOWBOY TANK. LOCATE ABOVE RESTROOMS. MODEL TBD

IMPORTANT NOTE !!!

PRIOR TO BEGINNING CONSTRUCTION, SLAB IS TO BE X-RAYED TO CONFIRM LOCATION OF POST-TENSIONED SLAB REINFORCEMENT TENDONS. GC TO COORDINATE LOCATION OF SLAB PENETRATIONS AND CORINGS TO AVOID DAMAGE TO STRUCTURAL SYSTEM. REPORT ANY DISCREPANCIES BETWEEN AS-BUILT CONDITIONS AND PROPOSED PLANS TO ARCHITECT BEFORE PERFORMING WORK.

GENERAL NOTES

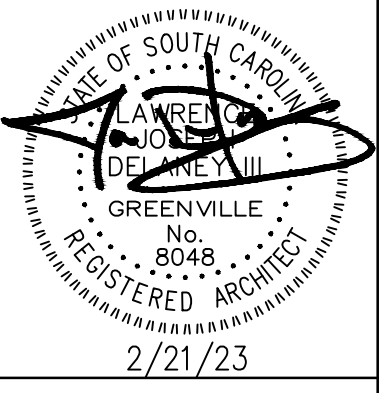
- A. EQUIPMENT LAYOUT AND SCHEDULE PROVIDED FOR REFERENCE ONLY. REFER TO VENDORS DRAWINGS UNDER SEPARATE COVER. REFER TO MEP DRAWINGS.
- B. FURNITURE AND EQUIPMENT TO BE PROVIDED AND INSTALLED BY OWNER.



1 EQUIPMENT FLOOR PLAN
1/4"=1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- == NEW FULL HEIGHT WALL (TO 6' ABV CEILING U.N.O.)



THE COCKTAIL COMPANY
 355 SOUTH MAIN STREET, UNIT 30
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Job Number: 22067

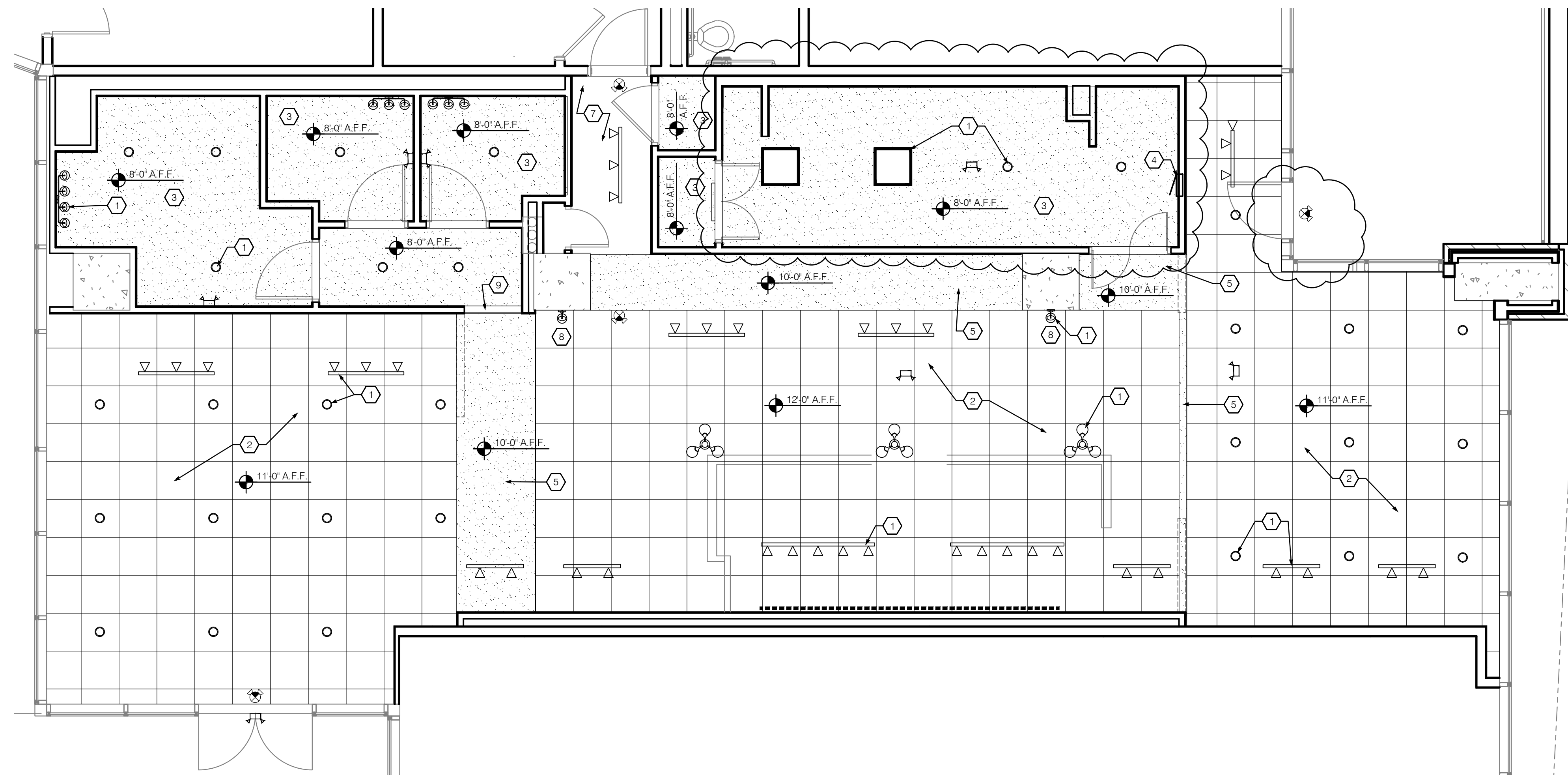
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EQUIPMENT FLOOR PLAN

A1.4

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1 REFLECTED CEILING PLAN
1/4" = 1'-0"

GENERAL NOTES

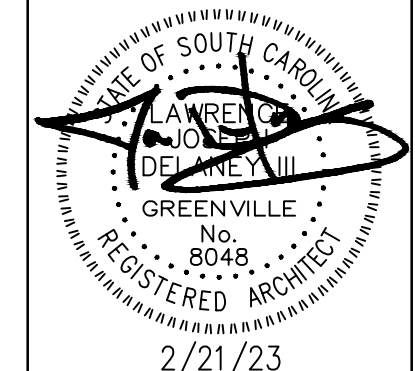
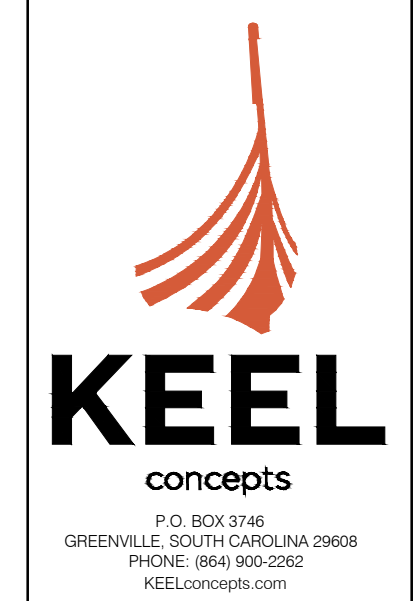
- A. REFER TO ROOM FINISH SCHEDULE FOR CEILING FINISHES.
- B. HVAC DIFFUSERS, GRILLES, COVER PLATES, SPEAKER COVERS, ETC. TO MATCH CEILING, U.N.O.
- C. LIGHT FIXTURES AND ELECTRICAL EQUIPMENT SHOWN FOR LOCATION AND ORIENTATION ONLY.
- D. THE CONTRACTOR SHALL COMPARE THIS REFLECTED CEILING PLAN WITH ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY, RETURN, AND EXHAUST PLANS. THE CONTRACTOR SHALL REPORT ANY OMISSIONS OR INCONSISTENCIES TO THE ARCHITECT.
- E. CONTRACTOR TO COORDINATE LOCATION OF HVAC EQUIPMENT AND LIGHT FIXTURES.
- F. PROVIDE CEILING MOUNTED SMOKE DETECTORS, EXIT SIGNAGE, EMERGENCY LIGHTING, FIRE ALARM DEVICES, IN ACCORDANCE WITH ALL APPLICABLE CODES.
- G. MECHANICAL DUCTS, DIFFUSERS AND GRILLES ARE NOT SHOWN. LAYOUT SHALL BE DESIGNED AND COORDINATED BY THE MECHANICAL CONTRACTOR IN ACCORDANCE WITH APPLICABLE CODES.
- H. THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF TYPE SPECIFIED ARE INSTALLED IN NON-ACCESSIBLE TYPE CEILINGS WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR.
- I. CENTER ALL LIGHTS, EQUIPMENT, SIGNS ETC. U.N.O.
- J. IF AS-BUILT CONDITIONS DEMAND THAT A CEILING BOARD LARGER THAN 2'-0" IN ANY DIMENSION BE USED IN THE PERIMETER BOARDS OF A TYPICAL 2'X2' GRID, THEN THAT BOARD SHALL BE CUT FROM A 2'X4' BOARD. A DOUBLE WALL ANGLE SHALL NOT BE USED IN THE CEILING GRID SYSTEM.
- K. LOCATE ALL FIXTURES AT THE CENTERLINE OF TILE UNLESS NOTED OTHERWISE. INSTALL ALL ELECTRICAL SYSTEM COMPONENTS WITHOUT INTERFERING WITH DUCTS, PIPES, BEAMS, ETC. LOCATE LIGHT FIXTURES SYMMETRICALLY, OR AS DIMENSIONED, OR AS INDICATED ON THE REFLECTED CEILING PLANS IN CORRECT RELATION TO FINISHED AREAS. IN THE EVENT OF CONFLICT, THE ARCHITECT WILL DECIDE WHICH ITEM TO RELOCATE WITHOUT REGARD TO WHICH WAS INSTALLED FIRST.
- L. THE GENERAL CONTRACTOR SHALL COORDINATE ALL EXPOSED CEILING WORK WITH ALL TRADES, AND PROVIDE SKETCH (FOR PRE-INSTALLATION MEETING) OF ALL CONDUIT RUNS, JUNCTION BOXES, DUCTWORK AND SUPPORTS, PLUMBING (OVERHEAD) AND FIRE PROTECTION PIPING. IN EXPOSED CEILING AREAS, CONTRACTORS SHALL ATTEND A PRE-INSTALLATION COORDINATION MEETING WITH ALL TRADES REPRESENTED WHERE ALL PROPOSED ROUTING WILL BE FINALIZED. ALL EQUIPMENT, PIPING OR ACCESSORIES INSTALLED IN THESE AREAS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

SYMBOL LEGEND

- 2X2 LED TROFFER LIGHT
- 6" ROUND RECESSED LED LIGHT
- SCONCE LIGHT
- TRACK LIGHT
- PENDANT LIGHT
- VANITY LIGHT

KEYED NOTES

- 1 LIGHT FIXTURE, TYP. REFER TO ELECTRICAL DRAWINGS.
- 2 2X2 LAY-IN CEILING. REFER TO ROOM FINISH SCHEDULE. PROVIDE R-13 BATT INSULATION ABOVE FOR SOUND DAMPENING.
- 3 GWB CEILING. REFER TO ROOM FINISH SCHEDULE.
- 4 ELECTRICAL PANEL LOCATION. REFER TO ELECTRICAL PLANS.
- 5 GWB SOFFIT. PAINT.
- 6 2X2 VINYL ACT CEILING. REFER TO ROOM FINISH SCHEDULE.
- 7 OPEN TO STRUCTURE. PAINT FLAT BLACK WHERE VISIBLE.
- 8 MOUNT SCONCE WITH BOTTOM AT 7'-0" AFF MIN.
- 9 GWB SOFFIT @ 7'-0" A.F.F.



THE COCKTAIL COMPANY
 355 SOUTH MAIN STREET, UNIT 30
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2	21 FEB 2023

REFLECTED CEILING PLAN

A2.1

GENERAL DEMOLITION NOTES

- A. ALL MATERIALS THAT HAVE BEEN DEMOLISHED SHALL BE REMOVED IMMEDIATELY AND DISPOSED OF PROPERLY. NO DEMOLISHED MATERIALS SHALL BE STOCKPILED ON SITE.
- B. THE CONTRACTOR SHALL MAKE A PERSONAL INSPECTION OF THE SITE AND INCLUDE EXECUTING EVERYTHING REQUIRED BY THE DRAWINGS AND SPECIFICATIONS. NOTIFY THE ARCHITECT IN WRITING OF ANY INCONSISTENCIES IN THE DRAWINGS.
- C. PROTECT OWNERS PROPERTY AND PERSONS AT ALL TIMES.
- D. THIS SECTION INCLUDES ALL ITEMS AND SERVICES NECESSARY TO DEMOLISH OR DISMANTLE AND REMOVE ALL WALLS, EQUIPMENT, PIPING AND APPURTENANCES WHICH WILL INTERFERE WITH NEW CONSTRUCTION.
- E. ALL ITEMS TO BE REMOVED SHALL BE COORDINATED WITH NEW CONSTRUCTION.
- F. ANY ITEMS NOT SHOWN TO BE DEMOLISHED THAT ARE DAMAGED SHALL BE REPAIRED BY THE CONTRACTOR.
- G. COORDINATE ANY SYSTEMS SHUTDOWNS WHICH MAY BE REQUIRED WITH THE OWNER.
- H. THE CONTRACTOR SHALL CONTROL AND LIMIT DUST RESULTING FROM DEMOLITION AND PREVENT THE SPREAD OF DUST TO THE BUILDING.
- I. PRIOR TO COMMENCING WITH THE DEMOLITION THE CONTRACTOR SHALL ASCERTAIN FROM THE OWNER WHETHER OR NOT THE OWNER WISHES TO RETAIN ANY ITEMS. ANY SUCH ITEMS SHALL BE REMOVED WITH CARE SO AS TO PREVENT UNNECESSARY DAMAGE.
- J. CONTRACTOR SHALL MAKE FUNCTIONAL ALL CIRCUITS DISRUPTED BY ANY DEMOLITION IN THIS AREA.
- K. IF HAZARDOUS MATERIALS ARE REQUIRED TO BE REMOVED DUE TO THE SCOPE OF WORK, THE REMOVAL WILL BE PROVIDED BY THE OWNER PRIOR TO PROJECT COMMENCEMENT.

GENERAL FINISH NOTES

- A. ALL INTERIOR FINISH SPECIFICATIONS AS REQUIRED OF THE ARCHITECT ARE INCLUDED HEREIN. SHOULD THERE BE DISCREPANCIES OR OMISSIONS, THE ARCHITECT IS TO BE CONSULTED BEFORE PROCEEDING. THE ARCHITECT IS NOT RESPONSIBLE FOR DISCREPANCIES OR OMISSIONS THAT ARISE DUE TO CHANGES BY THE CONTRACTORS, CONSULTANTS, OR OWNERS AFTER DATE OF DRAWINGS UNLESS NOTED AS A REVISION ON DRAWINGS.
- B. IF THERE SHOULD BE ANY DISCREPANCIES, DISCONTINUED OR DELAYED MATERIALS, THE OWNER IS TO BE NOTIFIED IMMEDIATELY AND CONSULTED BEFORE PROCEEDING. UNDER NO CIRCUMSTANCES ARE SUBSTITUTIONS TO BE MADE WITHOUT APPROVAL OF ALL INVOLVED PARTIES.
- C. ALL INTERIOR FINISHES TO BE CLASS "C" OR BETTER AS INDICATED. CLASS "B" FOR EGRESS CORRIDORS & CLASS "A" FOR EXIT STAIRS. PROVIDE TEST DATA TO VERIFY FLAME SPREAD RATE.
- D. ALL FINISHES AND MATERIALS SHALL BE AS INDICATED IN THE FINISH LEGEND. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL OF THE OWNER, TENANT, OR ARCHITECT. ANY SUBSTITUTIONS MUST BE DOCUMENTED IN WRITTEN FORM AND SIGNED BEFORE CONTRACTOR PROCEEDS WITH SUBSTITUTIONS.
- E. ALL SURFACES WHICH ARE TO RECEIVE A FINISH APPLICATION SHALL BE COMPLETELY SMOOTH. IF SURFACES ARE NOT ACCEPTABLE TO RECEIVE FINISHES, CONTRACTOR TO HAVE SURFACES CORRECTED BEFORE BEGINNING FINISH APPLICATION.
- F. ALL MISCELLANEOUS GRILLES, PLATES, ETC. OCCURRING ON WALLS OR CEILINGS ARE TO BE FINISHED TO MATCH WALL OR CEILING ON WHICH THEY OCCUR.
- G. FLOOR COVERING TRANSITIONS TO OCCUR UNDER CENTER LINE OF DOOR IN CLOSED POSITION.
- H. INSTALL ALL FLOORING IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- I. EXPOSED CONCRETE FLOORS SHALL BE SEALED (U.N.O.).
- J. TRANSITION STRIP BETWEEN CERAMIC TILE AND CARPET SHALL BE AS MANUFACTURED BY SCHLUTER (3/8" HIGH) OR EQUAL. FINISH TO BE AS SPECIFIED IN THE FINISH SCHEDULE.
- K. DOOR FRAMES SHALL BE PAINTED WITH SEMIGLOSS ENAMEL.
- L. PRIME ALL SURFACES PRIOR TO APPLYING FINAL PAINT FINISHES.
- M. PROVIDE TRANSITION STRIP OF APPROPRIATE DESIGN AT ALL CONDITIONS.
- N. PROTECT EXPOSED CONCRETE SLABS FROM MUD AND OIL STAINS. ALL MUD STAINS MUST BE COMPLETELY REMOVED FROM CONCRETE.
- O. INTERIOR FLOOR FINISHES SHALL BE NOT LESS THAN CLASS II.
- P. ALL WINDOWS TO HAVE DRYWALL RETURNS AT HEAD, JAMBS, AND SILL.

DOOR GENERAL NOTES

- A. FURNISH FOUR (4) GRAND MASTER KEYS, FOUR (4) MASTER KEYS, AND TWO (2) CHANGE KEYS WITH EACH LOCKING DEVICE. KEYING TO BE DETERMINED BY OWNER.
- B. ALL HOLLOW METAL DOORS AND FRAMES TO BE PAINTED.
- C. PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.
- D. ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT.
- E. CONTRACTOR SHALL VERIFY THAT ALL DOOR HARDWARE MEETS ALL OWNER REQUIREMENTS AND STATE AND LOCAL CODES AND ORDINANCES. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- F. ALL LATCHING DOORS SHALL RECEIVE LEVER HARDWARE.
- G. ALL LOCKING DEVICES SHALL BE VERIFIED WITH LOCAL FIRE MARSHAL REQUIREMENTS.
- H. ALL DOORS AND HARDWARE SHALL CONFORM TO CURRENT APPLICABLE STANDARDS FOR ACCESSIBILITY.
- I. ALL DOOR ACTIVATING HARDWARE SHALL BE INSTALLED BETWEEN 2'-6" AND 3'-8" A.F.F.
- J. ACCESSIBILITY SIGNAGE TO BE MOUNTED ON OR ADJACENT TO ALL EGRESS AND TOILET ROOM DOORS. REFER TO ACCESSIBILITY SIGNAGE DETAILS.
- K. DOOR CLOSERS TO BE MOUNTED ON INTERIOR / NON-PUBLIC ROOM SIDE OF DOORS. ALL DOOR CLOSERS SHALL BE THRU-BOLTED. DOOR CLOSERS TO HAVE A MAXIMUM OPENING FORCE OF 5 LB. MAX FORCE. THE SWEEP PERIOD OF THE CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 90 DEGREES, THE DOOR SHALL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 IN. FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
- L. ALL THRESHOLDS TO BE SET IN DOUBLE FACED SEALANT TAPE AND AT MAX. HEIGHT.
- M. PROVIDE DOOR SILENCERS (3 PER DOOR). IVES SR64 OR EQUAL. COORDINATE COLOR TO DOOR FRAME FINISH.
- N. PROVIDE DOOR STOPS AT ALL DOORS AND WALL BUMPERS WHERE REQUIRED AGAINST ADJACENT WALL.
- O. HOLLOW METAL DOORS TO BE 18GA GALVANIZED FLUSH INSULATED.
- P. VERIFY PAINT AND STAIN COLORS WITH ARCHITECT.
- Q. DOOR AND FRAME TO BE PAINTED AS NOTED ON FINISH SCHEDULE OR IN FINISH SPECIFICATIONS.
- R. ALL HINGES TO BE STEEL BALL BEARING, FULL MORTISE TYPE.
- S. EXTERIOR HINGES TO HAVE NON-REMOVABLE PINS.
- T. PROVIDE SPRAY FOAM AT ALL DOOR JAMBS AND HEAD SHIMS PRIOR TO FINAL TRIM.
- U. EXTERIOR ENTRY DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM EGRESS SIDE, PROVIDED THAT SIGN POSTED READING: "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED."

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	CEILING					WALLS				FLOOR		BASE		REMARKS	
		MRGWB	GWB	ACT-1	ACT-2	O.T.S	MRGWB	GWB	FRP	IPT-2	IPT-3	CONC	LVT-1	WB-1		WB-2
100	ENTRY															COLORS AND ACCENT COLOR LOCATIONS TO BE DETERMINED.
101	DINING 1															
102A	BAR SERVICE															
102B	BAR DINING															
103	DINING 2															
104	MEN															
105	WOMEN A															
106	WOMEN B															
107	HALL															
108	STORAGE															
109	KITCHEN															
110	STORAGE															
111	PATIO															EXISTING FINISHES TO REMAIN
112	CLOSET															

INTERIOR FINISHES

TAG	ITEM	MANUFACTURER	DESCRIPTION	REMARKS
MRGWB	MOISTURE RESISTANT GWB	USG OR EQUAL	5/8" THICK, NON-SAG, MOISTURE RESISTANT	
GWB	GYPSUM WALL BOARD	USG OR EQUAL	5/8" THICK, NON-SAG	
ACT-1	VINTAGE CEILING TILES		2X2 VINTAGE CEILING TILES	GRID: PRELUDE ML 15/16" EXPOSED TEE IN NATURAL ALUMINUM
ACT-2	ACOUSTICAL CEILING SYSTEM	ARMSTRONG	2X2 KITCHEN ZONE	GRID: PRELUDE ML 15/16" EXPOSED TEE IN NATURAL ALUMINUM
O.T.S	OPEN TO STRUCTURE			
IPT-1	CEILING PAINT	SHERWIN WILLIAMS	FLAT CEILING PAINT WHITE	TWO COATS, MIN.
IPT-4	CEILING PAINT	SHERWIN WILLIAMS	GLOSS CEILING PAINT WHITE	TWO COATS, MIN.
MRGWB	MOISTURE RESISTANT GWB	USG OR EQUAL	5/8" THICK	
GWB	GYPSUM WALL BOARD	USG OR EQUAL	5/8" THICK	
IPT-2	WALL PAINT	SHERWIN WILLIAMS	TBD. CONFIRM WITH OWNER	TWO COATS, MIN.
IPT-3	WALL PAINT	SHERWIN WILLIAMS	TBD. CONFIRM WITH OWNER	TWO COATS, MIN.
CONC	CONCRETE		SEALED	EXISTING TO REMAIN.
LVT-1	LUXURY VINYL TILE	ARMSTRONG	SPEC TBD	
WB-1	WALL BASE	WOOD	1X6 WALL BASE	PAINT
WB-2	WALL BASE	ARMSTRONG	4" RUBBER COVE BASE	MINIMIZE SEAMS

DOOR SCHEDULE

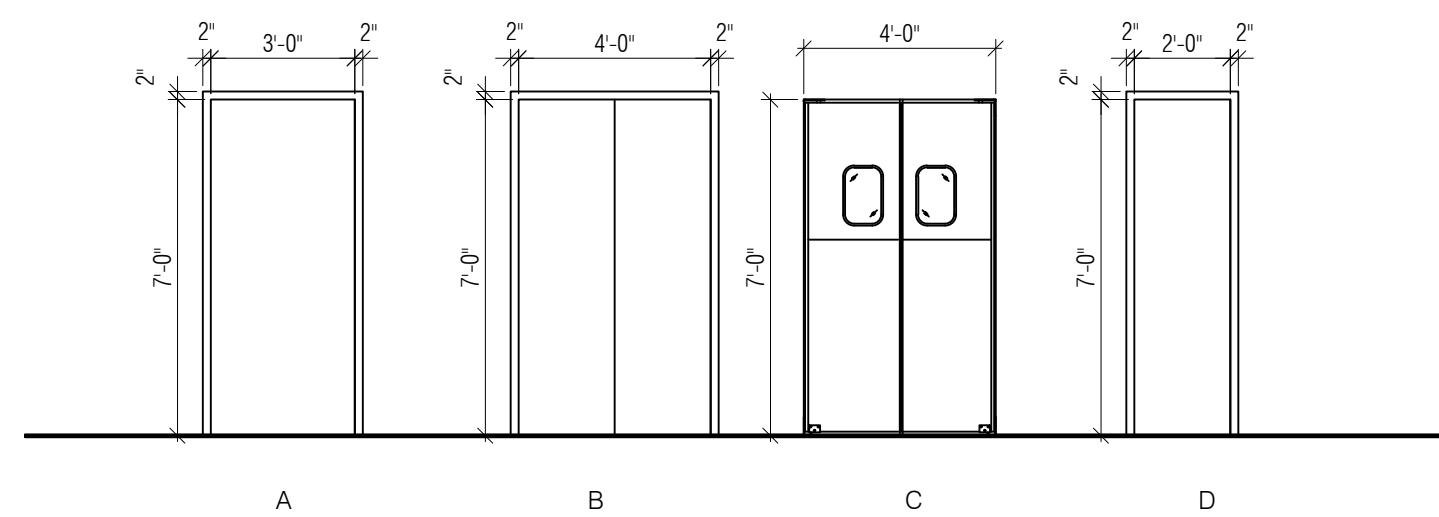
MARK	DOOR						FRAME		GLAZING	HARDWARE				NOTES
	MATERIAL	TYPE	WIDTH	HEIGHT	THICKNESS	FINISH	MATERIAL	FINISH		FUNCTION	SET	CLOSER	THRESHOLD	
1	WOOD	A	3'-0"	7'-0"	1 3/4"	PAINT	STEEL	PAINT	NONE	PASSAGE	1	YES	NO	RESTROOM DOOR, UNDERCUT 1"
2	WOOD	A	3'-0"	7'-0"	1 3/4"	PAINT	STEEL	PAINT	NONE	PRIVACY	2	YES	NO	RESTROOM DOOR, UNDERCUT 1"
3	WOOD	A	3'-0"	7'-0"	1 3/4"	PAINT	STEEL	PAINT	NONE	STOREROOM	3	NO	NO	STORAGE DOOR
4	WOOD	B	(2)2'-0"	7'-0"	1 3/4"	PAINT	STEEL	PAINT	NONE	OFFICE	4	NO	NO	OFFICE DOOR
5	ELIASON DOOR	C	(2)2'-0"	7'-0"	1"	PREFIN	STEEL	PAIN	CLEAR	PASSAGE	-	SELF	NO	ELIASON SCP-1
6	WOOD	D	2'-0"	7'-0"	1 3/4"	PAINT	STEEL	PAINT	NONE	STOREROOM	3	NO	NO	STORAGE DOOR

DOOR HARDWARE SCHEDULE

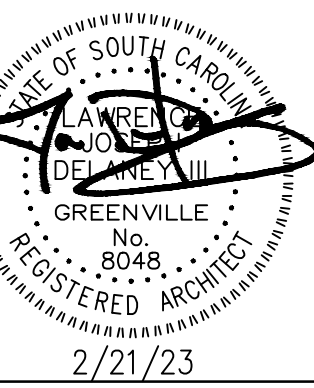
NOTE: FINISH FOR ALL HARDWARE SHALL BE US260 OR EQUAL.

HARDWARE SET 1 - RESTROOM DOOR	HARDWARE SET 2 - RESTROOM DOOR	HARDWARE SET 3 - STOREROOM DOOR	HARDWARE SET 4 - OFFICE	HARDWARE BASIS OF DESIGN	SCHLAGE
3 EA. BALL BEARING BUTTS	3 EA. BALL BEARING BUTTS	3 EA. BALL BEARING BUTTS	3 EA. BALL BEARING BUTTS	LOCKSETS	LCN
1 EA. PUSH/PULL PLATE	1 EA. LOCKSET (LEVER)	1 EA. LOCKSET (LEVER)	1 EA. LOCKSET (LEVER)	CLOSERS	IVES
1 EA. WALL STOP	1 EA. WALL STOP	3 EA. SILENCER	1 EA. WALL STOP	DOOR STOPS/SILENCER	BROCKLINE
3 EA. SILENCER	3 EA. SILENCER		3 EA. SILENCER	DOOR KICK PLATES	PEMCO
1 EA. CLOSER	1 EA. CLOSER			THRESHOLD	IVES
1 EA. 10" KICKPLATE (2" LESS DOOR WIDTH)	1 EA. 10" KICKPLATE (2" LESS DOOR WIDTH)			BUTTS	

DOOR TYPES



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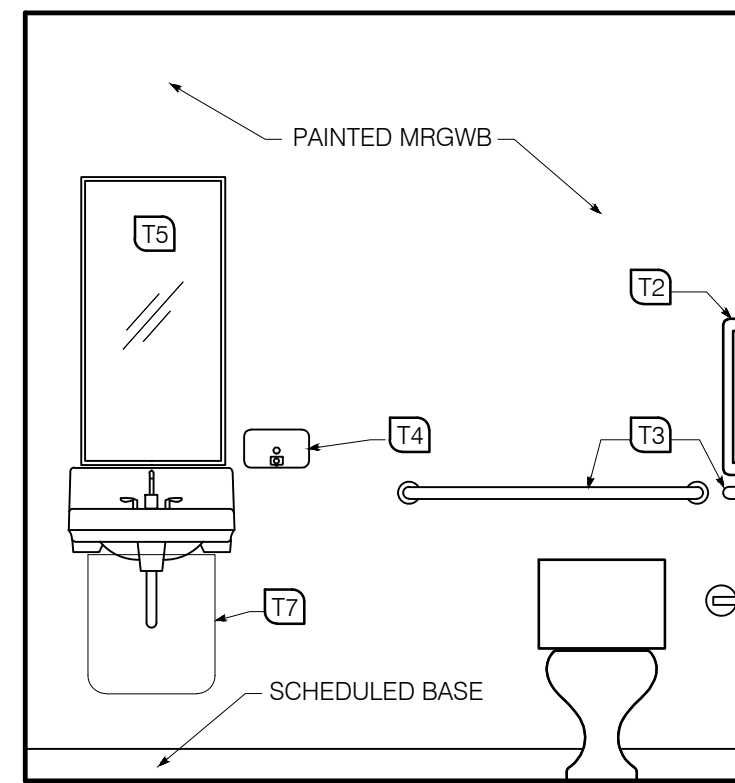
Job Number: **22067**

Date: **23 DEC 2022**

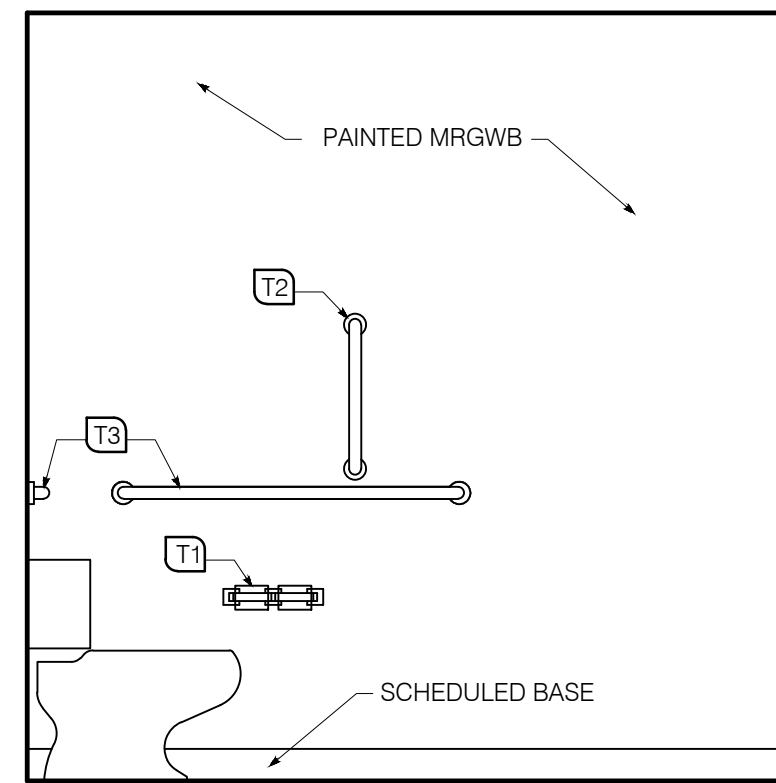
Revision # Revision Date
1 21 FEB 2023

SCHEDULES

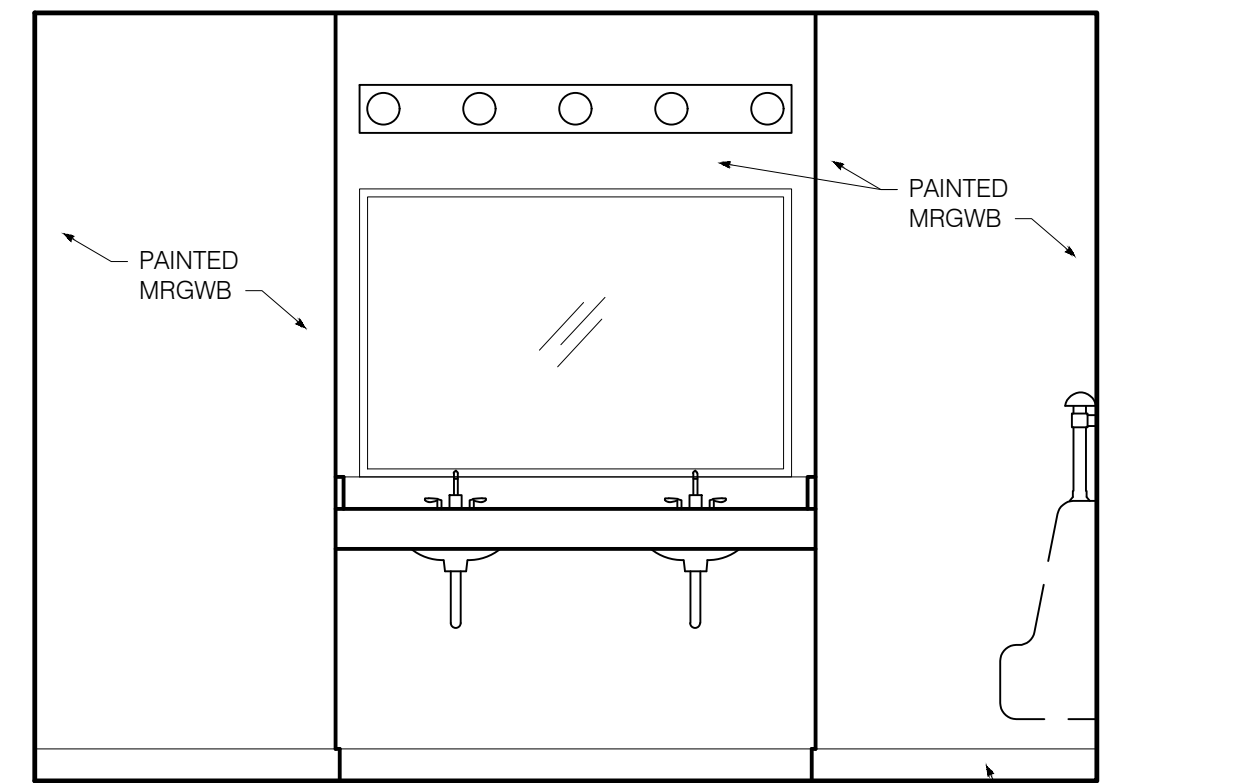
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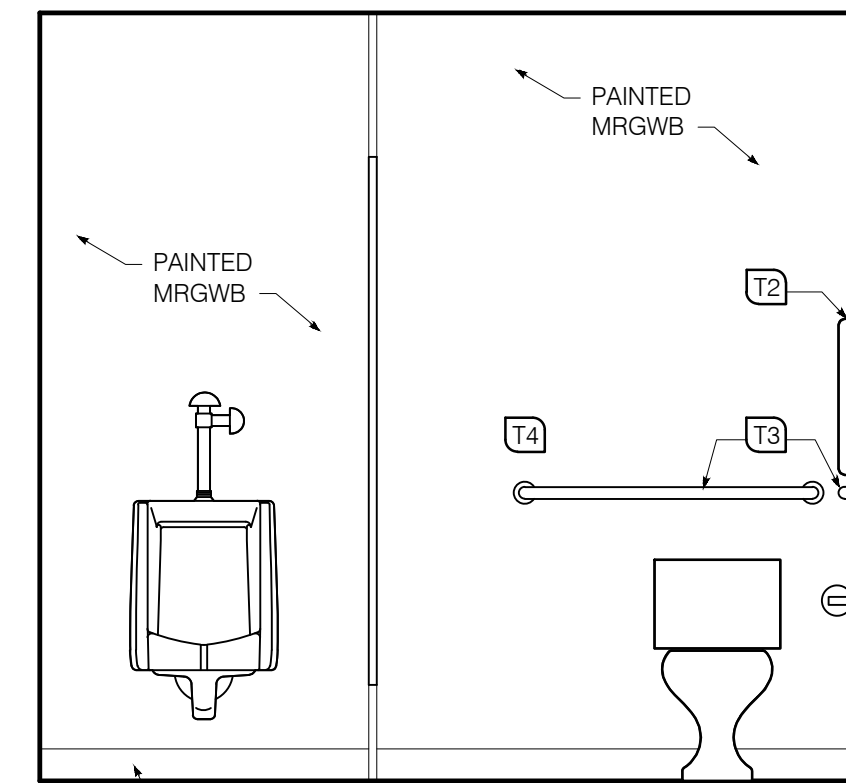
A



B

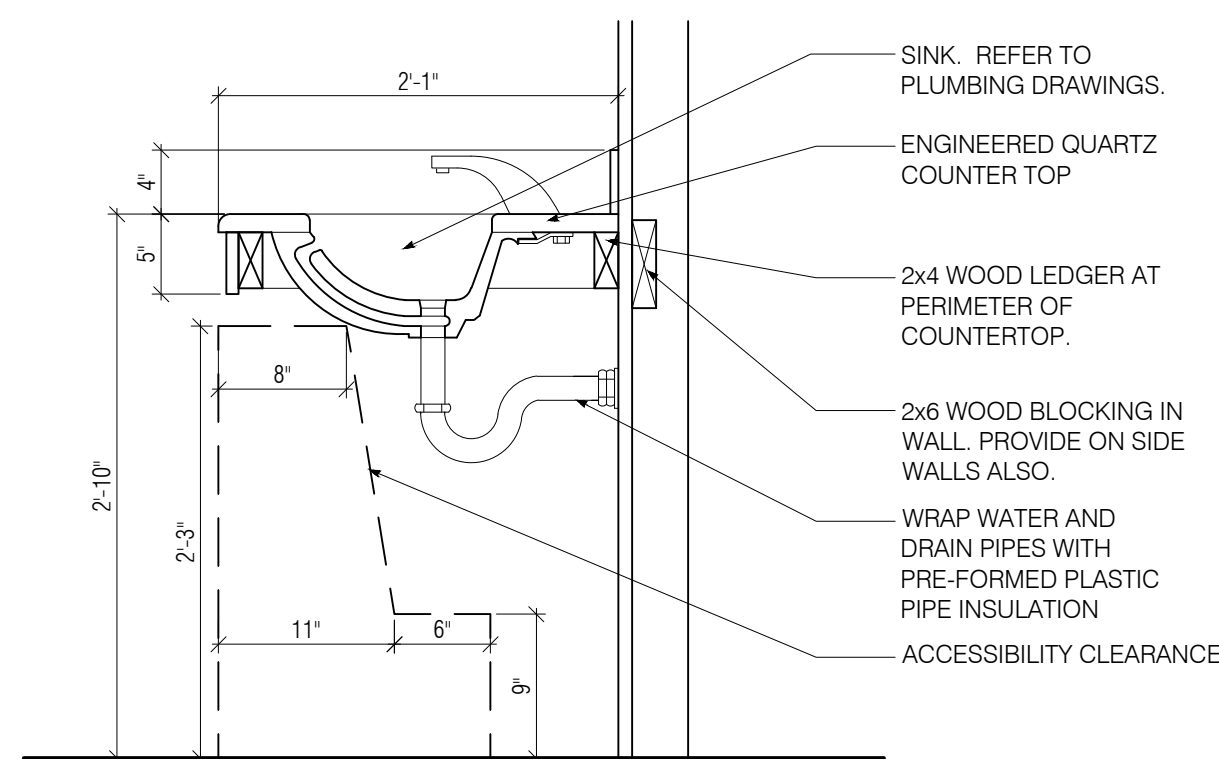


C

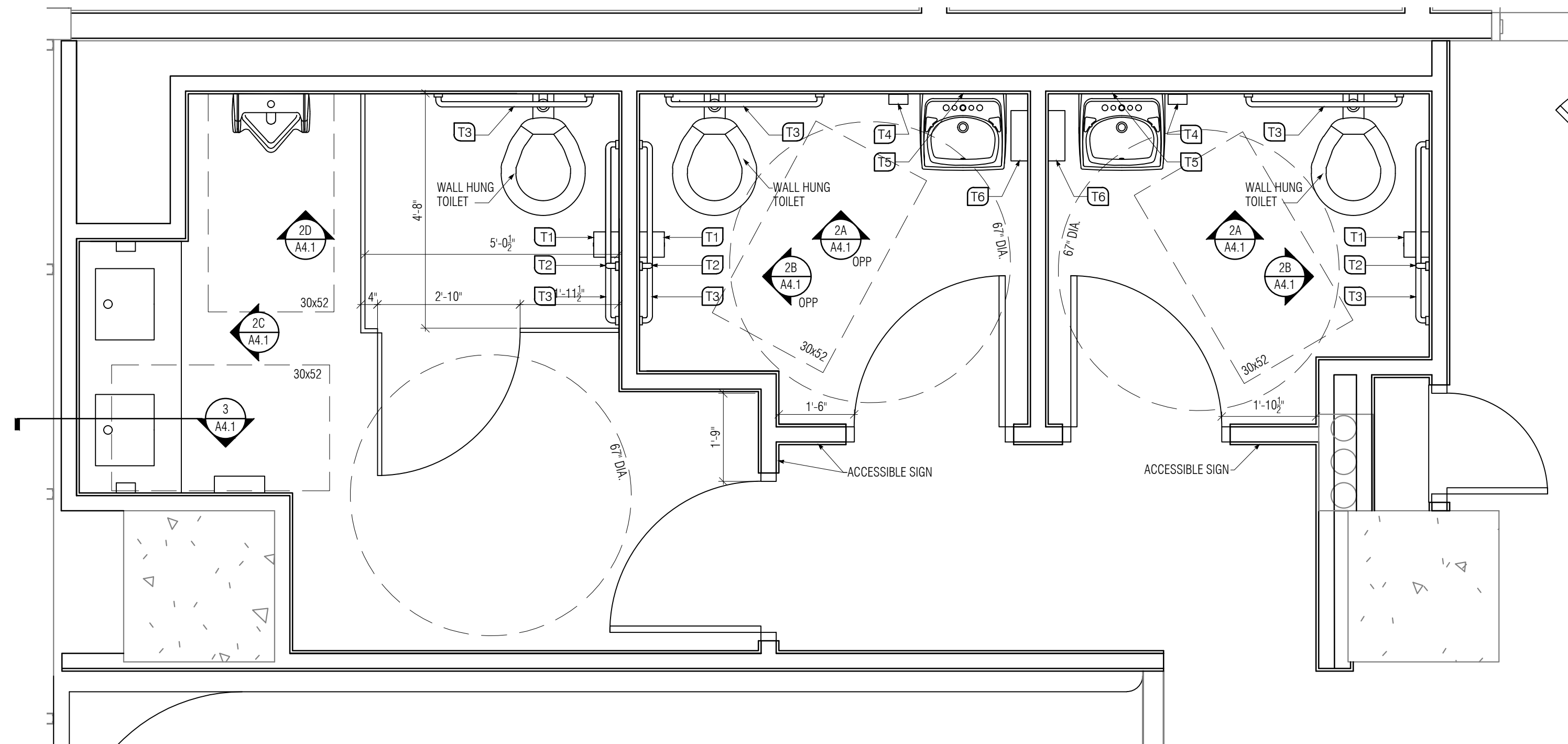


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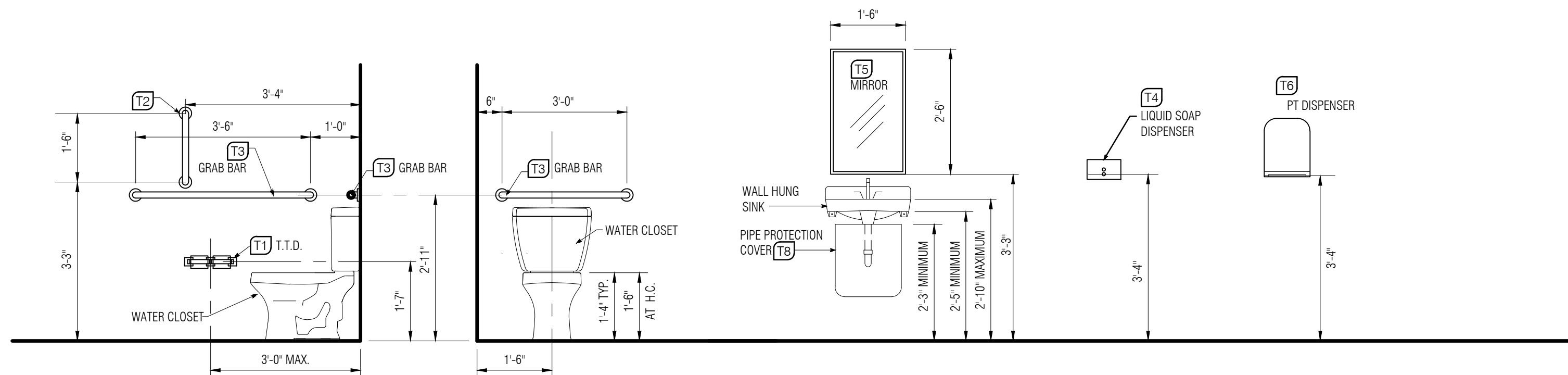
2 INTERIOR ELEVATIONS
1/2" = 1'-0"



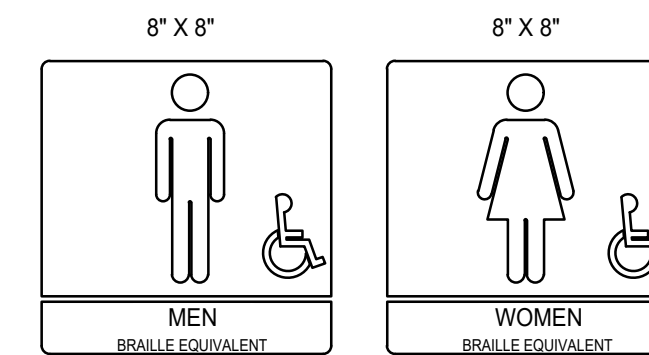
3 VANITY DETAIL
1" = 1'-0"



1 ENLARGED RESTROOM PLAN
1/2" = 1'-0"



TYPICAL ACCESSIBLE MOUNTING HEIGHTS



- UPPER CASE CHARACTERS, HELVETICA.
- CHARACTERS RAISED 1/32".
- GRADE 2 BRAILLE.
- CHARACTERS AT LEAST 3/8" IN HEIGHT BUT NO HIGHER THAN 2".
- EQUIVALENT VERBAL DESCRIPTIONS PLACED BELOW EACH PICTOGRAM.
- PICTOGRAM AREA A MINIMUM OF 6".
- COLOR CONTRAST BETWEEN CHARACTERS AND BACKGROUND.
- MOUNT ON WALL ADJACENT TO LATCH SIDE OF DOOR.
- MOUNT 60" FROM FINISHED FLOOR TO CENTER OF SIGN ADJACENT TO DOOR.
- IF NO WALL SPACE IS AVAILABLE ADJACENT TO DOOR, THE SIGN SHALL BE MOUNTED ON THE NEAREST PERPENDICULAR WALL TO THE LATCH SIDE OF THE DOOR.

ACCESSIBLE SIGN NOTES

GENERAL NOTES

- ALL WALLS IN RESTROOM TO HAVE MOISTURE RESISTANT GYPSUM BOARD.
- PROVIDE BLOCKING IN WALLS FOR WALL MOUNTED ACCESSORIES, CASEWORK AND EQUIPMENT.
- PROVIDE DIRECTIONAL SIGNAGE TO RESTROOMS IN MAIN LOBBY.
- EACH RESTROOM TO BE PROVIDED WITH UNISEX IDENTIFICATION SIGN. SEE DETAIL TO THE LEFT.

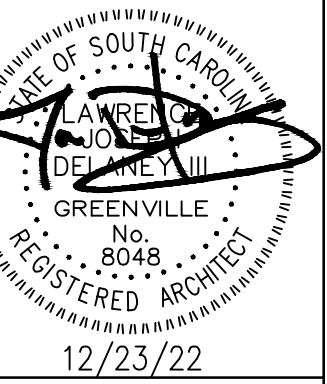
TAG	DESCRIPTION	MANUFACTURER NUMBER
T1	TOILET TISSUE HOLDER, SURF. MOUNT	BOBRICK: B-686
T2	VERTICAL GRAB BAR, 18"	BOBRICK: B-5806x18
T3	HORIZONTAL GRAB BARS, 36" & 42"	BOBRICK: B-5806x36, B-5806x42
T4	LIQUID SOAP DISPENSER	BOBRICK: B-4112
T5	MIRROR, 18" X 30" GLASS WITH FRAME	BOBRICK: B-1658 SERIES
T6	PAPER TOWEL DISPENSER	BOBRICK: B-262
T7	ADA COMPLIANT PIPE PROTECTION COVER	TRUBRO: LAV SHIELD

TOILET ACCESSORY SCHEDULE

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GENERAL CASEWORK NOTES

- A. THE CONTRACTOR SHALL VERIFY AND COORDINATE CLEAR DIMENSIONS REQUIRED FOR EQUIPMENT WHICH IS LOCATED WITHIN OR ADJACENT TO ANY PIECE OF CASEWORK (REFER TO FLOOR PLANS FOR EQUIPMENT LOCATIONS).
- B. CASEWORK DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO UNIT FABRICATION AND INSTALLATION.
- C. COUNTERTOPS, UNLESS OTHERWISE NOTED, SHALL HAVE A 4" HIGH BACKSPLASH AND SIDE SPLASH SCRIBED TO CONFORM TO THE SURFACE OF ABUTTING WALLS AT BACKS AND ENDS. COUNTERTOPS AND BACKSPLASHES SHALL BE CONTINUOUSLY CAULKED TO THE WALL.
- D. CASEWORK MANUFACTURER AND INSTALLER SHALL COORDINATE WITH APPROPRIATE SUBCONTRACTORS FOR INSTALLATION OF SINKS WITH ASSOCIATED PIPING AND FITTINGS, AND FOR INSTALLATION OF ELECTRICAL RECEPTACLES, LIGHT FIXTURES, ETC. WITHIN THE CASEWORK.
- E. PROVIDE SCHEDULED BASE ALONG BOTTOM OF EXPOSED FRONTS, BACKS, SIDES, AND ENDS OF ALL AFFIXED CASEWORK, VERTICAL SUPPORTS, KNEE SPACES, ETC. (U.N.O.)
- F. PROVIDE HIDDEN BLOCKING FOR MOUNTING OF ALL SHELVING, HOOKS, DISPENSERS, ETC.
- G. ALL CASEWORK TO BE PAINTED SHALL BE SANDED SMOOTH, CLEANED FREE OF DUST AND DEFECTS CORRECTED PRIOR TO PAINTING. WOOD SHALL BE PRIMED AS RECOMMENDED BY THE MANUFACTURER AND PAINTED WITH TWO COATS OF PAINT OF THE TYPE, COLOR AND FINISH SPECIFIED HEREIN.

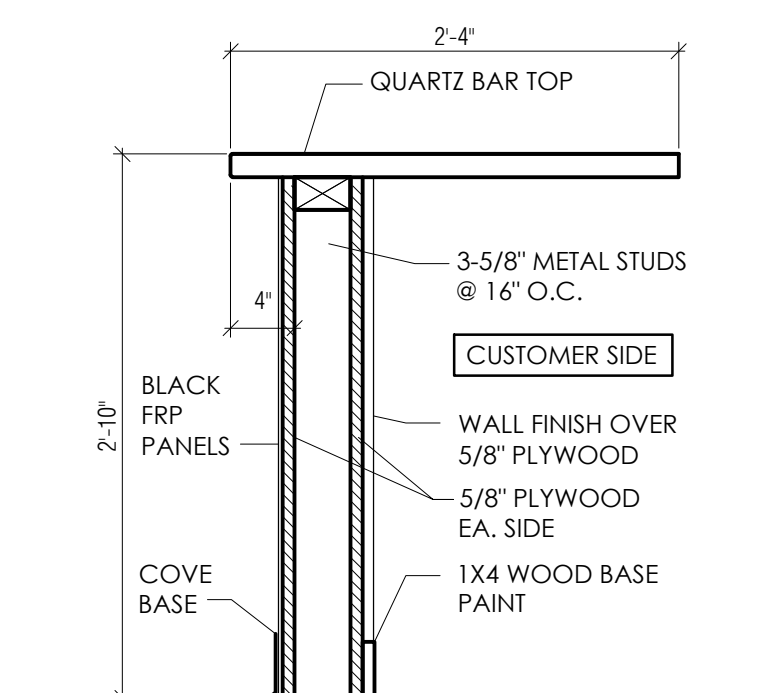


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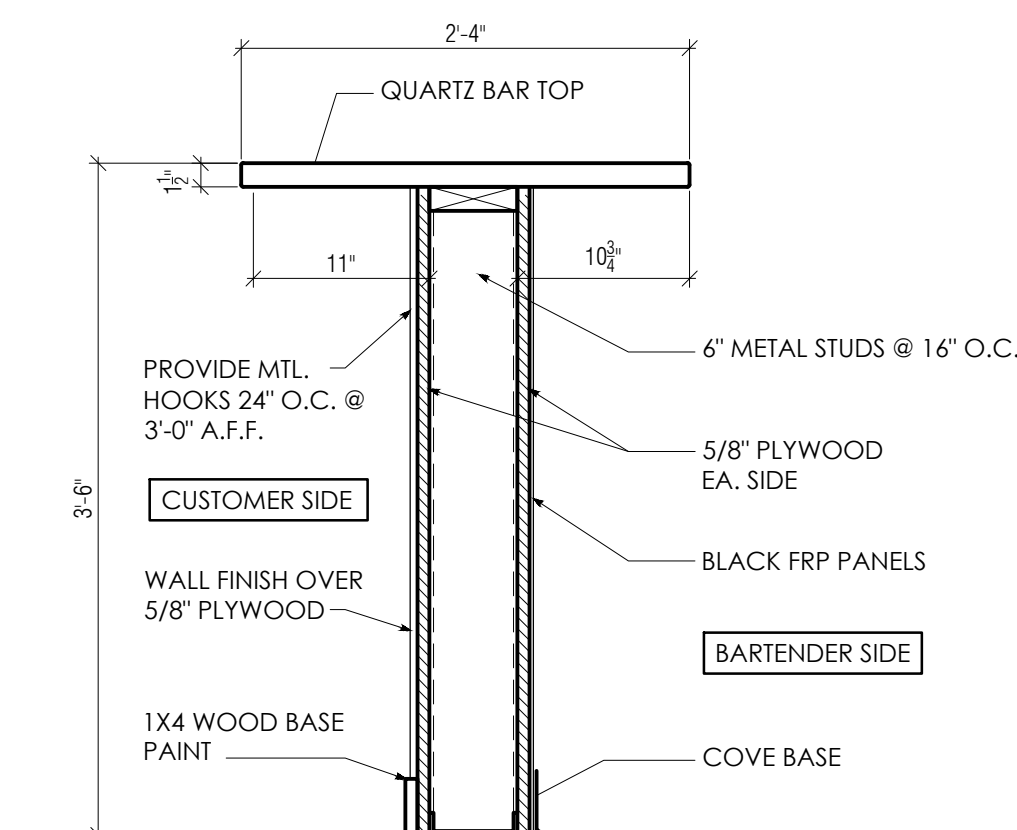
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Date: 23 DEC 2022

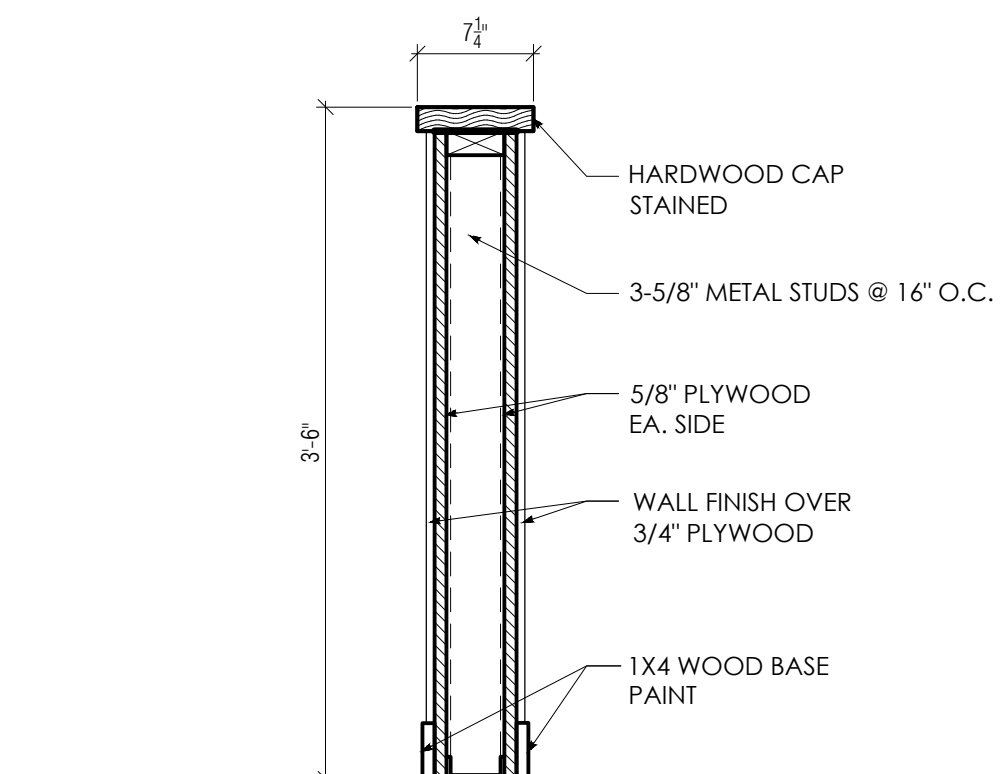
Revision # Revision Date



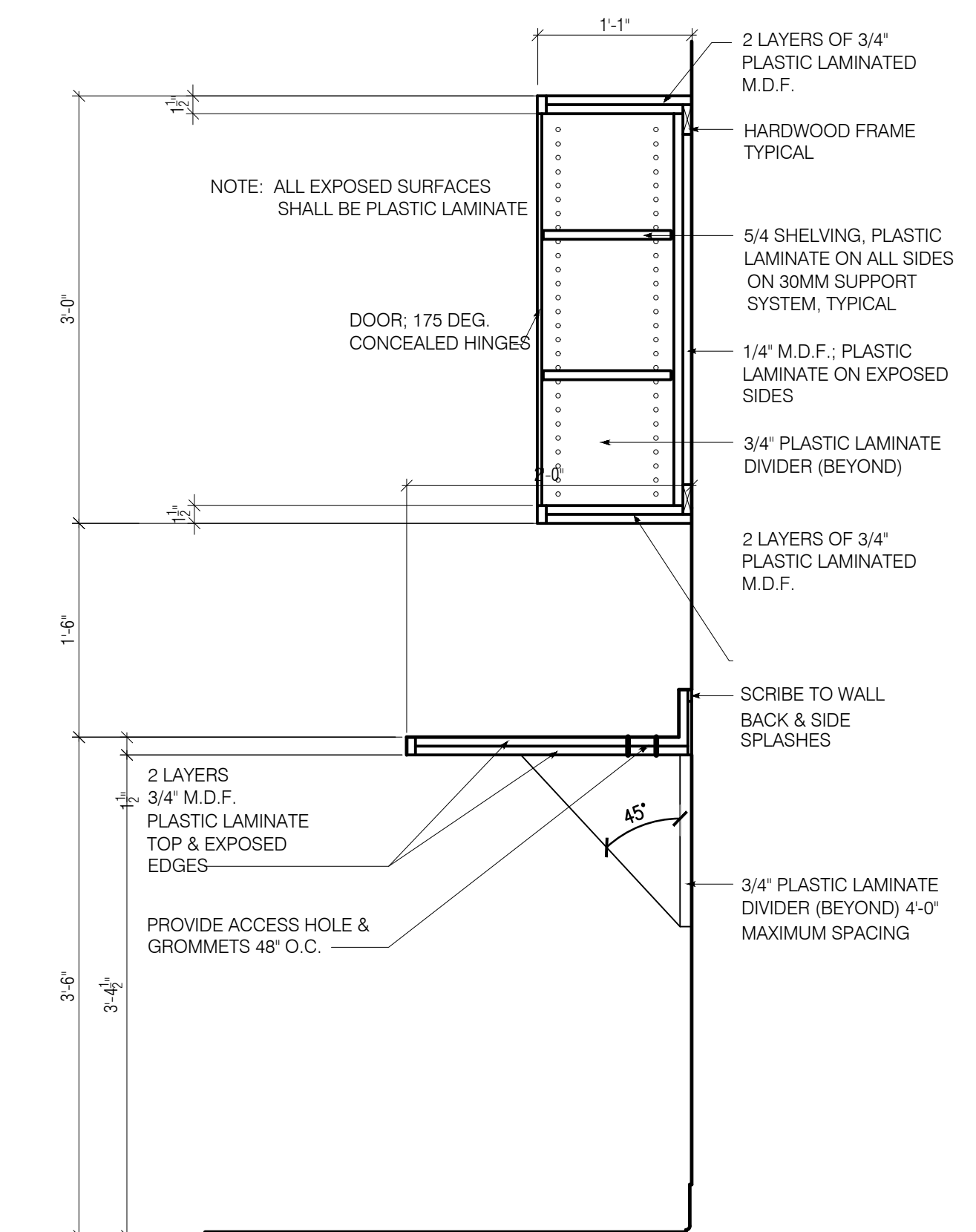
1 WALL SECTION - ACCESSIBLE BAR
1"=1'-0"



2 WALL SECTION - BAR DIE WALL
1"=1'-0"



3 WALL SECTION - HALF HEIGHT WALL
1"=1'-0"



4 MILLWORK - OFFICE
1"=1'-0"

DETAILS

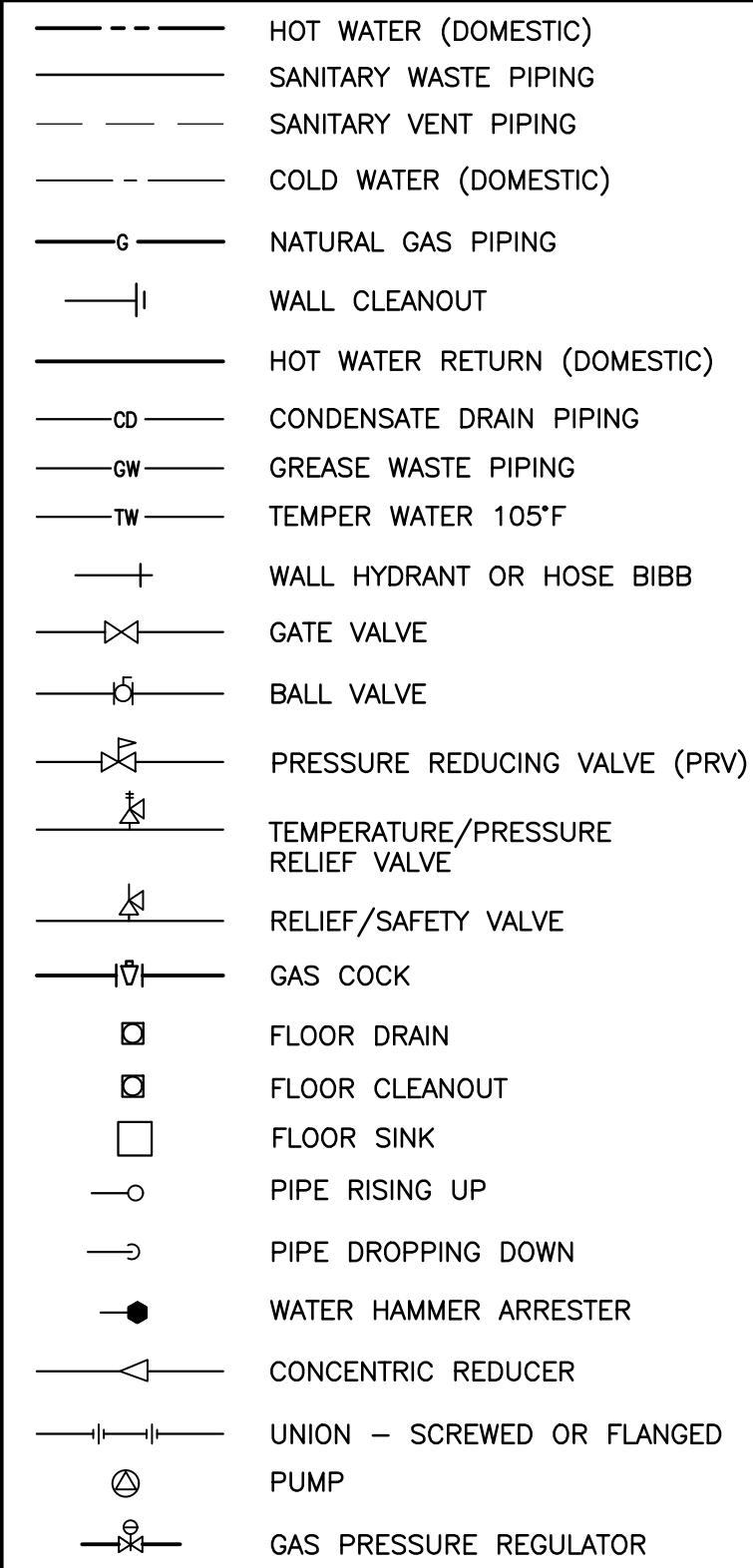
A4.2

PLUMBING NOTES

ALL MATERIALS AND EQUIPMENT SHALL BE OF NEW AND OF FIRST QUALITY. WORKMANSHIP SHALL CONFORM TO THE BEST PRACTICE FOR SUCH WORK. ALL INSTALLERS OF THE SYSTEMS SHALL BE TRAINED IN THE INSTALLATION OF THE TYPES OF SYSTEMS BEING INSTALLED.

- ALL WORK SHALL CONFORM TO THE 2018 INTERNATIONAL PLUMBING CODE, OSHA REQUIREMENTS AND ALL APPLICABLE LOCAL CODES AND ORDINANCES. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL PERMITS AND FINAL APPROVALS.
- SUBMISSION OF PROPOSAL DIRECTLY OR INDIRECTLY IN CONNECTION WITH THIS WORK SHALL IMPLY THAT THE BIDDER HAS EXAMINED THE JOB SITE UNDER WHICH HE WILL BE OBLIGATED TO OPERATE SHOULD HE BE AWARDED THE WORK UNDER THIS CONTRACT. NO EXTRA CHARGE WILL BE ALLOWED FOR FAILURE OF ANY BIDDER TO EXAMINE THE SITE PRIOR TO BID.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS IN THE FIELD, AND SHALL ADVISE THE ARCHITECT/ENGINEER AND THE OWNER OF ANY DISCREPANCIES BEFORE PERFORMING THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL CLEARANCES, DIMENSIONS, INVERTS AND SIZES OF PIPING AND EQUIPMENT WITH THE CONTRACT DOCUMENTS AND CONDITIONS IN THE FIELD BEFORE FABRICATION OF ANY MATERIALS OR WORK TO BE PERFORMED.
- THE CONTRACTOR SHALL INSTALL SYSTEMS AS DESIGNED AND SET FORTH BY THE CONTRACT DOCUMENTS AND THE DESIGN CONCEPT INTENDED BY THE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS WHICH SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE, FABRICATION PROCESSES AND TECHNIQUES OF CONSTRUCTION, COORDINATION OF HIS WORK WITH THAT OF ALL OTHER TRADES, AND THE SATISFACTORY PERFORMANCE OF THIS WORK.
- POTABLE HOT AND COLD WATER PIPE IN THE BUILDING SHALL BE ASTM B88 HARD COPPER TUBING, TYPE L WITH WROUGHT COPPER SOLDER JOINTS. GATE VALVES TO BE CRANE NO 1700 CLASS 125 BRONZE BODY, THREADED JOINT. FOR PIPING SIZES 1" AND SMALLER, ALTERNATE USE OF CROSS-LINKED POLYETHYLENE MADE BY "PEX" OR APPROVED EQUIVALENT PER ASTM F876/F877.ADSF
- MAINTAIN A MINIMUM CLEARANCE OF 3"-0" IN FRONT OF ALL ELECTRICAL PANELS AND 1"-0" EITHER SIDE OF PANEL TO STRUCTURE. ALL PIPING SHALL BE ROUTED AROUND THIS AREA.
- ALL HOT AND COLD DOMESTIC WATER PIPING SHALL BE INSULATED WITH 1" FLEXIBLE UNICELLULAR PIPING INSULATION. ALL JOINTS TO BE BONDED WITH ADHESIVE. ALL PIPING IN ATTIC AREAS SHALL BE INSULATED WITH 1" FIBERGLASS AND RUN AGAINST THE TRUSS OF THE CEILING BELOW SO AS TO STAY CLOSE TO THE WARM SURFACE AND THEN COVERED WITH A BLANKET OF FIBERGLASS INSULATION.
- ALL WATER PIPING SHOWN ROUTED IN EXTERIOR WALLS SHALL BE LOCATED INSIDE THE BUILDING INSULATION AND FINISHED WALL TO PREVENT FREEZE DAMAGE.
- ALL ABOVE GRADE AND BELOW GRADE DWV PIPING SHALL BE SCHEDULE 40 PVC.
- NON COMBUSTIBLE PIPING IS REQUIRED IN FIRE RATED WALLS AND IN PLENUM SPACES. THIS IS FOR ALL PIPING - WATER, WASTE, VENT AND STORM.
- ALL SANITARY PIPING AND VENT PIPING LOCATED IN FIRE RATED WALL SHALL BE CAST IRON OR COPPER. COORDINATE LOCATIONS WITH ARCHITECT.
- PROVIDE CLEANOUTS AT THE BASE OF ALL SANITARY DRAINAGE, PROCESS WASTE, AND RAIN WATER CONDUCTORS.
- DRAINAGE PIPING SHALL BE RUN AS STRAIGHT AS POSSIBLE AND SHALL HAVE LONG TURN FITTINGS.
- PVC PIPING SHALL NOT BE USED IN AIR PLENUM CEILINGS AND SHALL NOT CROSS FIRE RATED WALLS, CEILINGS, OR FLOORS.
- PENETRATIONS OF RATED ASSEMBLIES SHALL BE FIRE STOPPED TO MAINTAIN THEIR RATING. FIRE STOP PRODUCTS TO INCLUDE HILTI, 3M, OR APPROVED EQUAL.
- ALL STUB INS AND/ OR SLAB OR WALL PENETRATION TO BE PER NFPA. ALL PIPING PENETRATIONS OF BUILDING FOUNDATIONS OR FOOTING SHALL BE SLEEVED.
- PLUMBING CONTRACTOR SHALL FURNISH ACCESS PANEL, TO BE INSTALLED BY THE GENERAL CONTRACTOR, AS REQUIRED FOR PLUMBING SYSTEM INSTALLATIONS.
- ALL PIPING AND WATER HEATER SUPPORTS MUST MEET THE MANUFACTURERS' STANDARDIZATION SOCIETY SP-69. ALL THREADED ROD DIAMETERS SHALL BE 3/8" DIAMETER MINIMUM AND SUPPORTS SHALL BE SPACED IN ACCORDANCE WITH INTERNATIONAL PLUMBING CODE. NO SEISMIC SUPPORTS ARE REQUIRED IF PIPING IS LESS THAN 1.5 INCHES IN DIAMETER AND IS HUNG WITHIN 12" OF CEILING SUPPORT STRUCTURE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DIGGING OF THE TRENCHES REQUIRED FOR THE UNDERGROUND PIPING AS INDICATED ON THE DRAWINGS WITH 4 FEET OF EXTERIOR WALL OUTSIDE THE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER BACKFILL OF ALL TRENCHING AND TAMPING SO THAT SLABS CAST ABOVE THE LINES SHALL BE ADEQUATELY SUPPORTED. TRENCHES SHALL BE GRADED EVENLY ACCORDING TO THE STANDARD OF BEST PRACTICE SUCH THAT PIPE IS UNIFORMLY SUPPORTED.
- PRESSURE TESTING OF THE SUPPLY WATER AND DWV SYSTEMS SHALL BE DONE IN ACCORDANCE WITH THE IPC AND LOCAL INSPECTION REQUIREMENTS.
- ALL POTABLE WATER SYSTEM PIPING, FITTINGS AND FIXTURES SHALL BE STERILIZED AND FLUSHED PRIOR TO USE IN ACCORDANCE WITH THE LATEST EDITION OF AMERICAN WATER WORKS ASSOCIATION STANDARDS.
- PLUMBING CONTRACTOR SHALL PROVIDE BACTERIOLOGICAL REPORT FOR THE WATER SUPPLY PRIOR TO REQUESTING FINAL INSPECTION.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY THAT THE COLD WATER SUPPLY FROM THE WATER MAIN HAS A BACK FLOW PREVENTOR INSTALLED BEFORE CONNECTING THE SUPPLY PIPING. IF NOT THE CONTRACTOR SHALL INSTALL BACKFLOW PREVENTION DEVICE. THE BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED PER LOCAL CODE & PER AUTHORITY HAVING JURISDICTION REQUIREMENTS.
- PLUMBING CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR ALL VOLTAGES TO PLUMBING EQUIPMENTS OF ELECTRICALLY OPERATED EQUIPMENT PRIOR TO PURCHASING EQUIPMENT.
- ALL NATURAL GAS PIPING SHALL MEET THE MOST CURRENT EDITION OF THE NATURAL GAS CODE AND INTERNATIONAL MECHANICAL CODE. STEEL PIPING IS THE STANDARD FOR THIS DESIGN BUT OTHER FLEXIBLE AND PLASTIC PIPING MAY BE UTILIZED IF INSTALLED PER MANUFACTURERS' STANDARDS AND ARE ACCEPTABLE FOR LOCAL CODES. OUTSIDE STORAGE OF ANY PLASTIC PIPING SHALL BE RESTRICTED PER MANUFACTURERS' STANDARDS. INSTALLING PLASTIC NATURAL GAS PIPING IN AREAS OF HIGH LIGHT INTENSITY OR HEAT SOURCES SHALL NOT BE ALLOWED.
- PORTIONS OF A GAS PIPING SYSTEM INSTALLED IN CONCEALED LOCATIONS SHALL NOT HAVE UNIONS, TUBE FITTINGS OR RUNNING THREADS.
- PAINT ALL EXTERIOR ROUTED NATURAL GAS PIPING WITH 1 PRIMER COAT, 2 FINAL COATS OF RUST INHIBITOR SAFETY YELLOW.
- EXPOSED PIPING SHALL BE IDENTIFIED BY A YELLOW LABEL MARKED "GAS" IN BLACK LETTERS. THE MARKING SHALL BE SPACED AT INTERVALS NOT EXCEEDING 5 FEET. ALL PIPING AND TUBING SYSTEMS, GREATER THAN 0.5-POUNDS PER SQUARE INCH SERVICE PRESSURE, SHALL BE IDENTIFIED BY A YELLOW LABEL WITH BLACK LETTERS INDICATING THE PIPING SYSTEM PRESSURE. THE SYSTEM SHALL BE MARKED AT THE BEGINNING, ALL ENDS AND AT INTERVALS NOT EXCEEDING 5 FEET ALONG ITS EXPOSED LENGTH.
- NATURAL GAS PIPING IS SIZED FOR 2 PSI BLDG. SIDE GAS PRESSURE, CONTRACTOR TO VERIFY W/ GAS CO. FOR SVC. PRESSURE PROVIDED.
- ALL ROOF DRAIN PIPING SHALL BE SCH. 40 PVC W/ 1" FIBERGLASS INSULATION WITH ALL SERVICE JACKET. IF PIPING IS ROUTED IN A PLENUM SPACE, PIPING SHALL BE SCH. 40 CAST IRON WITH 1" FIBERGLASS INSULATION.

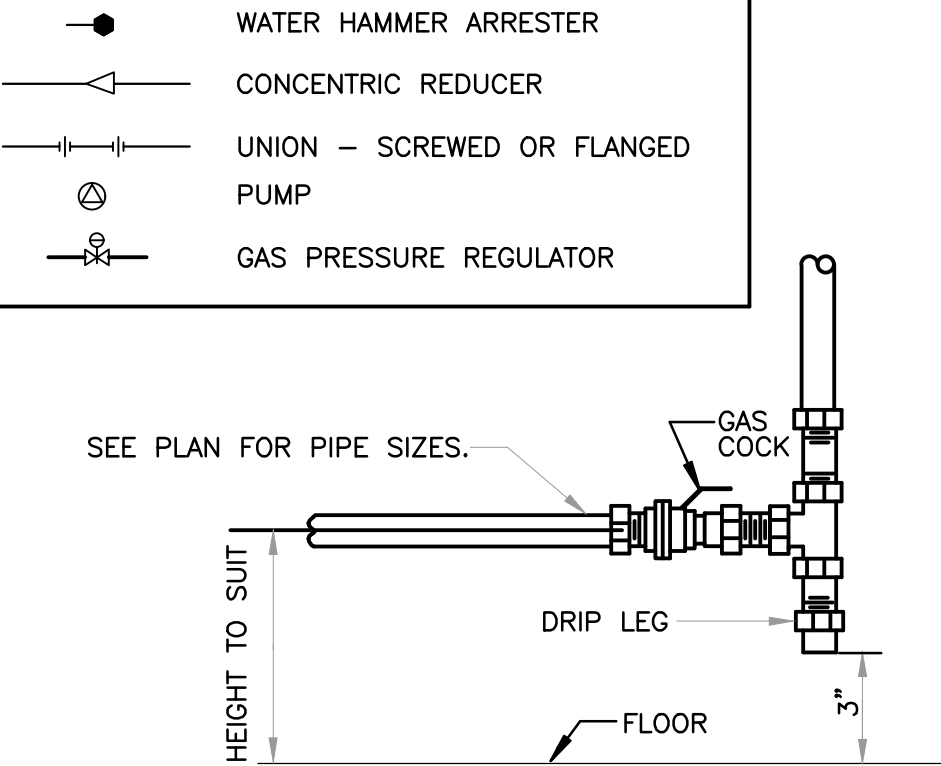
PLUMBING LEGEND & SYMBOLS



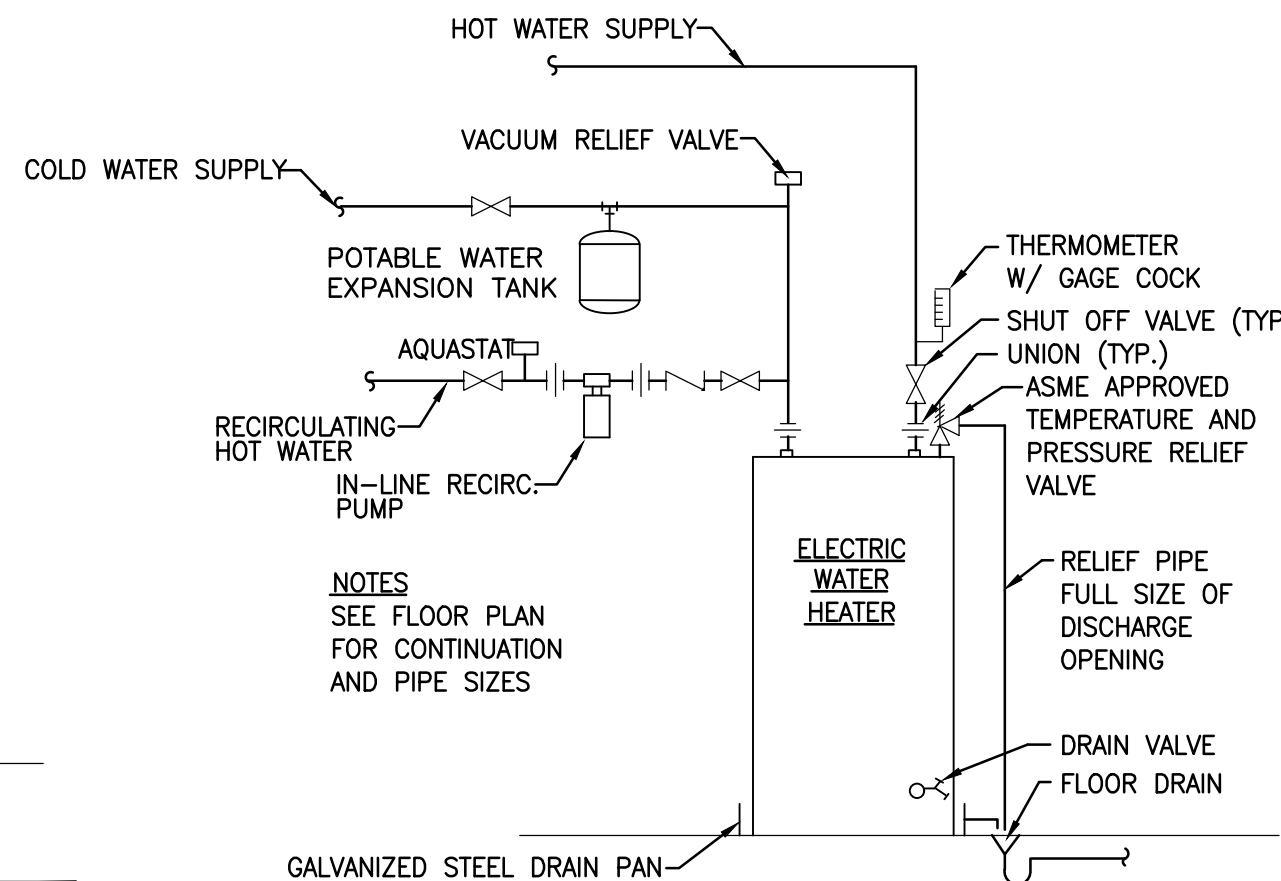
ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	MC	MECHANICAL CONTRACTOR
AHU	AIR HANDLING UNIT	MTD	MOUNTED
BFF	BELOW FINISHED FLOOR	NIC	NOT IN CONTRACT
BFP	BACKFLOW PREVENTER	NTS	NOT TO SCALE
BOP	BOTTOM OF PIPE	NG	NATURAL GAS
CHWP	CHILLED WATER PUMP	ORD	OVERFLOW ROOF DRAIN
CHWR	CHILLED WATER RETURN	OVHD	OVERHEAD
CHWS	CHILLED WATER SUPPLY	PC	PLUMBING CONTRACTOR
CONT	CONTINUATION	PRV	PRESSURE REDUCING VALVE
CO	CLEAN OUT	RD	ROOF DRAIN
COORD	COORDINATE	RS	SANITARY SEWER
CW	COLD WATER	DN	DOWN
DN	DOWN	T&P	TEMPERATURE & PRESSURE
FD	FLOOR DRAIN	TYP	TYPICAL
FCO	FLOOR CLEAN OUT	TW	TEMPERED HOT WATER
FS	FLOOR SINK	V	VENT
GC	GENERAL CONTRACTOR	VTR	VENT THRU ROOF
GPH	GALLONS PER HOUR	W	WASTE
GPM	GALLONS PER MINUTE	W/	WITH
HB	HOSE BIBB	WCO	WALL CLEAN OUT
HD	HUB DRAIN	WH	WATER HEATER
HW	HOT WATER	WHA	WATER HAMMER ARRESTER
HWR	HEATING HOT RECIRCULATION	WHD	WALL HYDRANT
IE	INVERT ELEVATION	YCO	YARD CLEANOUT

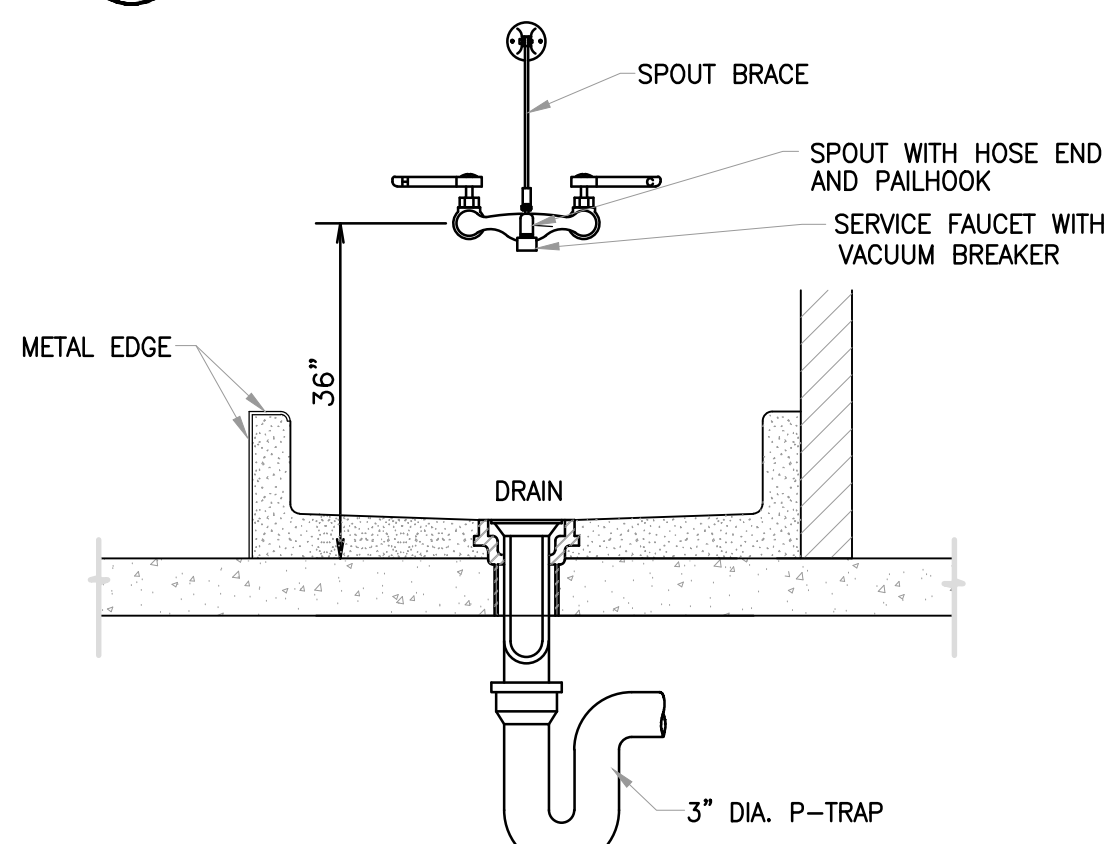
NOT ALL ABBREVIATIONS ARE USED



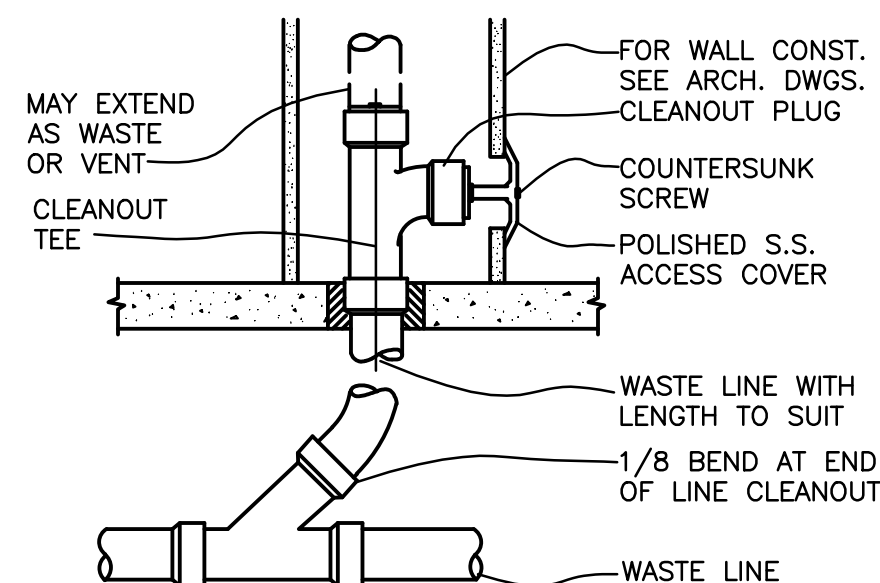
1 GAS PIPING CONNECTION DETAIL
NTS



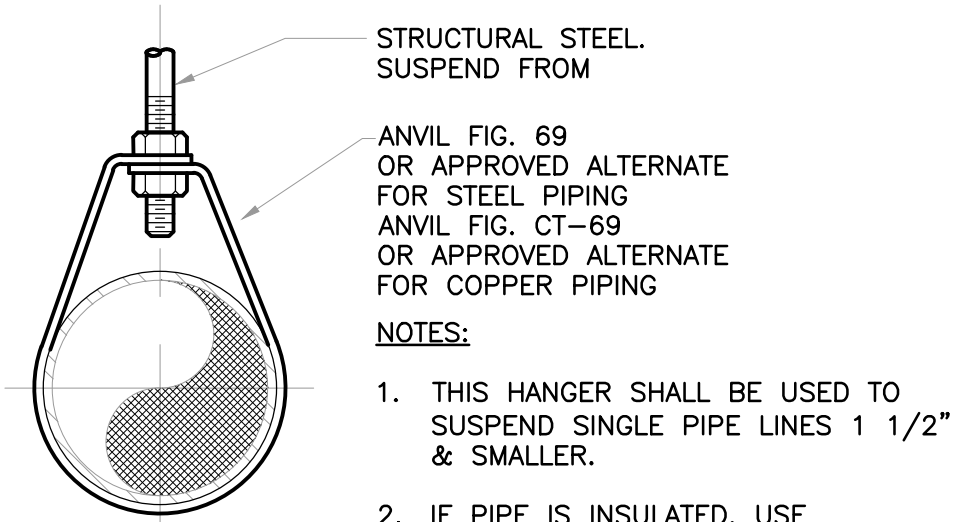
2 WATER HEATER DETAIL
NTS



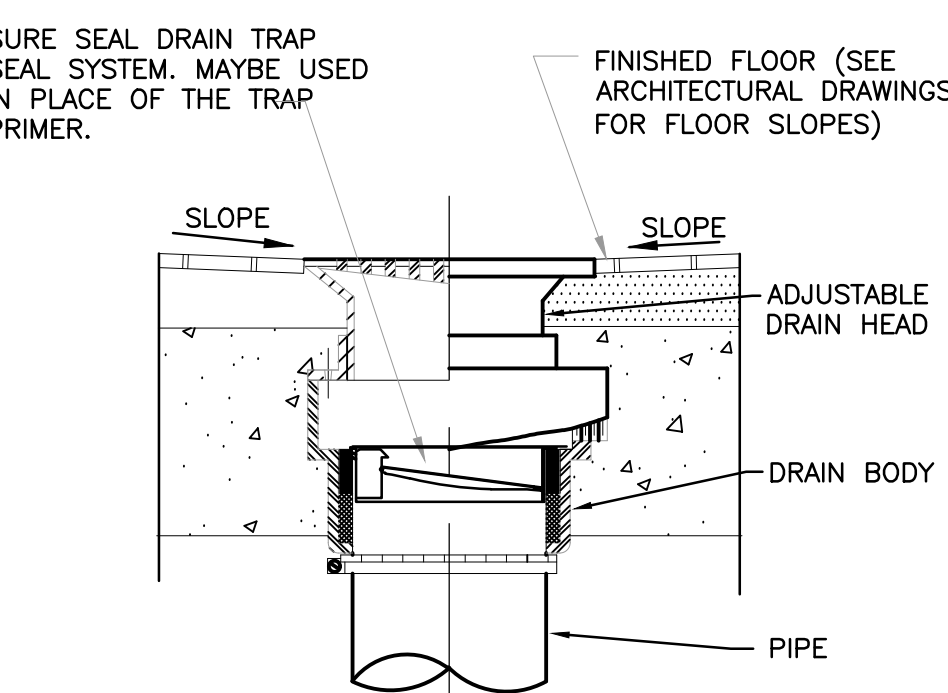
3 MOP SINK DETAIL
NTS



4 WALL CLEANOUT DETAIL
NTS



5 PIPE HANGER DETAIL
NTS

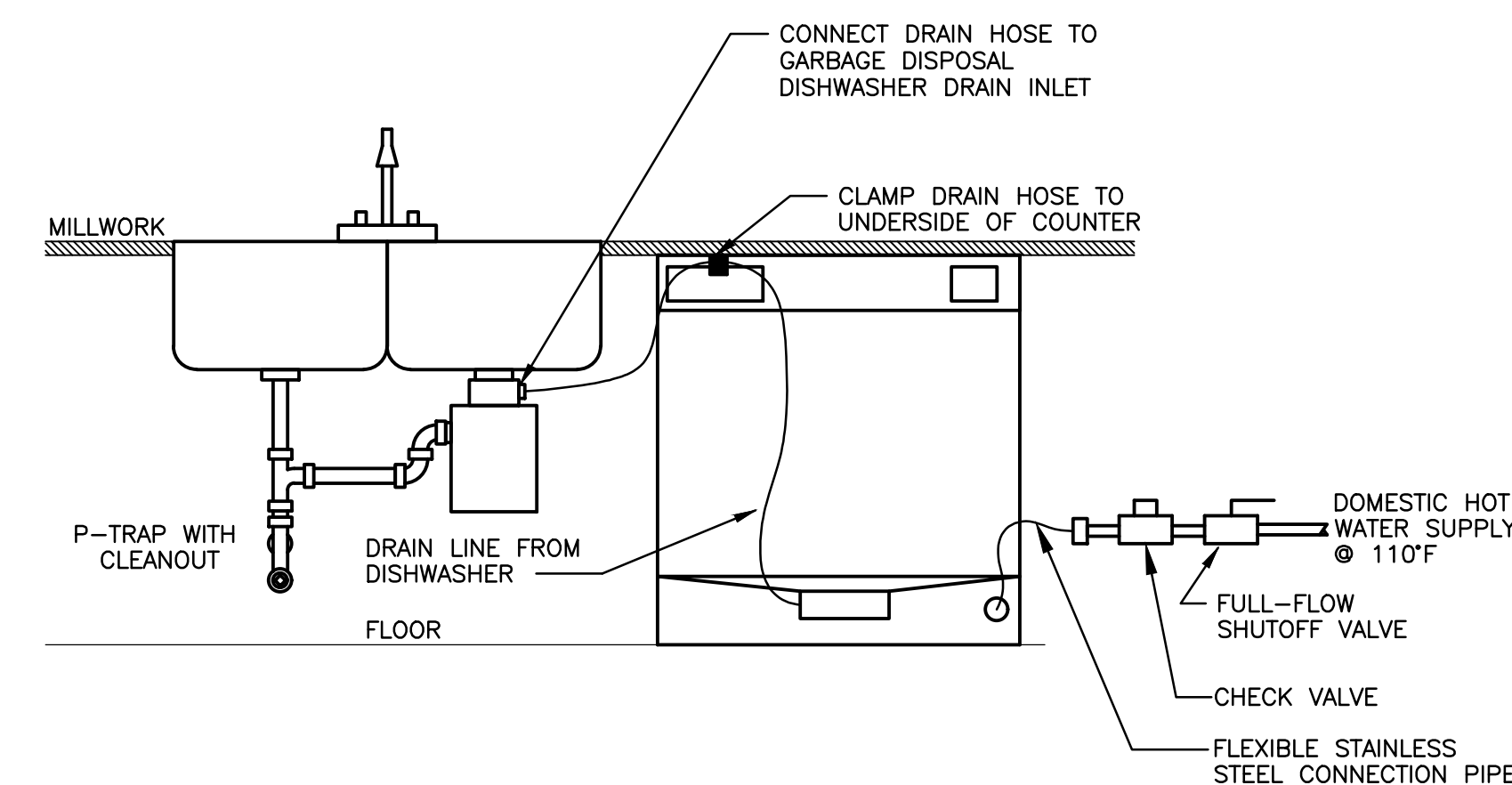


6 FLOOR DRAIN DETAIL
NTS

PLUMBING FIXTURE SCHEDULE						
ITEM	DESCRIPTION	FIXTURE	WASTE	VENT	HOT SUPPLY	COLD SUPPLY
WC-1	AMERICAN STANDARD AFWALL WALL-MOUNTED FLUSH VALVE WATER CLOSET OR EQUAL, WHITE, VITREOUS CHINA, 1.6 GPF, ELONGATED BOWL, W/ SLOAN ROYAL #8111 (TOP SPUD) FLUSH VALVE (OR EQUAL). OPEN FRONT SEAT, J.R. SMITH CARRIER OR EQUAL.	WALL HUNG WATER CLOSET FLUSH VALVE	4	2	-	1
WC-1A	AMERICAN STANDARD AFWALL WALL-MOUNTED FLUSH VALVE WATER CLOSET OR EQUAL, WHITE, VITREOUS CHINA, 1.6 GPF, ELONGATED BOWL, W/ SLOAN ROYAL #8111 (TOP SPUD) FLUSH VALVE (OR EQUAL). OPEN FRONT SEAT, J.R. SMITH CARRIER OR EQUAL. WITH RIM MOUNTED AT 17" AFF. WATER CLOSET FLUSH VALVE HANDLES SHALL BE ON RIGHT OR LEFT SIDE, TO MATCH THE WIDE SIDE OF THE HANDICAPPED STALL OR EQUAL.	WALL HUNG WATER CLOSET FLUSH VALVE (HANDICAP ACCESSIBLE)	4	2	-	1
UR-1	AMERICAN STANDARD TRIMBROOK, VITREOUS CHINA, 3/4" TOP SPUD (OR EQUAL) PROVIDE W/ SLOAN ROYAL 8180 BATTERY AUTO FLUSH VALVE & HEAVY DUTY WALL CARRIER OR EQUAL.	WALL HUNG URINAL	2	1 1/2	-	3/4
UR-1A	SAME AS ABOVE WITH RIM MOUNTED AT 17" AFF.	WALL HUNG URINAL (HANDICAP ACCESSIBLE)	2	1 1/2	-	3/4
LAV-1	AMERICAN STANDARD AQUALYN 20-3/8" x 17-3/8" SELF RIMMING OVAL COUNTERTOP LAVATORY, VITREOUS CHINA, FAUCET HOLES ON 4" CENTERS W/ T&S BRASS SENSOR BATTERY ELECTRONIC FAUCETS DECK MOUNT FAUCET #EC-3104-VF05 OR EQUAL.	COUNTER LAVATORY	2	1 1/2	1/2	1/2
LAV-1A	SAME AS ABOVE WITH A.D.A. APPROVED, PREMOLDED INSULATED COVERS FOR WASTE & SUPPLIES BELOW LAVATORY.	COUNTER LAVATORY (HANDICAP ACCESSIBLE)	2	1 1/2	1/2	1/2
LAV-2	AMERICAN STANDARD LUCERNE, 20-1/2" x 18-1/4" SQUARE SINK, VITREOUS CHINA, WALL-HUNG LAVATORY WITH FAUCET HOLES ON 4" CENTERS W/ T&S BRASS SENSOR BATTERY ELECTRONIC FAUCETS DECK MOUNT FAUCET #EC-3104-VF05, ANGLE STOP SUPPLIES WITH TUBES & ESCUTCHEONS, P-TRAP AND J.R. SMITH CONCEALED ARM CARRIER. MOUNT TOP OF RIM 34" AFF OR EQUAL.	WALL HUNG LAVATORY	2	1 1/2	1/2	1/2
LAV-2A	SAME AS ABOVE WITH A.D.A. APPROVED, PREMOLDED INSULATED COVERS FOR WASTE & SUPPLIES BELOW LAVATORY.	WALL HUNG LAVATORY (HANDICAP ACCESSIBLE)	2	1 1/2	1/2	1/2
JS-1	MUSTEE MODEL #63M WITH T&S BRASS B-0665-BSTR	MOP SINK	3	1 1/2	3/4	3/4
SINK-1	SPLASH WM900	HAND SINK	2	1 1/2	1/2	1/2
SINK-2	REGENCY #600B11014 SINGLE BOWL SINK	BAR DUMP SINK	2	1 1/2	1/2	1/2
SINK-3	REGENCY #600B11014 SINGLE BOWL SINK	BAR HAND SINK	2	1 1/2	1/2	1/2
COMP-3	REGENCY #600S315152G 3 BOWL SINK WITH T&S BRASS EQUIP #5PR-8W12 FAUCET	3-COMPARTMENT SINK	3	2	3/4	3/4
DW-1	NOBLE I-E COMMERCIAL WAREWASHER	WAREWASHER	2	1-1/2	-	1/2
DW-2	NOBLE COMMERCIAL UNDERCOUNTER DISHWASHER (LOW TEMP)	DISHWASHER	2	1-1/2	-	1/2
WH-1	BRADLEY WHITE- HEAVY DUTY COMMERCIAL ELECTRICAL WATER HEATER - 119 GALLON TANK WITH 24 KW ELECTRICAL HEATER AT 208/3-60.	WATER HEATER	-	-	3/4	3/4
WCO	WALL CLEANOUT-ZURN MODEL Z-1441-A-BP WITH BRASS PLUG AND STAINLESS STEEL COVER OR EQUAL.	WALL CLEANOUT	SEE PLAN	-	-	-
IMB	MANITOWAG IT0900 MODEL: #IRT0990A	ICE MACHINE BOX	SEE PLAN	-	-	1/2
FD	FLOOR DRAIN - ZURN MODEL ZN-415, 6" TYPE B STRAINER, WITH CAST IRON HOUSING, ADJUSTABLE SATIN BRONZE TOP, CLAMPING COLLAR, AND OUTLET CONNECTION TO MATCH PIPING SIZE AS INDICATED ON DRAWINGS. INSTALL SURE SEAL INLINE 3" FLOOR DRAIN TRAP SEALER AS PER MANUFACTURER RECOMMENDATIONS OR EQUAL.	FLOOR DRAIN	3	1 1/2	-	-

GENERAL PLUMBING FIXTURE NOTES: (THESE NOTES APPLY TO ALL APPLICABLE PLUMBING FIXTURES)

- ROUGH-IN ALL WASTE AND SUPPLIES TO SPECIAL EQUIPMENT ACCORDING TO MANUFACTURER'S APPROVED SHOP DRAWINGS AND MAKE FINAL CONNECTIONS. ALL SUPPLIES SHALL HAVE SHUT-OFF VALVES.



7 DISHWASHER DETAIL
NTS

MECHANICAL NOTES

ALL MATERIALS AND EQUIPMENT SHALL BE OF NEW AND OF FIRST QUALITY. WORKMANSHIP SHALL CONFORM TO THE BEST PRACTICE FOR SUCH WORK. ALL INSTALLERS OF THE SYSTEMS SHALL BE TRAINED IN THE INSTALLATION OF THE TYPES OF SYSTEMS BEING INSTALLED.

- SUBMISSION OF PROPOSAL DIRECTLY OR INDIRECTLY IN CONNECTION WITH THIS WORK SHALL IMPLY THAT THE BIDDER HAS EXAMINED THE JOB SITE UNDER WHICH HE WILL BE OBLIGATED TO OPERATE SHOULD HE BE AWARDED THE WORK UNDER THIS CONTRACT. CONTRACTOR SHALL VERIFY EXISTING EQUIPMENTS LOCATIONS IN THE FIELD, AND SHALL ADVISE THE ARCHITECT/ENGINEER AND THE OWNER OF ANY DISCREPANCIES. NO EXTRA CHARGE WILL BE ALLOWED FOR FAILURE OF ANY BIDDER TO EXAMINE THE SITE PRIOR TO BID.
- CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL DIMENSIONS IN THE FIELD, AND SHALL ADVISE THE ARCHITECT/ENGINEER AND THE OWNER OF ANY DISCREPANCIES BEFORE PERFORMING THE WORK.
- FIRE DAMPERS – FIRE DAMPERS SHALL BE USED WHERE DUCTWORK PENETRATES WALLS, FLOORS AND CEILING IN A FIRE RATED ASSEMBLY. FIRE STOPPING IS TO BE INSTALLED IN ALL SYSTEMS WHERE A FIRE WALL OR FIRE BARRIER IS PENETRATED. FIRE RATED CAULK SHALL BE USED TO SEAL ALL PENETRATIONS THROUGH FIRE RATED ROOMS FROM ALL MECHANICAL WORKMANSHIP INCLUDING, BUT NOT LIMITED TO CONTROL WIRING, CONDENSATE LINES, MECHANICAL PIPING/LINES SET GOING THROUGH FIRE RATED WALL SHALL BE UL CLASSIFIED FOR FIRE RATED WALL. PIPE INSULATION FOR PIPING SHALL MEET UL CLASSIFICATION FOR FIRE RATED WALL.
- MECHANICAL CONTRACTOR SHALL INSTALL EQUIPMENT PER MANUFACTURERS' INSTRUCTIONS AND SHALL HAVE MANUFACTURERS' INSTALLATION INSTRUCTIONS ON SITE DURING FINAL INSPECTION.
- THESE DRAWINGS ARE OF A SCHEMATIC NATURE AND THE CONTRACTOR MUST OBTAIN ANY ADDITIONAL INFORMATION REQUIRED FOR THE WORK AND INTERFACE WITH OTHER DISCIPLINES ON SITE.
- PREPARED OF THESE DRAWINGS SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR OR OF THE SAFETY, PRECAUTIONS AND PROGRAMS INCIDENTAL TO THE WORK OF THE CONTRACTOR.
- SUBSTITUTIONS – ALL PRODUCTS LISTED ARE TO ESTABLISH DESIGN AND QUALITY STANDARDS, NOT TO LIMIT SUBMITTALS. CONTACT ENGINEER IN WRITING PRIOR TO BID WITH ANY QUESTIONS. ALL SUBSTITUTIONS MUST BE SUBMITTED IN WRITING WITHIN 10 DAYS AFTER BID OR SUPPLY AS SPECIFIED. HIGHLIGHT SUBSTITUTION DEVIATIONS FROM MATERIALS SPECIFIED. COST INCURRED TO MODIFY PROJECT TO INSTALL SUBSTITUTED MATERIALS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR REQUESTING THE SUBSTITUTION.
- RIGID DUCTWORK SHALL BE GALVANIZED SHEET METAL. DUCTWORK SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE SMACNA MANUAL. ALL DIMENSIONS ARE NET INSIDE CLEAR. PROVIDE FLEX CONNECTIONS AT ALL EQUIPMENT. PROVIDE TURNING VANES IN RECTANGULAR DUCT. FLEX DUCTWORK IS ALLOWED FOR THE FINAL 14 FEET OF DUCT LEADING UP TO GRILLES, DIFFUSERS AND AIR TERMINATION DEVICES UNLESS OTHERWISE SPECIFIED ON THE MECHANICAL PLANS.
- COMPLETED INSTALLATION SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND STANDARDS.
- MECHANICAL CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ALL EQUIPMENT WITH CEILING AND LIGHTING LAYOUT ON SITE BEFORE CONSTRUCTION IS TO BE STARTED. ANY INTERFERENCES IS TO BE CORRECTED BY MECHANICAL CONTRACTOR OR REPORTED TO GENERAL CONTRACTOR.
- AIR HANDLER DRAIN PANS SHALL BE FABRICATED FROM 1/8"x1/2"x3/4" ANGLE IRON MINIMUM AND SUPPORTED BY 3/8" THREADED ROD ATTACHED TO STRUCTURE. FORMED SHEET METAL DRAIN PANS OF EQUAL STRENGTH ARE ACCEPTABLE WHERE EQUIPMENT IS LOCATED ON SLAB FLOORS OR PLATFORMS.
- ALL CONDENSATE DRAINS SHALL HAVE AUTOMATIC SENSORS IN SECONDARY DRAIN PAN CONNECTED TO THE AIR HANDLER TO SHUT DOWN FIRE OR DRAINAGE OR HAVE A SECOND CONDENSATE DRAIN INSTALLED. IF USING SECOND CONDENSATE DRAIN METHOD, TERMINATION SHOULD BE IN CONSPICUOUS SPOT TO ALERT OWNER OF DRAIN ISSUES.
- ALL SUPPLY BRANCHES AND OUTDOOR INTAKES SHALL HAVE MANUAL BALANCING DAMPERS UNLESS OTHERWISE NOTED.
- DUCT TRANSITIONS FOR INTERFERENCE ISSUES CAN BE MADE USING EQUIVALENT AREA.
- MAINTAIN DUCTWORK LEVEL AND AS HIGH AS POSSIBLE UNLESS OTHERWISE NOTED. TRANSITION RECTANGULAR DUCTWORK ON THE BOTTOM AND SIDES TO KEEP DUCTWORK AS HIGH AS POSSIBLE. TAPS, TAKE-OFFS AND SPIN IN FITTINGS ARE NOT ACCEPTABLE IN THE END OF CAPPED DUCTS AND SHOULD BE PLACED NOT LESS THAN 12" FROM THE END OF THE DUCT LINE FOR PRESSURIZATION. OPENINGS THROUGH WALLS, FLOORS AND ROOFS SHALL BE FLASHED AND SEALED WATER TIGHT AND SHALL BE PER CODE.
- ALL INTAKE OPENINGS MECHANICAL AND GRAVITY OUTSIDE AIR INTAKE OPENINGS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS UNLESS OTHERWISE SPECIFIED IN CODE. WHERE A SOURCE OF CONTAMINANT IS LOCATED WITHIN 10 FEET OF AN INTAKE OPENING, THE OPENING SHALL BE LOCATED MINIMUM OF 2 FEET BELOW CONTAMINANT SOURCE. THE INTAKE OPENINGS SHALL HAVE RAIN HOODS, BIRD SCREENS AND LOUVERS SUPPLIED BY CONTRACTOR.
- CONDENSATE DISPOSAL SHALL COMPLY WITH SECTION 307.2.1 OF THE IMC CODE BY EITHER DISCHARGE TO THE OUTSIDE OR INTO A HUB DRAIN TO THE SEWER.
- SMOKE DETECTORS SHALL BE INSTALLED IN ALL SYSTEMS GREATER THAN 2000 CFM IN THE RETURN AIR DUCT AND SHALL BE HARD WIRED TO THE FAN STARTER FOR SHUTDOWN ON ACTIVATION OF SENSOR. THE ALARM FOR ACTIVATION SHALL BE VISUAL AND AUDIBLE PER NFPA 90A AND 72E. IF A CENTRAL ALARM SYSTEM IS INSTALLED IN THE BUILDING THIS SHALL ALSO BE CONNECTED TO EACH UNIT.
- PROVIDE ACCESS TO DEVICES ABOVE HARD CEILING. ALL AIR HANDLING EQUIPMENT LOCATED ABOVE CEILING SHALL HAVE A PLATFORM FOR MOUNTING FURNISHED ON THE STRUCTURAL DRAWING WHICH SUPPORT THE UNITS ACCORDING TO SEISMIC RATING FOR THE LOCATION. LIGHTING IS TO BE PROVIDED BY ELECTRICAL FOR MAINTENANCE.
- ALL EQUIPMENT AND DUCTWORK VISIBLE THROUGH SLOTS, GRILLES AND/OR DIFFUSERS IN FINISHED AREAS SHALL BE PAINTED FLAT BLACK.
- WALL MOUNTED TEMPERATURE SENSORS AND/OR THERMOSTATS TO BE MOUNTED PER DRAWINGS OR OWNER INSTRUCTIONS. THERMOSTATS TO BE 7 DAY PROGRAMMABLE WITH ABILITY TO CONTROL FAN OPERATION SEPARATE FROM TEMPERATURE SETPOINT FOR SEVEN DAYS WITH LOCKING COVERS. MOUNT AT 60" AFF OR AT OWNER OR ARCHITECT DIRECTION.
- AIR AND WATER BALANCING REPORT PER IMC IS TO BE PROVIDED TO CODE OFFICIALS AT FINAL INSPECTION.
- SUPPORTS FOR DUCTWORK TO COMPLY WITH IMC AND IBC CODES.
- MINIMUM OUTSIDE AIR REQUIREMENTS WERE CALCULATED USING INTERNATIONAL MECHANICAL CODE 2018. ANY CHANGES TO THE SPECIFIED OUTSIDE AIR REQUIREMENTS MUST BE APPROVED BY DESIGN ENGINEER.
- INSULATION SHALL BE 2" MINIMUM THICKNESS UNLESS OTHERWISE NOTED ON DRAWINGS. INSULATION SHALL BE INSTALLED WITH 2" OVERLAP AND STAPLED EVERY 6" WITH OUTWARD CLINCHING STAPLES. SEAMS AND JOINTS SHALL BE SEALED WITH PRESSURE SENSITIVE TAPE MATCHING INSULATION OR GLASS FABRIC AND MASTIC. FOR RECTANGULAR DUCT SECTIONS 24" OR WIDER, DUCT WRAP INSULATION SHALL BE ADDITIONALLY SECURED WITH MECHANICAL FASTENERS AT 12" ON CENTER TO PREVENT SAGGING INSULATION. OUTSIDE DUCT SHALL HAVE WEATHERPROOF WRAP. DUCT LOCATED IN CONDITIONED AREAS SHALL NOT HAVE INSULATION. OUTSIDE BUILDING INSULATE: INSULATE SUPPLY AND RETURN DUCT WITH 2" FIBERGLASS SEMI-RIGID BOARD INSULATION UNFACED; FLAME SPREAD RATING - 25; SMOKE DEVELOPED RATING - 50; DENSITY - 3 PCF; -20' F TO 450' F RATING; R VALUE - 8.7; OWENS-CORNING TYPE 703 OR EQUAL. FINISH EXTERIOR WITH WATERPROOF ALUMINUM JACKET.
- INSULATE ALL CONDENSATE DRAINS WITH 1" THICK ARMAFLEX. CONDENSATE DRAINS THAT RUN DIRECTLY VERTICAL DO NOT NEED INSULATION.
- UNLESS OTHERWISE NOTED, MECHANICAL CONTRACTOR REQUIRED TO SUPPLY STARTERS AND DISCONNECTS FOR EQUIPMENT SHOWN ON ALL MECHANICAL SCHEDULES. COORDINATE WITH ELECTRICAL CONTRACTOR TO INSTALL AND WIRE CONNECTIONS.
- UNLESS OTHERWISE NOTED, MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL CONDUIT AND WIRING FOR THERMOSTATS AND ANY OTHER CONTROLS REQUIRED BY THE HVAC SYSTEM.
- TEST AND BALANCE ALL SYSTEMS BY A CERTIFIED CONTRACTOR.
- HVAC DRAWINGS ARE THE SOURCE FOR ALL LOUVERS. IF STRUCTURAL AND OR ARCHITECTURAL DRAWINGS SHOW SIZES DIFFERENT FROM THE HVAC DRAWINGS, IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO MAKE CHANGES NEEDED TO ACCOMMODATE THE EQUIPMENT. THIS IS TO BE COORDINATED WITH THE STRUCTURAL AND ARCHITECTURAL ENGINEERS THROUGH A RFI.
- CONTRACTOR SHALL SUBMIT (3) SETS OF SHOP DRAWINGS AND EQUIPMENT CUTS TO THE ENGINEER FOR APPROVAL PRIOR TO STARTING ANY WORK.
- UPON COMPLETION OF CONSTRUCTION CONTRACTOR SHALL SUPPLY THE ENGINEER WITH (1) COMPLETE SET OF AS-BUILT DOCUMENTS AND (3) COMPLETE COPIES OF OPERATIONS AND MAINTENANCE MANUALS. AS-BUILT DRAWINGS SHALL BE OBTAINED AT CONTRACTOR'S EXPENSE.
- REFRIGERANT CIRCUIT ACCESS PORTS LOCATED OUTDOORS SHALL BE FITTED WITH LOCKING-TYPE TAMPER-RESISTANT CAPS OR SHALL OTHERWISE BE SECURED TO PREVENT UNAUTHORIZED ACCESS. THIS DOES NOT APPLY IN CONTROLLED AREA (I.E. ROOFS WITH LOCKED HATCHES OR DOORS)

WATER SOURCE HEAT PUMP SCHEDULE

EQUIPMENT NUMBER	MANUF.	AIR HANDLER MODEL	NOMINAL CAPACITY (TONS)	AIR FLOW (CFM)	REFRIGERANT TYPE	EXT. SP (IWG)	MIN. OUTSIDE AIR (CFM)	AIR HANDLER													ACCESSORIES REQUIRED
								COOLING		HEATING		ELECTRICAL SUPPLY						CONDENSER WATER FLOW (GPM)	MINIMUM EER	OPER. WT. (LBS)	
								COIL CAPACITY @ 95°F		TOTAL HEATING CAPACITY (MBH)	SUPPLEMENTAL HEAT (KW)	FAN TYPE	FAN SPEED (RPM)	FAN MOTOR (HP)	ELECT. CHAR. (V/PH/Hz)	MCA (AMPS)	MOCP (AMPS)				
TOTAL (MBH)	SENS. (MBH)																				
WSHP-1-1	TRANE	GEHE0423	3.5	1400	R-410a	0.25	280	41.7	33.7	53.1	3.29	CENT.	1050	0.50	208/3/60	20.48	30	11.8	13.00	288	1-9
WSHP-1-2	TRANE	GEHE0483	4.0	1600	R-410A	0.97	320	48.0	36.2	58.3	3.82	CENT.	1050	1.0	208/3/60	23.53	35	8.7	13.13	398	1-9

- UNIT TO BE TIED INTO EXISTING CONTROL SYSTEM.
- THE BRAND OF EQUIPMENT SHOWN ON SCHEDULE IS ONLY A TYPICAL. ALTERNATES ARE ACCEPTABLE BY APPROVAL OF OWNER OR PROJECT MANAGER.
- CONTRACTOR MUST VERIFY UNIT CONFIGURATION TO FIT THE LAYOUT DESIGN.
- PROVIDE BALANCING VALVES AT THE UNIT, MATCH EXISTING PIPE MATERIAL AND INSULATION REQUIREMENTS.

ACCESSORIES:

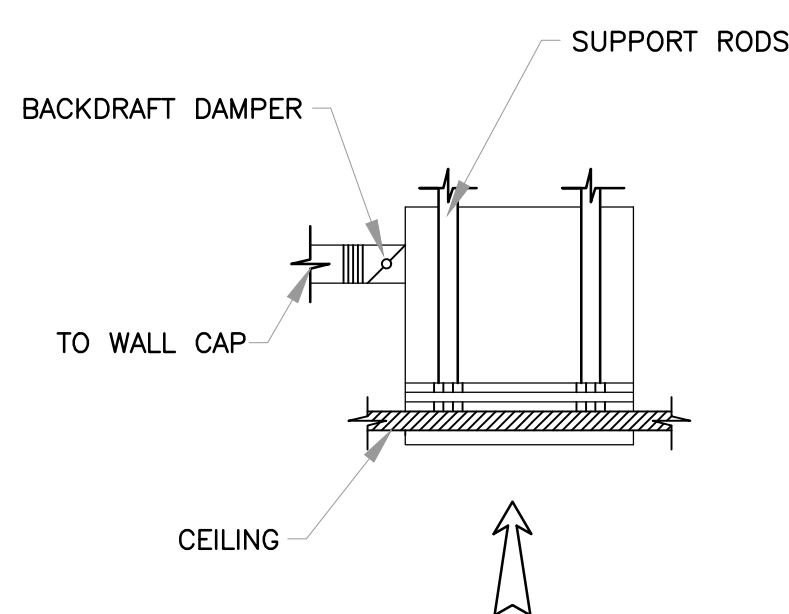
- MC TO PROVIDE FILTERS IN ACCORDANCE WITH SECTION 1586.1.
- UNIT TO BE SELECTED WITH 0.5" FILTER PRESSURE DROP THAT IS NOT PART OF THE ESP SCHEDULED.
- PROVIDE UNIT MOUNTED DDC CONTROLLER WITH WIRELESS BACNET COMMUNICATION, CONTRACTOR TO PROVIDE CONTROL TYPE TRACER UC400 WIRELESS COMM WITH CONDENSATE OVERFLOW SENSOR, ENTERING WATER SENSOR AND HUMIDITY SENSOR.
- PROVIDE UNIT WITH HOT GAS REHEAT
- MC TO PROVIDE CONDENSATE PUMPS
- 2" UNIT MOUNTED FILTER RACK
- SUPPLY/RETURN DUCT CONFIGURATIONS CAN BE CHANGED AS NEEDED IF THE SELECTED DOES NOT WORK.
- METAL CABINET WITH FOIL-FACED INSULATION.
- EMERGENCY AUXILIARY DRAIN PAN UNDER UNIT.

LEGEND

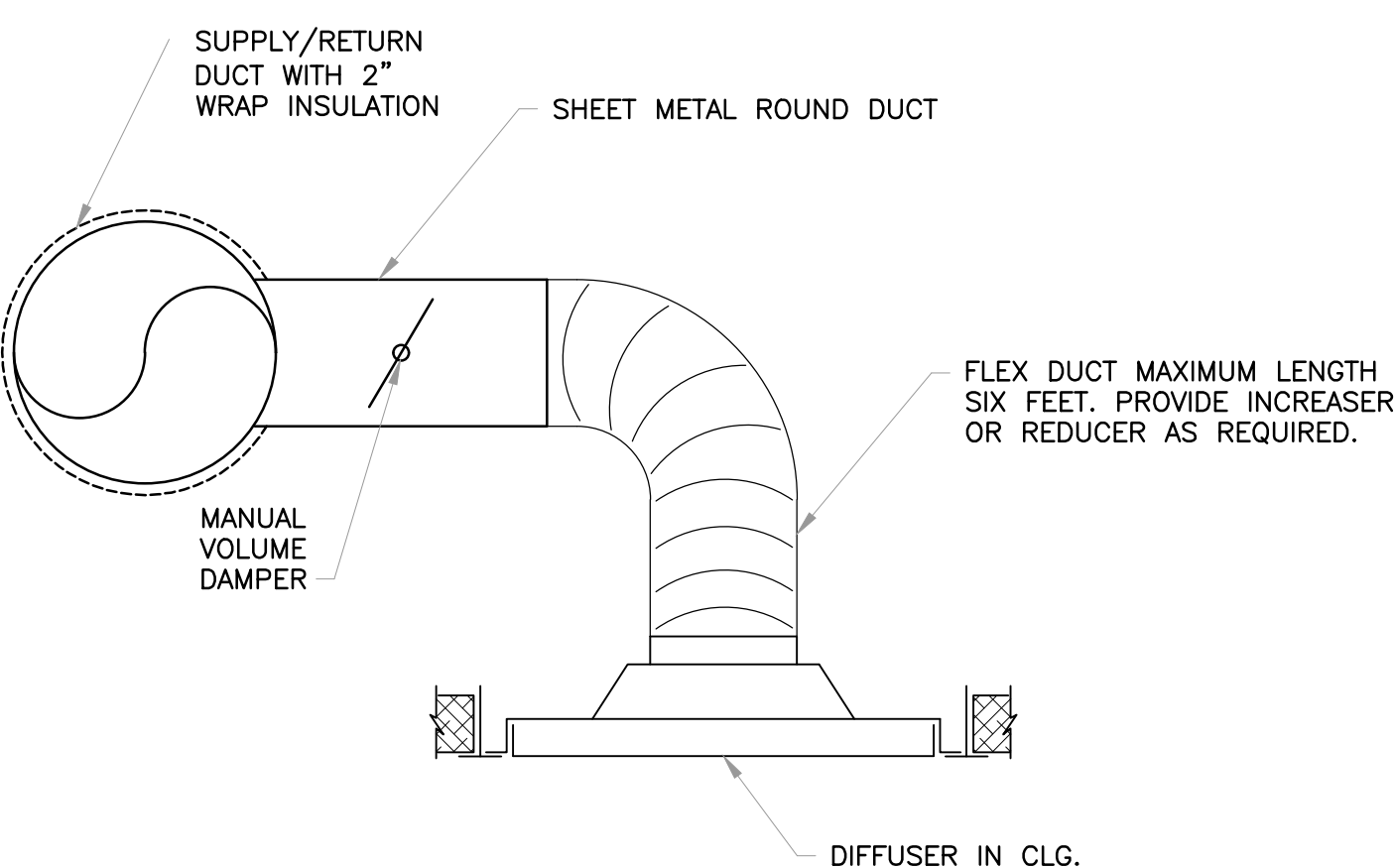
A.F.F.	ABOVE FINISHED FLOOR
—	MANUAL VOLUME DAMPER
⊕	THERMOSTAT
⊕	DIFFUSER SYMBOL
100	AIR FLOW CFM
—	FLEX DUCT
▽	FIRE DAMPER
⊗	SUPPLY DUCT UP
⊗	SUPPLY DUCT DOWN
⊗	RETURN DUCT UP
⊗	RETURN DUCT DOWN
—	NEW DUCTWORK
⊗	NEW CEILING SUPPLY DIFFUSER
⊗	NEW CEILING RETURN GRILLE
—G—	NATURAL GAS PIPING
—CD—	CONDENSATE PIPING

AIR BALANCE SCHEDULE

MARK	OA (CFM)	EXHAUST (CFM)	TOTAL (CFM)
AHU-1	280	—	+280
AHU-2	320	—	+320
EF-1	—	-75	-75
EF-2	—	-75	-75
EF-3	—	-150	-150
TOTAL	600	-300	300



2 CEILING EXHAUST FAN DETAIL
NTS



3 DIFFUSER INSTALLATION DETAIL
NTS

AIR DISTRIBUTION SCHEDULE

MARK	TYPE	OUTLET	SIZE	MAX CFM	NC	MANUF.	MODEL NUMBER	NOTES
A	SUPPLY		24x24	118	—	PRICE	6/24x24/ASPD/B12	1-4
B	SUPPLY		24x24	250	16	PRICE	8/24x24/ASPD/B12	1-4
C	SUPPLY		24x24	436	22	PRICE	10/24x24/ASPD/B12	1-4
RA	RETURN		24x24	2527	—	PRICE	24x24/80/TB/B12	1-4

NOTES:

- WITH ROUND NECK OPTION, CONNECTION SIZE IS TO BE SAME AS ATTACHED DUCTWORK UNLESS NOTED OTHERWISE.
- FURNISH IN MANUFACTURER'S STANDARD WHITE FINISH.
- KRUEGER, TUTTLE & BAILEY, OR TITUS EQUIVALENT MODELS ARE ALSO ACCEPTABLE.
- LAY-IN CEILING

OA SCHEDULE

FUNCTION OF SPACE	TOTAL FLOOR AREA (SQFT)	PEOPLE	PEOPLE OUTDOOR AIR RATE (CFM/PERSON)	AREA OUTDOOR AIR RATE (SQFT/PERSON)	OUTSIDE AIR REQUIRED (CFM)
DINING	852	19	10	0.18	310
KITCHEN	198	1	5	0.06	20
BAR SEATING	458	10	7.5	0.18	160
BAR SERVICE	160	2	5	0.06	20
RESTROOM	210	NR			90
TOTAL	1878	32			600

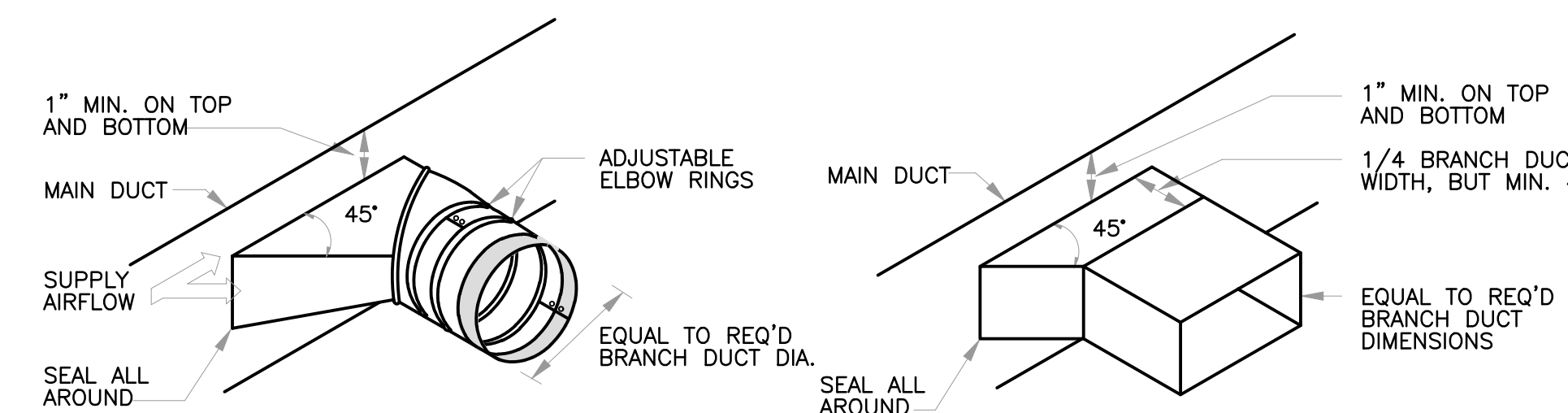
EXHAUST FAN SCHEDULE

EQUIPMENT TAG	MANUFACTURER	MODEL	AIRFLOW	E.S.P. (IN. WC)	FAN RPM	DRIVE	WATTS OR HP	ELECTRICAL (V/PH/Hz)	ACCESSORIES
EF-1	GREENHECK	CSP-A200	75	0.25	546	DIRECT	33	115/1/60	1-3
EF-2	GREENHECK	CSP-A200	75	0.25	546	DIRECT	33	115/1/60	1-3
EF-3	GREENHECK	CSP-A200	150	0.25	665	DIRECT	67	115/1/60	1-3

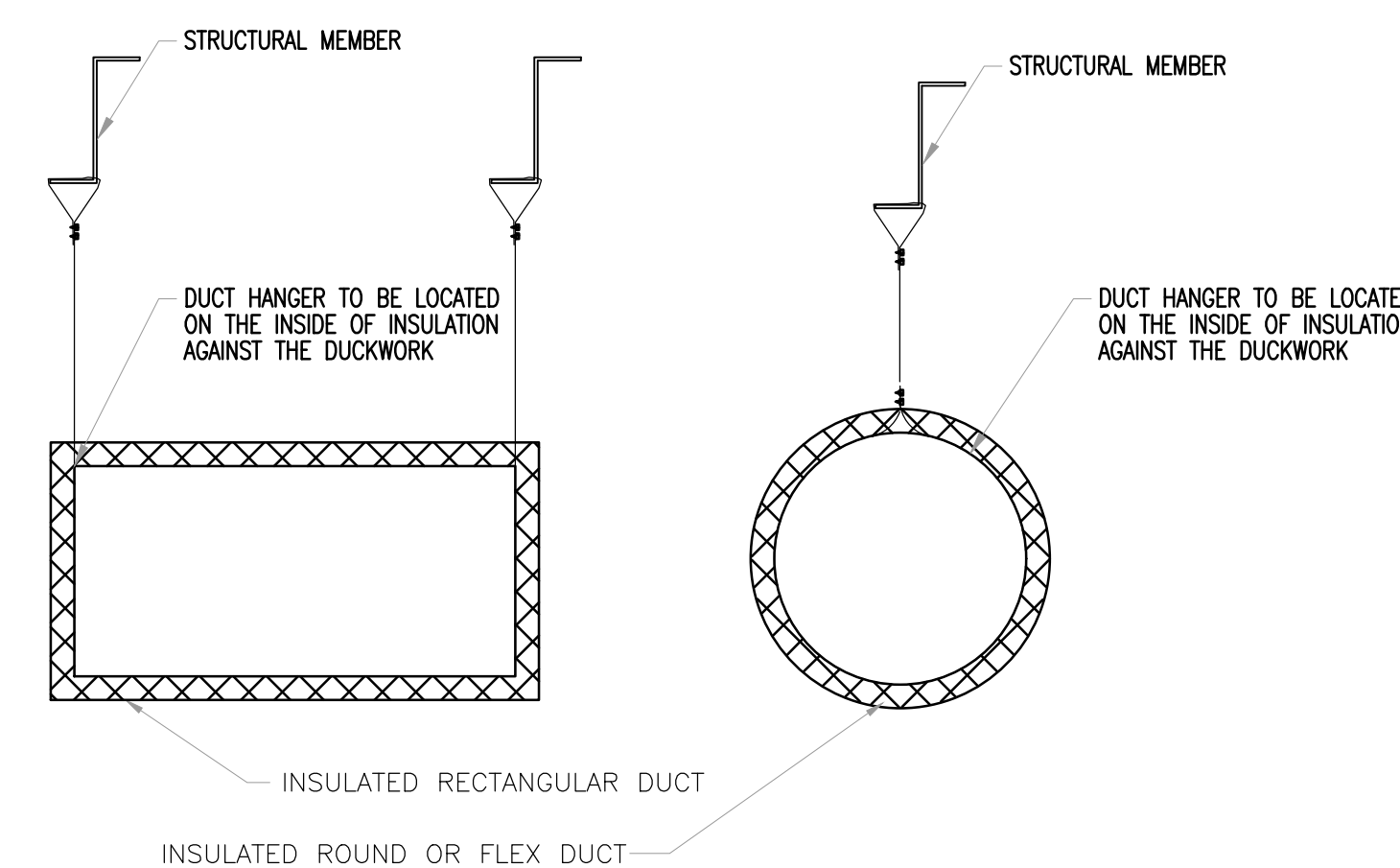
EQUAL PRODUCTS BY COOK, TWIN CITY, CARNES, PENN-BARRY.

ACCESSORIES:

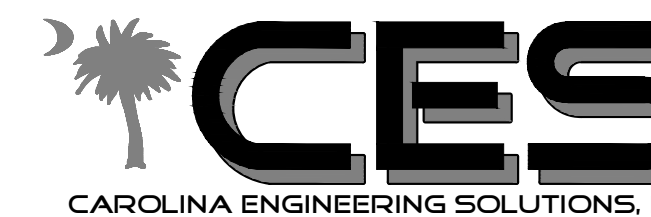
- BACKDRAFT DAMPER
- SPEED CONTROLLER
- FACTORY DISCONNECT



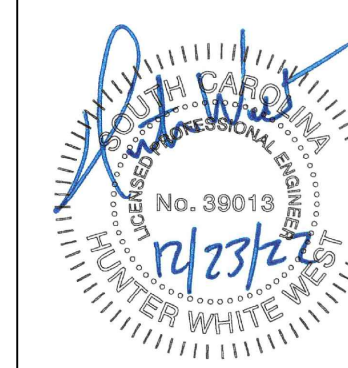
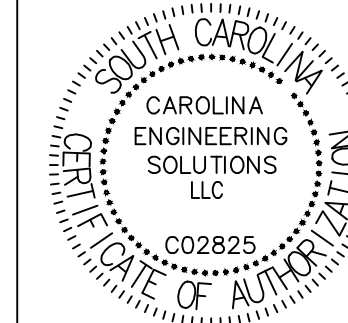
1 TYPICAL BRANCH TAKEOFF FITTING DETAIL
NTS



4 DUCT HANGER DETAIL
NTS



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THE COCKTAIL COMPANY
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GREENVILLE, SC 29601

Job Number: 22325

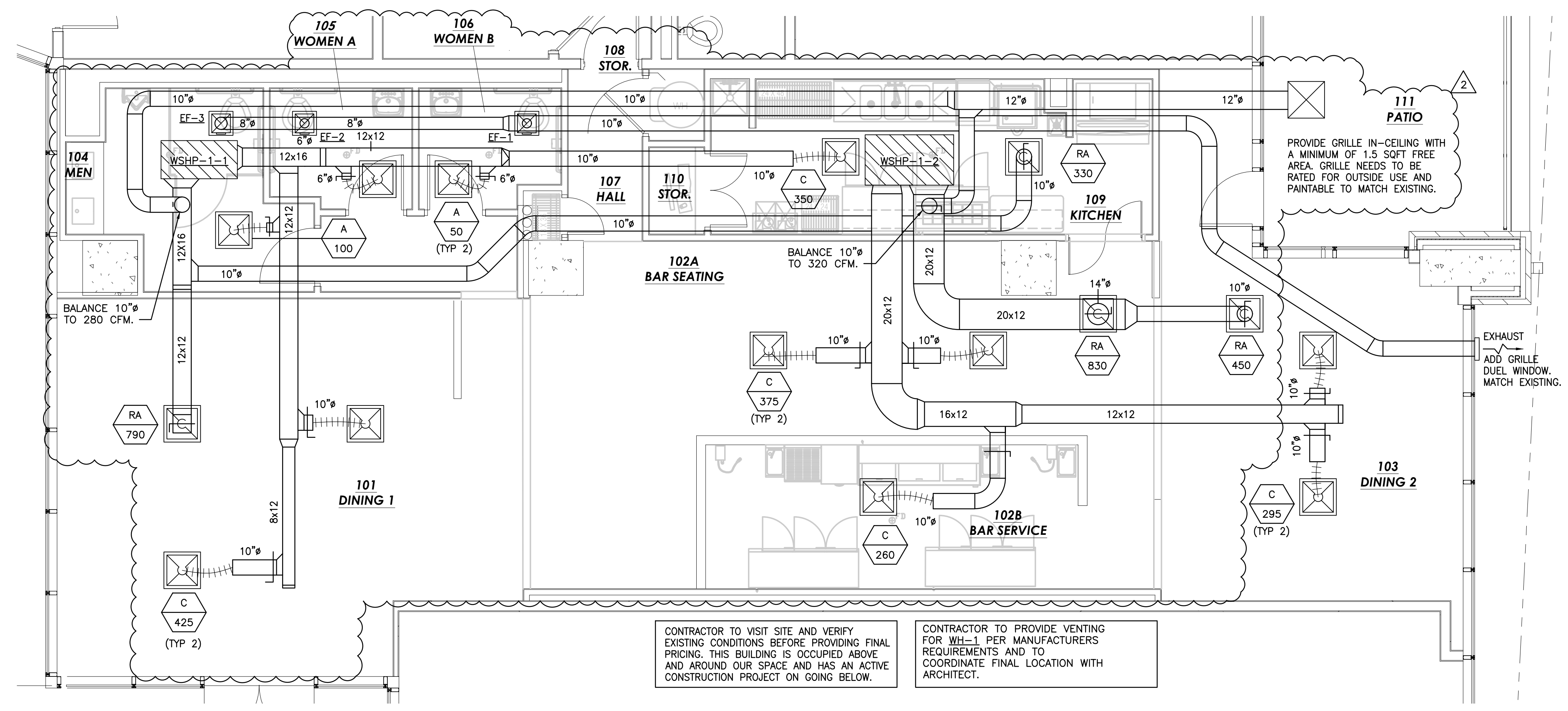
Date: 23 DEC 2022

Revision # Revision Date

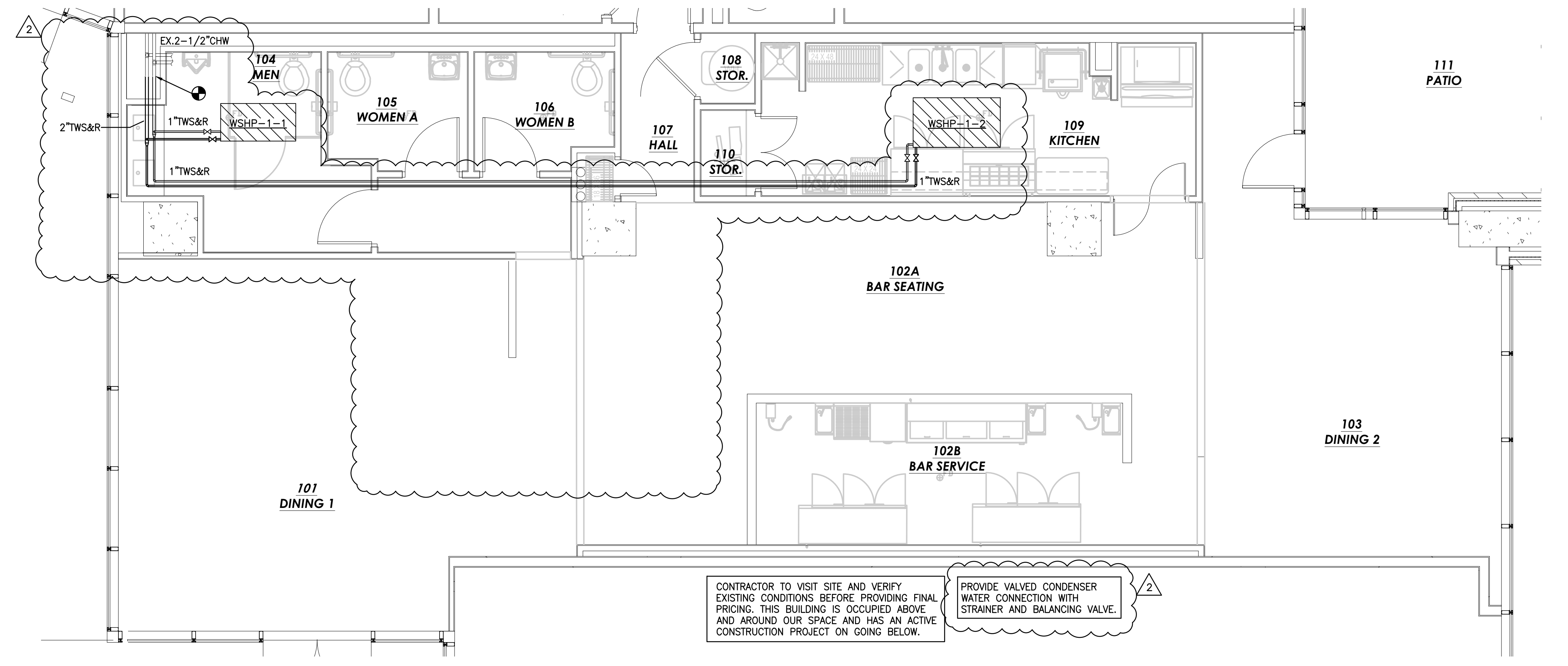
MECHANICAL SCHEDULES, DETAILS, & NOTES

M0.1

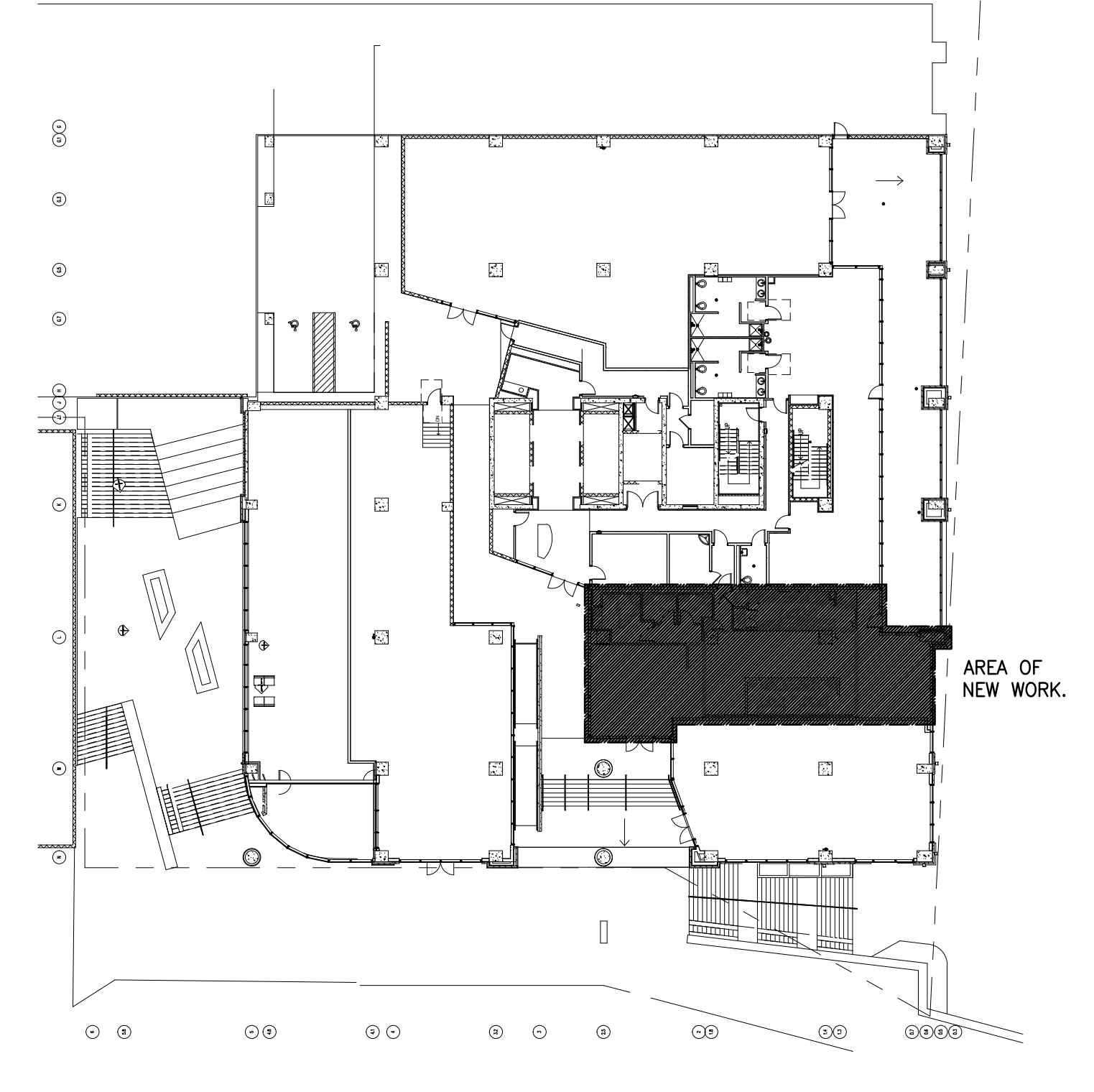
Job Number:	22325
Date:	23 DEC 2022
Revision #	Revision Date
2	2 FEB 2023



1 MECHANICAL FLOOR PLAN
1/4"=1'-0"



2 CONDENSER WATER CONNECTION PLAN
1/4"=1'-0"



3 OVERALL FLOOR PLAN
1/32"=1'-0"

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ELECTRICAL SYMBOLS

- 20A, 125V, 2P, 3W, NEMA 5-20R, DUPLEX, TAMPER RESISTANT RECEPTACLE MTD. 18" ABOVE FLOOR UNLESS NOTED OTHERWISE. SEE ABBREVIATIONS BELOW FOR DESIGNATIONS.
- G - GROUND FAULT INTERRUPTER
- +12" - MOUNTED AT 12" AFF
- SAME AS @ ABOVE EXCEPT QUADRUPLX TYPE. "ACH" INDICATES MOUNTED 4" ABOVE COUNTER HEIGHT.
- SAME AS @ ABOVE EXCEPT BOTTOM OF OUTLET MOUNTED 4" ABOVE COUNTER HEIGHT. COORDINATE WITH CABINETS DETAILS.
- TELE/DATA OUTLET 18" AFF. DUAL GANG JUNCTION BOX WITH SINGLE GANG PLASTER RING AND WITH 1" CONDUIT TO TELECOM BOARD WITH END BUSHING. JACKS, CABLE AND BOX COVER BY SYSTEM INSTALLER. "W" = 60" AFF. "ACH" INDICATES ABOVE COUNTER HEIGHT.
- SPECIAL PURPOSE RECEPTACLE. VERIFY ELECTRICAL EQUIPMENT REQUIREMENTS WITH EQUIPMENT BEING SUPPLIED PRIOR TO INSTALLATION.
- JUNCTION BOX. SIZE AS REQUIRED TO FIT APPLICATION.
- EXHAUST FAN. SEE MECHANICAL DRAWINGS. "SWL" INDICATES SWITCHED WITH ROOM LIGHTS.
- WATER HEATER. SEE PLUMBING DRAWINGS.
- RECESSED LINEAR LIGHT FIXTURE.
- TRACK MOUNTED LIGHTING FIXTURE. LENGTH OF TRACK AND QUANTITY OF HEADS AS SHOWN.
- WALL MOUNTED DECORATIVE SCONCE FIXTURE.
- WALL MOUNTED VANITY LIGHT FIXTURE.
- STRIP LIGHT FIXTURE. LENGTH AS INDICATED
- PENDANT MOUNTED DECORATIVE FIXTURE PER FIXTURE SCHEDULE.
- DOWNLIGHT PER PLANS.
- WALL MTD EXTERIOR EGRESS EMERGENCY LIGHT.
- WALL MOUNTED TWIN HEAD EMERGENCY FIXTURE. PROVIDE CONTINUOUS HOT LEAD TO FIXTURE FOR BATTERY.
- CEILING MOUNTED TWIN HEAD EMERGENCY FIXTURE. PROVIDE CONTINUOUS HOT LEAD TO FIXTURE FOR BATTERY.
- COMBINATION EXIT/EMERGENCY FIXTURE. PROVIDE CONTINUOUS HOT LEAD TO FIXTURE FOR BATTERY.
- S SINGLE POLE LIGHTING SWITCH, 48" AFF, 120/277 VOLT, 20 AMP, SPEC GRADE, "T" RATED.
- S3 SAME AS "S" ABOVE EXCEPT "3" IN SUBSCRIPT DENOTES 3-WAY SWITCH.
- S6 SAME AS "S" ABOVE EXCEPT "6" IN SUBSCRIPT IDENTIFIES FIXTURES CONTROLLED.

ELECTRICAL SYMBOLS (CONTINUED)

- SD LED SLIDE TYPE DIMMER SWITCH. SIZE AS REQUIRED.
- SD3 SAME AS "SD" ABOVE EXCEPT "3" IN SUBSCRIPT DENOTES 3-WAY DIMMER.
- HOMERUN TO ELECTRICAL PANEL. HOMERUN NOTE (A-7) INDICATES PANEL DESIGNATION AND RELATIVE CIRCUIT NUMBER. UNLESS NOTED OTHERWISE, CONDUCTORS SHALL BE #12 AWG IN 3/4" CONDUIT. HATCH MARKS INDICATE THE QUANTITY OF CONDUCTORS REQUIRED. SHORT HATCH MARKS REPRESENT HOT CONDUCTORS OR SWITCHED LEGS. LONG HATCH MARKS REPRESENT THE NEUTRAL CONDUCTOR. ALL BRANCH CIRCUITS SHALL CONTAIN A #12 INSULATED GREEN GROUND CONDUCTOR. PROVIDE ALL WIRING REQUIRED TO ACCOMPLISH CIRCUITRY AS INDICATED. NO HATCH MARKS INDICATE 2#12, #12G-3/4".
- BRANCH CIRCUIT WIRING CONCEALED IN WALL OR CEILING SPACE.
- BRANCH CIRCUIT WIRING CONCEALED IN FLOOR OR UNDERGROUND.
- CONDUIT RUN TURNED DOWN OR AWAY FROM OBSERVER.
- CONDUIT RUN TURNED UP OR TOWARDS OBSERVER.
- CAPPED CONDUIT.
- FLEXIBLE CONNECTION TO EQUIPMENT.
- ELECTRICAL PANEL, 208/120V, MOUNTING AS INDICATED. COORDINATE EXACT LOCATION IN FIELD.
- SAFETY DISCONNECT SWITCH. "30" INDICATES AMP RATING, 2 INDICATES NUMBER OF POLES. "F" INDICATES FUSED, "NF" INDICATES NON-FUSED. ENCLOSURE TO BE NEMA 1 UNLESS NOTED OTHERWISE (3R, 4X, ETC.). FUSE PER MANUFACTURERS RECOMMENDATIONS.
- 30/2/F LOCAL 120V TOGGLE TYPE EQUIPMENT DISCONNECT. RATED 20A, UNLESS NOTED OTHERWISE.
- DS FIRE ALARM SPEAKER/STROBE UNIT MOUNTED AT 84" AFF TO MATCH EXISTING. TIE INTO EXISTING NOTIFIER VOICE EVACUATION FIRE ALARM SYSTEM. "E" INDICATES EXISTING TO REMAIN.
- DS FIRE ALARM STROBE ONLY UNIT MOUNTED AT 84" AFF TO MATCH EXISTING. TIE INTO EXISTING NOTIFIER VOICE EVACUATION FIRE ALARM SYSTEM.

LIGHTING NOTES:

1. FOR DRAWING CLARITY, INDIVIDUAL BRANCH CIRCUIT HOMERUNS ARE INDICATED. ELECTRICAL CONTRACTOR MAY RUN UP TO (3) 20A BRANCH CIRCUITS IN A SINGLE HOMERUN TO A COMMON PANEL.
2. PULL AN UNSWITCHED LEG OF THE LOCAL LIGHTING CIRCUIT TO ALL EXIT, EMERGENCY AND NIGHT LIGHTING FIXTURES SHOWN UNLESS INDICATED OTHERWISE ON PLANS.
3. DETERMINE EXACT LOCATION FOR ALL LIGHT FIXTURES IN FIELD. COORDINATE W/CEILING GRID LAYOUT WHERE APPLICABLE AND WITH OTHER TRADES.

ELECTRICAL SPECIFICATIONS

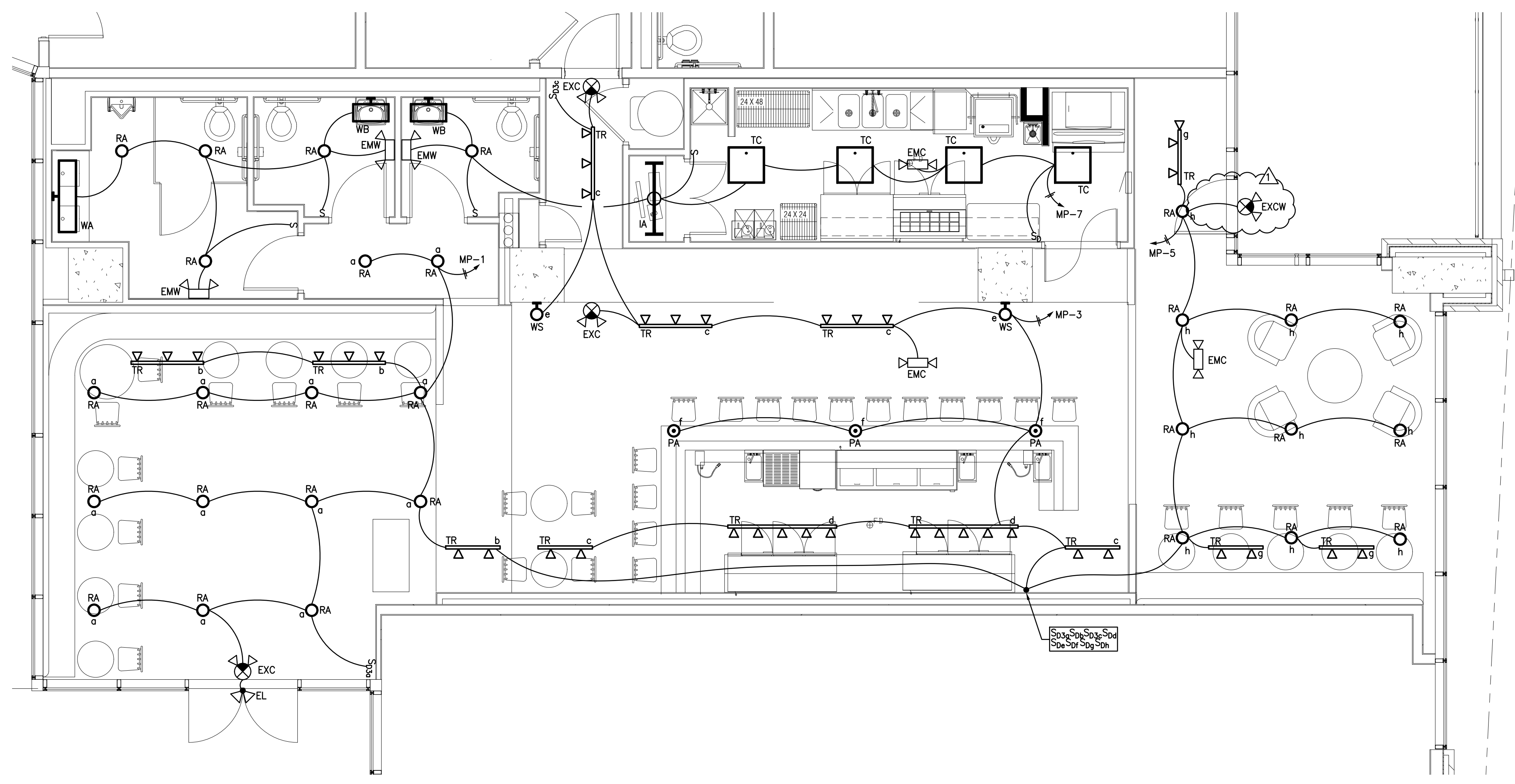
1. DRAWINGS ARE DIAGRAMMATIC AND INTENDED TO SHOW APPROXIMATE LOCATIONS. ELECTRICAL WORK SHALL NOT INTERFERE WITH CLEARANCES REQUIRED FOR GENERAL AND MECHANICAL CONSTRUCTION. ANY CORRECTIONS WILL BE MADE BY THE ELECTRICAL CONTRACTOR AT NO COST TO THE OWNER.
2. ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE IBC AND THE NATIONAL ELECTRICAL CODE, LATEST EDITIONS, AND ALL APPLICABLE STATE AND LOCAL CODES. ALL WORK SHALL BE ACCOMPLISHED IN A NEAT AND PROFESSIONAL MANNER.
3. ALL MATERIALS SHALL BE NEW AND SHALL BEAR THE U/L LABEL.
4. CONTRACTOR SHALL CONFIRM BRANCH CIRCUIT SIZING, LOCATIONS AND CONNECTION REQUIREMENTS FOR ALL MECHANICAL EQUIPMENT PRIOR TO INSTALLATION. ANY ADJUSTMENTS REQUIRED SHALL BE MADE BY THE ELECTRICAL CONTRACTOR. SUBSTANTIAL CHANGES TO THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
5. ALL TERMINALS SHALL BE RATED FOR 75 DEGREES CELSIUS COPPER WIRE.
6. RECEPTACLES SHALL BE OF THE GROUNDING TYPE WITH GROUND CONNECTION MADE THROUGH AN EXTRA POLE WHICH SHALL BE PERMANENTLY CONNECTED TO THE RACEWAY AND GROUNDING SYSTEMS. COVERPLATES AND COLOR FOR ALL WIRING DEVICES TO BE DETERMINED BY ARCHITECT.
7. LIGHTING FIXTURES SHALL BE FURNISHED COMPLETE IN ALL RESPECTS PER FIXTURE SCHEDULE. VERIFY CEILING FINISHES AND SUSPENSION SYSTEMS FOR SELECTION OF PROPER TRIM AND SUPPORT ARRANGEMENTS. INSTALL ALL LIGHT FIXTURES WITH LAMPS AS REQUIRED.
8. RECESSED FIXTURES MOUNTED IN GRID CEILING SHALL BE SECURELY FASTENED TO THE GRID BY A MECHANICAL MEANS THAT COMPLIES WITH REQUIREMENTS FOR SEISMIC EVENTS PER ASCE 7.16. THE GRID SHALL BE ABLE TO SUPPORT THE WEIGHT OF THE FIXTURE, AND SHALL BE SECURED TO TRUE STRUCTURE AS REQUIRED. ALL SURFACE MOUNTED, EMERGENCY, AND EXIT FIXTURES SHALL BE SECURELY FASTENED TO THE BUILDING STRUCTURE BY A MECHANICAL MEANS THAT COMPLIES WITH THE SAME STIPULATIONS AS ABOVE.
9. ALL WIRING SHALL BE CONCEALED WHERE POSSIBLE AND INSTALLED IN SUITABLE RACEWAYS. EMT SHALL BE USED (3/4" MIN) FOR LIGHTING AND POWER BRANCH CIRCUITRY. ENT SHALL BE USED FOR EQUIPMENT FEEDERS.
10. OPENINGS AROUND ELECTRICAL PENETRATIONS THROUGH FIRE RATED WALLS, PARTITIONS, FLOORS OR CEILINGS SHALL BE SEALED USING APPROVED MATERIALS AND METHODS TO MAINTAIN THE ORIGINAL FIRE-RESISTANCE RATING.
11. RECEPTACLES INSTALLED BACK TO BACK IN FIRE RATED WALLS SHALL BE A MINIMUM OF 24" APART AND SHALL NOT OCCUPY THE SAME STUD CAVITY.
12. DISCONNECT SWITCHES SHALL BE FURNISHED AS SHOWN ON THE DRAWINGS WITH VOLTAGE RATING, AMPERAGE RATING AND NUMBER OF POLES AS INDICATED. PROVIDE NEMA 3R TYPE WHERE EXPOSED TO WEATHER. PROVIDE HEAVY DUTY TYPE SWITCHES.
13. FUSES FOR FUSIBLE SWITCHES SHALL BE OF THE DUAL ELEMENT, REJECTION TYPE.
14. DISCONNECT SWITCHES SHALL HAVE EXTERNAL SWITCH HANDLE, SWITCH AND DOOR SHALL BE INTERLOCKED SUCH THAT THE DOOR CAN NOT BE OPENED UNLESS THE SWITCH IS IN THE OPENED POSITION.

ELECTRICAL SPECIFICATIONS (CONTINUED)

15. ALL WIRE SHALL BE SINGLE CONDUCTOR STRANDED, COPPER SIZED AS INDICATED ON THE DRAWINGS. MINIMUM SIZE SHALL BE #12 AWG.
16. SOLID WIRE MAY BE USED FOR #12 AND #10 AWG WIRE USED ON LIGHTING FIXTURES, RECEPTACLES AND SWITCHES ONLY.
17. INSULATION OF WIRE SHALL BE 75 DEGREES CELSIUS (THHN, THWN), 600 VOLT.
18. UNLESS INDICATED ON THE DRAWINGS, ALL WIRING SHALL BE #12 AWG. CONTRACTOR SHALL CONFIRM AND ROUTE THE PROPER QUANTITY OF WIRES AND SIZE OF CONDUIT TO FIT THE APPLICATION AND THE CIRCUITRY INDICATED.
19. CONTRACTOR SHALL PROVIDE A PROPERLY SIZED, GREEN COLORED INSULATED GROUNDING CONDUCTOR IN ALL CONDUITS. THIS CONDUCTOR IS NOT INDICATED IN THE HASH MARKS ON THE CONDUIT RUNS ON THE PLANS.
20. MAINTAIN A COMPLETE GROUNDING SYSTEM IN ACCORDANCE WITH NEC ARTICLE 250 AND THESE SPECIFICATIONS. GROUNDING SYSTEM SHALL BE ELECTRICALLY CONTINUOUS THROUGHOUT.
21. PANELBOARDS SHALL BE PROVIDED WITH DISTRIBUTIVE PHASING AND RATINGS AND BREAKER REQUIREMENTS AS PER SCHEDULES. LABEL ALL PANELS AND PROVIDE TYPED CIRCUIT DIRECTORIES.
22. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING ALL EXISTING ELECTRICAL EQUIPMENT, DEVICES, CONDUIT, WIRE, AND FIXTURES NOT RE-USED IN THE RENOVATION OR INTERFERING WITH NEW CONSTRUCTION. PRIOR TO BIDDING, THE CONTRACTOR SHALL VISIT THE SITE TO EXAM THE EXISTING FACILITY TO BETTER UNDERSTAND THE EXTENT OF THE DEMOLITION AND EXISTING CONDITIONS.
23. TRANSFORMERS SHALL BE FLOOR MOUNTED, GENERAL PURPOSE DRY TYPE AND OF THE KVA RATING AS INDICATED ON THE PLANS. ALL SHALL BE VENTILATED, 150°C TEMP RISE, CORE AND COIL ASSEMBLIES MOUNTED ON RUBBER ISOLATION PADS TO MINIMIZE THE SOUND LEVEL. SQUARE "D" CLASS 7410 SERIES OR EQUAL.

- GENERAL LIGHTING NOTES:**
1. ALL FIXTURES TO BE U.L. LISTED. ALL EXTERIOR FIXTURES SHALL HAVE U.L. WET LABEL OR DAMP LABEL AS REQUIRED BY LOCATION. CONTRACTOR SHALL VERIFY BEFORE INSTALLING FIXTURE.
 2. CONTRACTOR SHALL PROVIDE ALL MOUNTING ACCESSORIES, BAR HANGARS & HARDWARE REQUIRED FOR A COMPLETE SYSTEM.
 3. CONTRACTOR TO COORDINATE AND DETERMINE EXACT MOUNTING HEIGHTS OF ALL INTERIOR AND EXTERIOR WALL MOUNTED LIGHT FIXTURES IN FIELD PRIOR TO ROUGH-IN. FIXTURES TO BE UNIFORM AND CONSISTENT IN ALL APPLICATIONS.

LIGHTING FIXTURE SCHEDULE					
FIXTURE TYPE	FIXTURE DESCRIPTION	ACCEPTABLE MANUFACTURERS	LAMPS	FIXTURE WATTAGE	VOLTAGE
EL	EXTERIOR WEATHERPROOF EMERGENCY EXTERIOR LED LIGHT FIXTURE WITH PE CELL.	EMERGLITE # LUX-ACDS-P	BY MANUFACTURER	12	120
EMC	CEILING MOUNTED SPECIFICATION GRADE TWIN-HEAD EMERGENCY LIGHT WITH BATTERY BACKUP, WHITE HOUSING.	EMERGLITE # EL-2LED	BY MANUFACTURER	11	MULTI
EMW	WALL MOUNTED SPECIFICATION GRADE TWIN-HEAD EMERGENCY LIGHT WITH BATTERY BACKUP, WHITE HOUSING.	EMERGLITE # EL-2LED	BY MANUFACTURER	11	MULTI
EXC	COMBINATION EMERGENCY LIGHT/EXIT SIGN WITH RED LED ON ON WHITE HOUSING, BATTERY BACKUP, DIFFUSER LENS, AND HIGH OUTPUT BATTERY BALAST, SPEC. GRADE.	EMERGLITE # ELXN400R-2LEDR	BY MANUFACTURER	10	MULTI
EXCW	SAME AS "EXC" ABOVE EXCEPT WET LOCATION LISTED.	FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.	BY MANUFACTURER	11	MULTI
IA	4" LED STANDARD CHANNEL STRIP LIGHT, 22 GA. STEEL, ALL PARTS PAF, WIREGUARD.	WILLIAMS #76-4-L53/840-WG	LED	34	MULTI
PA	PENDANT MOUNTED DECORATIVE LIGHT FIXTURE WITH GLOBES. COLOR BY ARCHITECT. PROVIDE WITH LED BULBS.	NOUVEAU # CH505426	LED	60	MULTI
RA	6" DIA. RECESSED CAN LIGHT WITH CLEAR ALZAK REFLECTOR, 0-10V DIMMING.	HEW # 6DR-TL-L30/835-DIM-UNV-R-W-OF-CS-N-F1	LED	30	MULTI
TC	RECESSED 2X2 LED FLAT PANEL FIXTURE, 0-10V DIMMING.	ELITE # 22-FPL-BL-LED	LED	35	MULTI
TR	PENDANT MOUNTED TRACK LIGHTING SYSTEM. QUANTITY OF HEADS AND LENGTH OF TRACK AS SHOWN.	FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. FOR PRICING PURPOSES, ALLOW \$50/FT OF TRACK AND \$200/HEAD, CONTRACTOR COST.	LED	75W/FT	MULTI
WA	WALL MOUNTED DECORATIVE LED VANITY FIXTURE, COLOR BY ARCHITECT. PROVIDE WITH LED BULBS.	NOUVEAU # VL505136	LED	60	MULTI
WB	WALL MOUNTED DECORATIVE LED VANITY FIXTURE, COLOR BY ARCHITECT. PROVIDE WITH LED BULBS.	NOUVEAU # VL505125	LED	45	MULTI
WS	WALL MOUNTED DECORATIVE LED SCONCE FIXTURE, COLOR BY ARCHITECT. PROVIDE WITH LED BULBS.	NOUVEAU #WV505219	LED	30	MULTI



1 LIGHTING PLAN
1/4" = 1'-0"

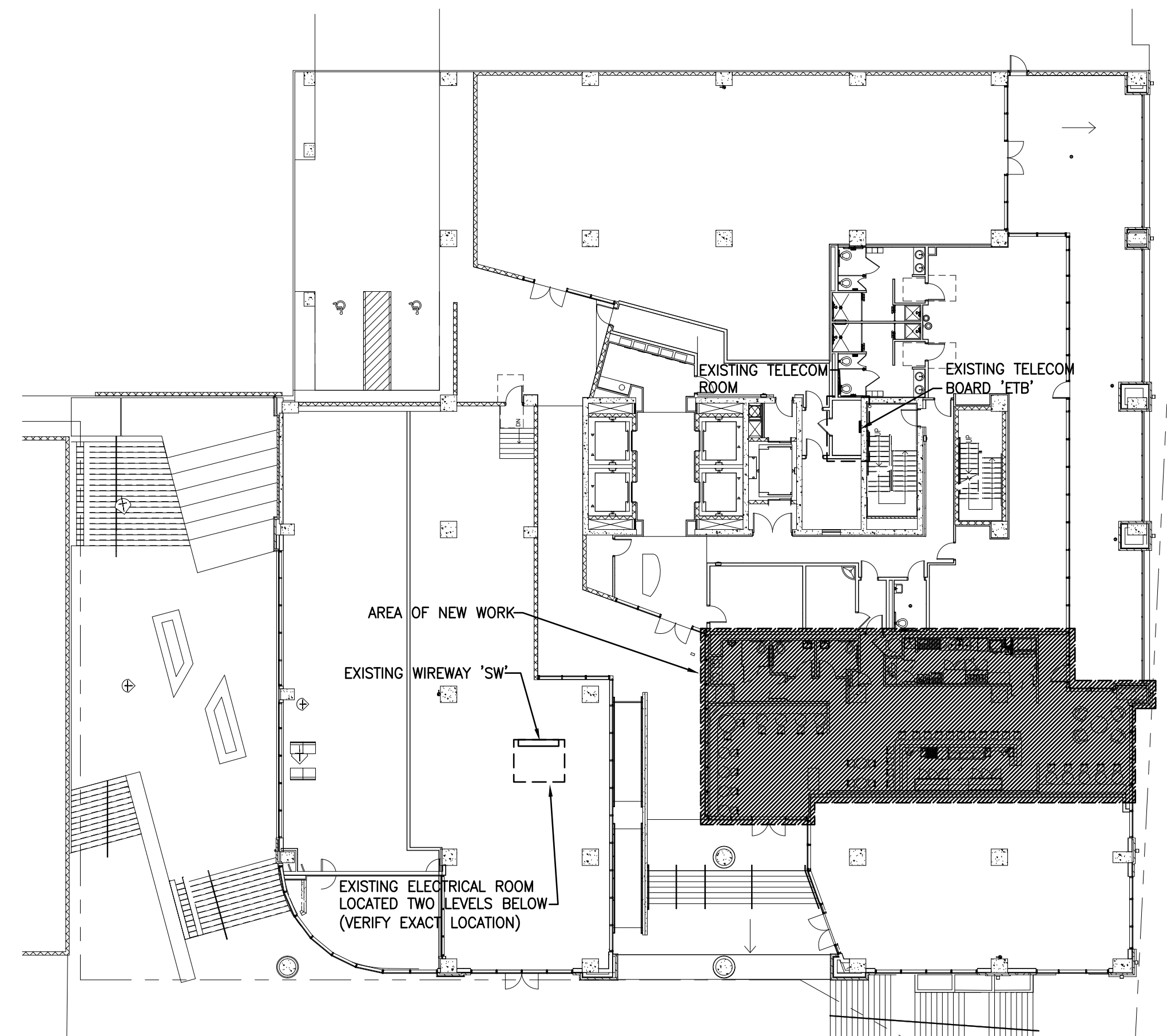
These drawings are the property of KEEL Concepts, Inc. and are not to be reproduced or copied in whole or in part. It is only to be used for the project and site specifically identified herein and is not to be used on any other project.

PLAN NOTES

- FOR DRAWING CLARITY, INDIVIDUAL BRANCH CIRCUIT HOMERUNS ARE INDICATED. ELECTRICAL CONTRACTOR MAY RUN UP TO (3) 20A BRANCH CIRCUITS IN A SINGLE HOMERUN TO A COMMON PANEL.
- VERIFY ALL LOCATIONS, ELECTRICAL CIRCUIT AND CONNECTION REQUIREMENTS FOR ALL HVAC AND PLUMBING EQUIPMENT WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
- VERIFY EXACT LOCATIONS OF ALL TELE/DATA OUTLETS W/ OWNER PRIOR TO ROUGH-IN.
- CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING KITCHEN EQUIPMENT LOADS, CONNECTION REQUIREMENTS, AND LOCATIONS WITH KITCHEN EQUIPMENT VENDOR PRIOR TO INSTALLATION.
- WHERE EXPOSED PIPES AND CONDUITS ARE NECESSARY IN THE KITCHEN AREA, THEY SHOULD BE MOUNTED 1 TO 2 INCHES OFF THE WALL AND 6 INCHES OFF THE FLOOR TO ALLOW FOR CLEANING.
- RECEPTACLES LOCATED WITHIN 5'-0" OF A WATER SOURCE SHALL BE PROVIDED WITH GFCI PROTECTION.
- COORDINATE ROUTING OF CONDUIT AND MOUNTING OF DEVICES IN MILLWORK WITH CABINETRY INSTALLER.
- PROVIDE CONNECTION TO BACK BAR WILLWORK LIGHTING (VERIFY EXACT LOCATION IN FIELD). COORDINATE WITH OWNER FOR ON/OFF OPERATION.

KEYED NOTES

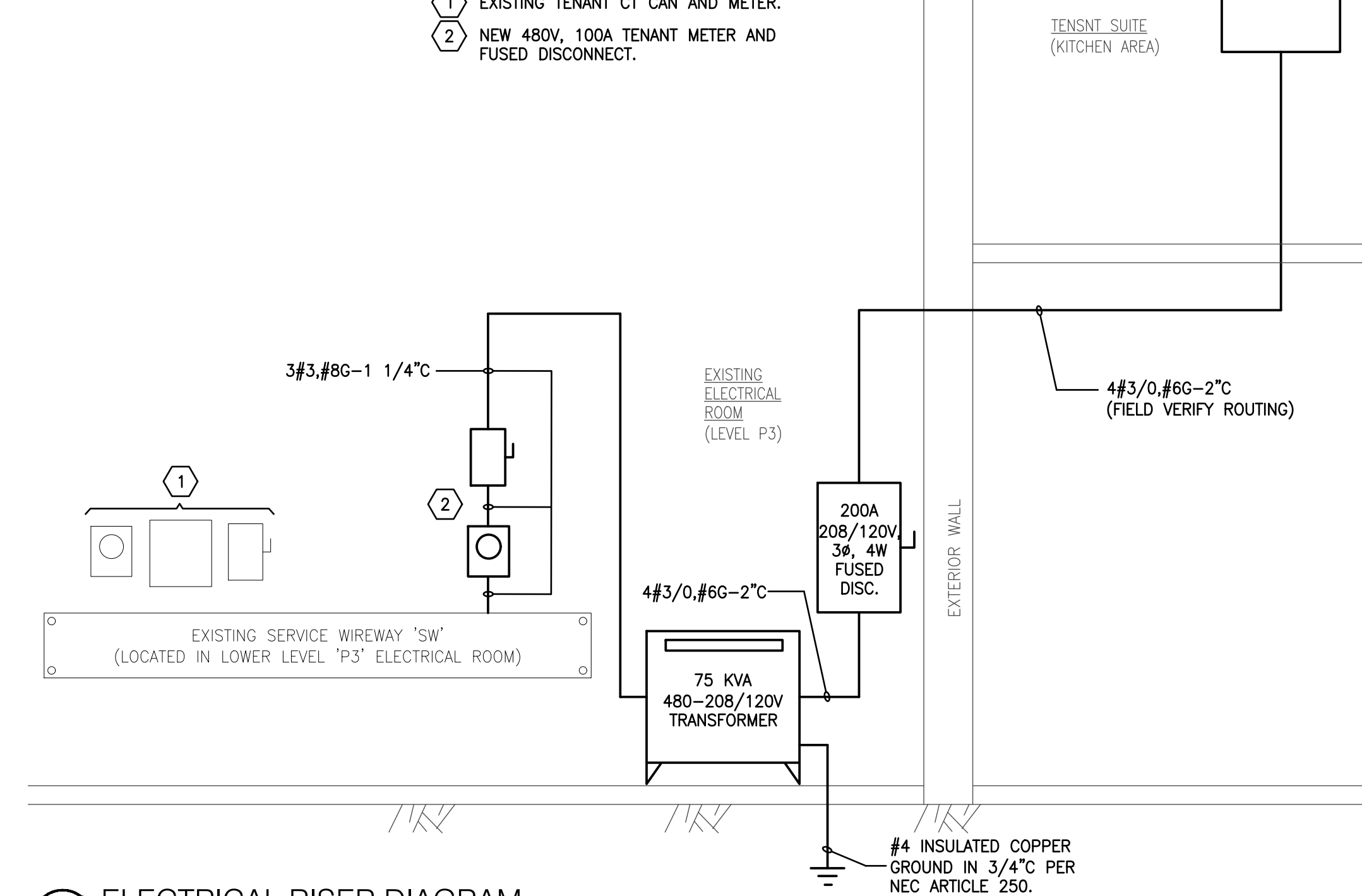
- 120V, 20A, 1Ø RECEPTACLE AT OWNER APPROVED HEIGHT FOR WAREWASHER. ROUTE 2#12, #12G-3/4" TO RECEPTACLE FROM LOCATION SHOWN.
- 120V, 50A, 1Ø RECEPTACLE AT OWNER APPROVED HEIGHT FOR GLASSWASHER. ROUTE 2#8, #10G-3/4" THROUGH CABINETRY TO RECEPTACLE FROM LOCATION SHOWN.
- 120V, 20A, 1Ø RECEPTACLE AT OWNER APPROVED HEIGHT FOR WORKTOP REFRIGERATOR. ROUTE 2#12, #12G-3/4" TO RECEPTACLE FROM LOCATION SHOWN.
- 120V, 20A, 1Ø RECEPTACLE AT OWNER APPROVED HEIGHT FOR PREP COOLER. ROUTE 2#12, #12G-3/4" TO RECEPTACLE FROM LOCATION SHOWN.
- 120V, 20A, 1Ø RECEPTACLE AT OWNER APPROVED HEIGHT FOR BOTTLE COOLER. ROUTE 2#12, #12G-3/4" THROUGH CABINETRY TO RECEPTACLE FROM LOCATION SHOWN.
- 120V, 20A, 1Ø RECEPTACLE AT OWNER APPROVED HEIGHT FOR CARBONATOR. ROUTE 2#12, #12G-3/4" TO RECEPTACLE FROM LOCATION SHOWN.
- 208V, 20A, 1Ø RECEPTACLE AT OWNER APPROVED HEIGHT FOR ICE MACHINE. ROUTE 2#12, #12G-3/4" TO RECEPTACLE FROM LOCATION SHOWN.
- 120V, 20A, 1Ø RECEPTACLE AT OWNER APPROVED HEIGHT FOR BACK BAR REFRIGERATOR. ROUTE 2#12, #12G-3/4" TO RECEPTACLE FROM LOCATION SHOWN.



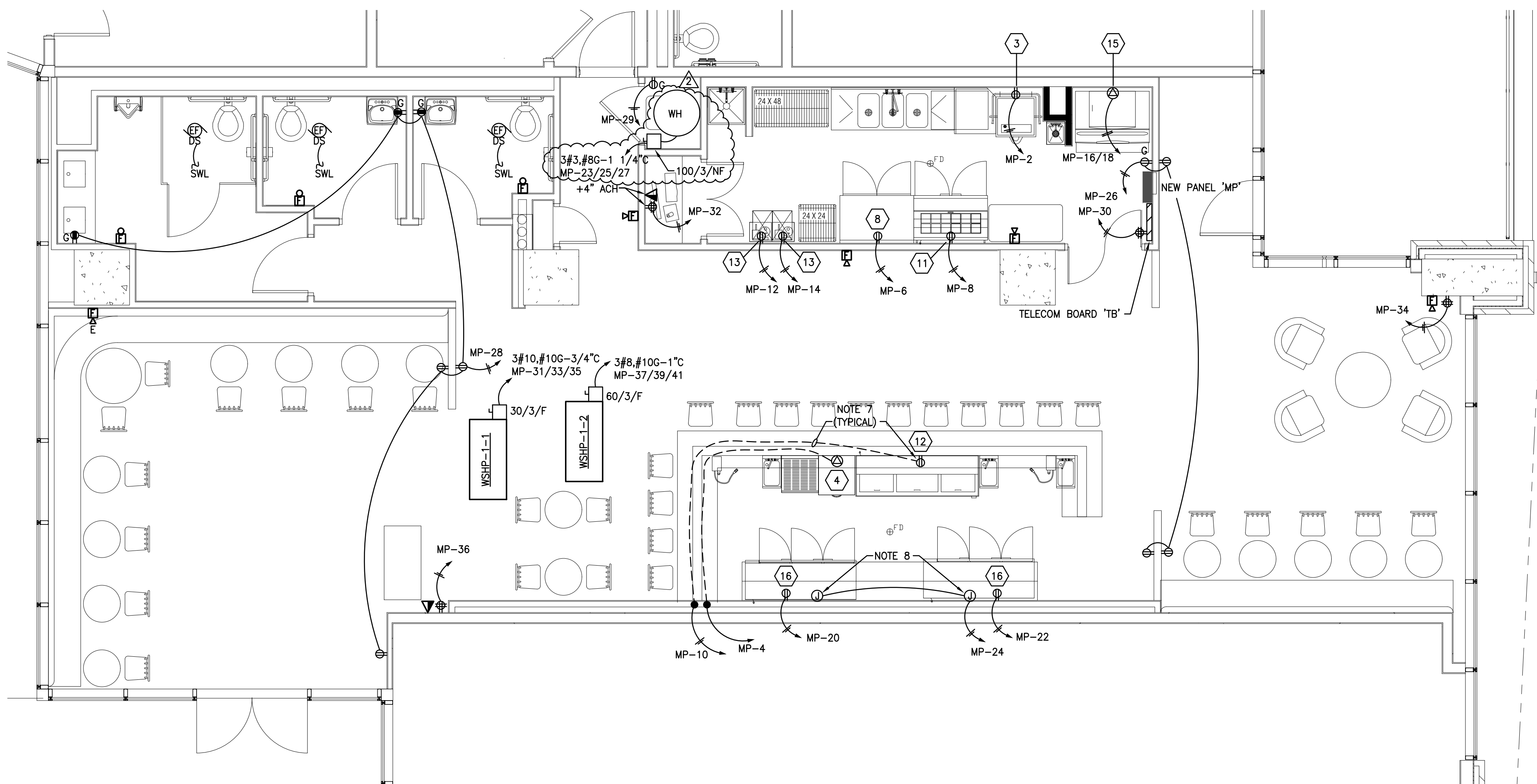
2 OVERALL MAIN LEVEL LAYOUT
1"=20'-0"

KEYED NOTES:

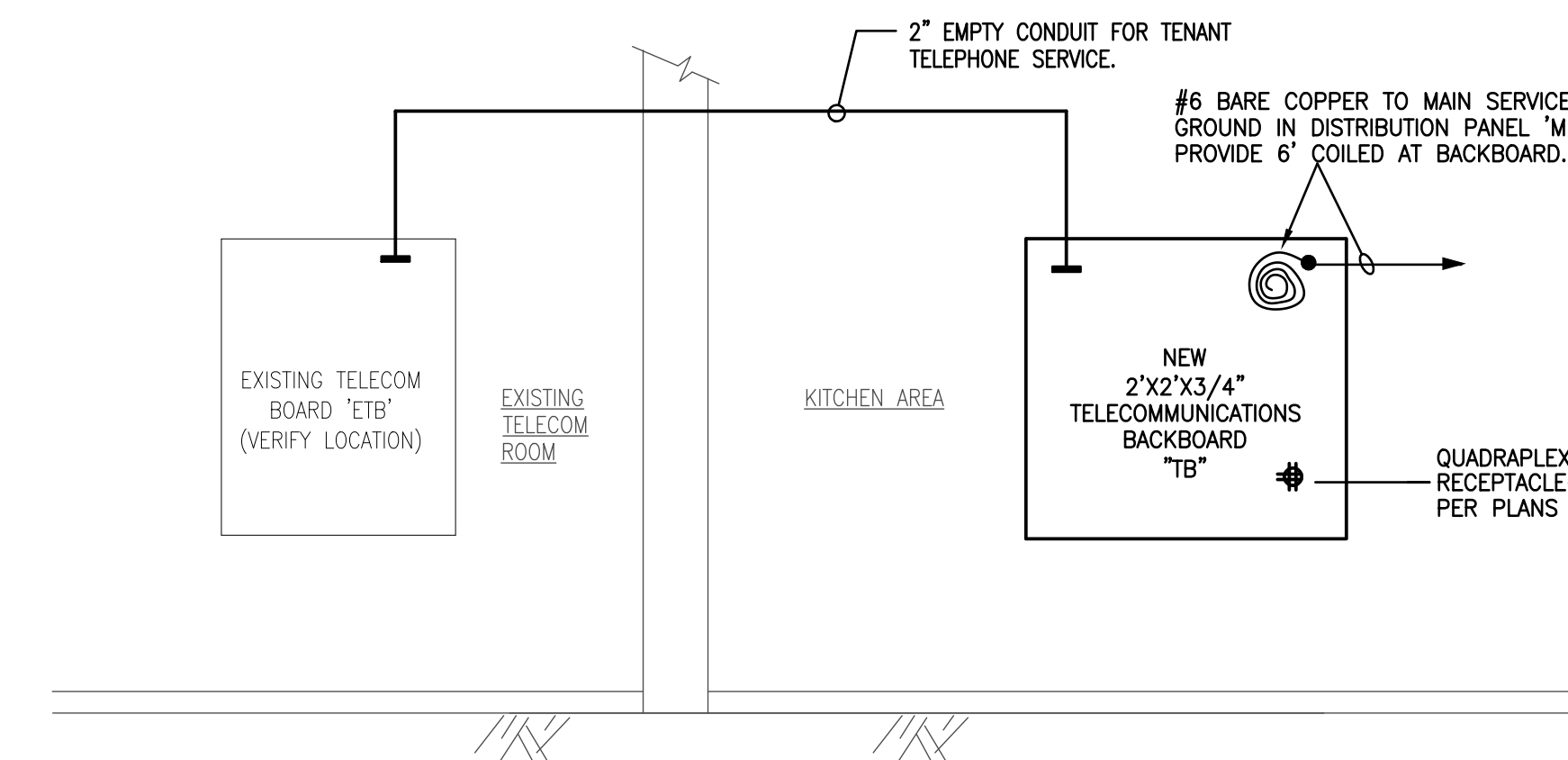
- EXISTING TENANT CT CAN AND METER.
- NEW 480V, 100A TENANT METER AND FUSED DISCONNECT.



3 ELECTRICAL RISER DIAGRAM
N.T.S.



1 POWER PLAN
1/4"=1'-0"



4 TELECOMMUNICATIONS RISER DIAGRAM
N.T.S.

PANELBOARD: MP (NEW)				VOLTAGE: 208/120V, 3Ø, 4W				
MOUNTING: SURFACE				MAINS: MLO MIN. AIC RATING: 10,000A				
				TRIP: N/A FRAME: 200A				
LOAD	DESCRIPTION	CKT.	TRIP	TRIP CKT.	DESCRIPTION	LOAD	PHASE LOAD VA	
							L1 L2 L3	
1000	L-SEATING AREA	1	20	2	R-WAREWASHER	1500	2500	
1500	L-SEATING AREA	3	20	4	R-GLASSWASHER	3060	4560	
1000	L-SEATING AREA	5	20	6	R-WORKTOP REFRIG.	325		1325
1000	L-KITCHEN, RESTROOMS	7	20	8	R-COLD PREPARATION	290	1290	
	SPARE	9	20	10	R-BOTTLE COOLER	205		205
	SPARE	11	20	12	R-CARBONATOR	780		780
	SPARE	13	20	14	R-CARBONATOR	780	780	
	SPARE	15	20	16	R-ICE MACHINE	990		990
	SPARE	17	20	18		990		990
	SPARE	19	20	20	R-BACKBAR REFRIG.	480	480	
	SPARE	21	20	22	R-BACKBAR REFRIG.	480	480	
8000	WH-1	23	90	24	BACKBAR LIGHTING	750		8750
8000		25	20	26	R-KITCHEN, SEATING	720	8720	
8000		27	20	28	R-RESTROOM, SEATING	1080		9080
500	RP	29	20	30	R-TELECOM BOARD	500		1000
2020	WSHP-1-1	31	30	32	R-OFFICE DESK	500	2520	
2020		33	20	34	R-SEATING AREA	500		2520
2020		35	20	36	R-SEATING AREA	500		2520
2310	WSHP-1-2	37	35	38	SPARE		2310	
2310		39	20	40	SPARE			2310
2310		41	20	42	SPARE			2310

△ GFCI BREAKER

TOTAL L1 18600
TOTAL L2 20145
TOTAL L3 17675
TOTAL VA 56420

157 AMPS CONNECTED
● 208V, 3PH



APPLICATION FOR SPECIAL EXCEPTION

Contact Planning & Development (864) 467-4476 or planning@greenvillesc.gov

APPLICANT/OWNER INFORMATION

*Indicates Required Field

APPLICANT

PROPERTY OWNER

*Name:	Contact City of Greenville Planning for contact information
*Title:	
*Address:	
*State:	
*Zip:	
*Phone:	
*Email:	

APPLICANT'S AGENT¹:

Name	Title / Organization
Phone	Email

(¹Optional Field- includes project architects, engineers, attorneys, representatives, etc.)

PROPERTY INFORMATION

STREET ADDRESS: 1601 Laurens Rd, Greenville, SC, 29607

TAX PARCEL #: 0257000800101 ACREAGE: 0.88 ZONING DESIGNATION: MX-2

*Pursuant to S.C. Code Ann. § 6-29-1145, I hereby attest that the tract or parcel of land subject to this application IS NOT ^{Initial} restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.
Initial: MC

REQUEST

Refer to Article 19-3, Use Regulations, of the [Greenville Development Code](#)

PROPOSED LAND USE: Bank with drive-thru as accessory use

DESCRIPTION OF PROPOSED USE:

Proposed Huntington bank (+/- 2880 SF) with drive-thru teller service and ATM (requiring a special exception permit) and associated parking, drives, landscaping, utilities, etc. The existing building on site will be demolished, with new facilities constructed.

INSTRUCTIONS

1. Refer to the application timeline on Page 4 of this application for a detailed overview of this process.
2. Prior to submitting this application, an Applicant must schedule a pre-application conference with the Administrator to discuss the procedures, standards, and regulations required for approval. Contact the Planning and Zoning Division to schedule a pre-application conference. The email address is planning@greenvillesc.gov and the phone number is **864-467-4476**.
3. The questions on Page 3 of this application are the criteria that the Board will use to judge an application. Ensure answers demonstrate how and why the application meets the requirements for the granting of a special exception permit. See **Section 19-6.2.15.(D)(2)** for additional information. An Applicant must attach a separate sheet addressing these questions. To find the Comprehensive Plan and the Greenville Development Code use standards, visit www.greenvillesc.gov/planningzoning.
4. Supplemental information will need to be included with this application as well. A floor plan and/or a site plan showing the existing and proposed conditions associated with the application is generally necessary. A zoning compliance application may also be required for some special exception applications.

For site plans, attach a scaled drawing of the property that reflects, at a minimum, the following:

- (a) property lines, existing buildings, and other relevant site improvements;
- (b) the nature (and dimensions) of the proposed development (activity);
- (c) existing buildings and other relevant site improvements on adjacent properties; and,
- (d) topographic, natural features, etc. relevant to the requested special exception.

5. The application must be received by the Planning and Zoning Division no later than 2:00 p.m. of the date reflected on the Board of Zoning Appeals meeting schedule. The application can be emailed to planning@greenvillesc.gov.
6. The Administrator will acknowledge receipt of the application and will provide instructions on application fee payment. The required application fee is \$250.00.
7. The Administrator will review the application for “completeness” pursuant to **Section 19-6.2.1(B)(3) Completeness Determination**, prior to proceeding with public notice. If the application is determined to be “incomplete,” the Administrator will contact the Applicant to request that the applicant resolve the deficiencies.
8. The Applicant must post the subject property at least 15 calendar days (but not more than 18 days) prior to the scheduled hearing date. Additionally, the Applicant is responsible for preparing and mailing the written notice at least 15 calendar days prior to the public hearing. Posted and mailed notice instructions will be provided to the Applicant by the Administrator after application is determined to be complete.

Please read carefully: The Applicant and Property Owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

If the Planning and Zoning Division by separate inquiry determines that such a restriction exists, it shall notify the Applicant. If the Applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the Administrator will indicate in its report to the Board of Zoning Appeals that granting the requested change would not likely result in the benefit the Applicant seeks.

APPLICANT / AGENT SIGNATURE:
Signed by:
Nikolas Coventry
DATE: 10/2/2025

PROPERTY OWNER SIGNATURE:
Signed by:
Nikolas Coventry
DATE: 10/2/2025

APPLICANT RESPONSE TO

SECTION 19- 6.2.15(D)(2) - SPECIAL EXCEPTION PERMIT

The following questions are the criteria that the Board will use to judge an application. Ensure answers thoroughly demonstrate how and why the application meets the requirements for the granting of a special exception.

Please attach a separate sheet that addresses each of the following questions:

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED SPECIAL EXCEPTION IS CONSISTENT WITH THE COMPREHENSIVE PLAN.

2. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL COMPLY WITH THE STANDARDS IN **SECTION 19-3.4, USE STANDARDS.**

3. DESCRIBE THE WAYS IN WHICH THE REQUEST IS APPROPRIATE FOR ITS LOCATION AND IS COMPATIBLE WITH THE CHARACTER OF EXISTING AND PERMITTED USES OF SURROUNDING LANDS AND WILL NOT REDUCE THE PROPERTY VALUES THEREOF.

4. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL MINIMIZE ADVERSE EFFECTS ON ADJACENT LANDS INCLUDING:
 - A. VISUAL IMPACTS;
 - B. SERVICE DELIVERY;
 - C. PARKING AND LOADING;
 - D. ODORS;
 - E. NOISE;
 - F. GLARE;
 - G. AND, VIBRATION.

Section 6.2.15(B) Application Requirements
Application Timeline



EXHIBIT A: Special Exception Permit Application Responses (1601 Laurens Road)

1. Describe the ways in which the proposed special exception is consistent with the comprehensive plan.

- a. Applicant Response: The future land use map within the comprehensive plan identifies the subject property as 'Corridor Mixed Use'. As described in Chapter 4 of the Comprehensive Plan, 'Corridor Mixed Use' is intended to accommodate a mix of land uses including commercial, retail, and residential. Development within 'Corridor Mixed Use' designations is intended to line the street with buildings which engage the street at a scale and density similar to Urban Nodes.

The proposed primary use (bank/financial institution) is aligned with the mix of uses envisioned within the comprehensive plan for this area. By placing the bank directly on the corner of Lindsay Avenue and Laurens Road with the proposed drive-thru accessory use (requiring the special exception) in the NE corner of the site, the proposed development supports and preserves the activated streetscape desired within the Comprehensive Plan.

2. Describe the ways in which the request will comply with the Use Specific Standards prescribed in the Greenville SC Development Code.

- a. Applicant Response: Section 19-3.5.2 outlines specific uses standards for Drive-thru as an accessory use that would be applicable to this site. The proposed use and associated site plan (see Exhibit B) adheres to the drive-thru standards of this section in the following ways:
 - i. A minimum of 3 stacking spaces is provided and shown on the associated plan for the proposed drive-thru use, as required by Sec. 4.6.4.C.3.
 - ii. The proposed bank structure and detached drive-thru facility/ATM meets all applicable building setbacks. The proposed bank is positioned directly on the corner of Lindsay Avenue and Laurens Road to address build-to requirements, while a future buildable area along Lindsay Avenue (located between the drive-thru use and Lindsay Avenue) maintains further potential for future building frontage along Lindsay Avenue.

- iii. The proposed drive-thru has been positioned in the NE corner of the site, for maximum separation and screening from both Lindsay Avenue and Lauren's Road.
- iv. A low-impact L-2 frontage screen (as shown on the code landscape plan included with Exhibit B) has been incorporated, in addition to supplemental screening directly next to the drive-thru use and street trees along the ROW of Lindsay Avenue. This frontage screen complies with the requirements of Section 19-4.8.3.
- v. A precedent image of a typical Huntington Bank Drive-thru structure is included as Exhibit C.
- vi. Devices for the transmission of voices (to support teller service at the drive-thru) will be regulated to limit the audible level to only what is needed to communicate with the driver. The drive-thru location is bordered by an existing parking lot to the north and a commercial storage shed to the east. There are no adjacent residential uses. The proposed use will comply with the City's noise ordinance.
- vii. The proposed drive-thru facility is positioned to the side and rear of the primary building, as outlined in Section 19-3.5.2.A.8.

3. Describe the ways in which the request is appropriate for its location and is compatible with the character of existing and permitted uses of surrounding lands and will not reduce the property values thereof.

- a. Applicant Response: The proposed primary commercial use for the site is aligned and compatible with the surrounding uses, which include restaurants, retail, indoor recreation, and personal and professional services. None of the adjoining uses are residential in nature.

The drive-thru accessory use which necessitates the special exception permit is similarly not out of character with the surrounding properties. The Chick-Fil-A directly across the street on Laurens Road has an existing drive thru service. As a popular restaurant, that drive-thru arguably receives much higher frequency of use than a drive-thru teller/ATM will. Additionally, while the Chick-Fil-A has their drive-thru located between their primary building and Landwood Avenue, the proposed Huntington Bank drive thru would be on the back corner of the bank, with the bank structure located between the drive-thru and abutting ROW.

Finally, the existing site houses a vacant commercial structure, which currently offers no economic or social benefits to the community outside of property tax. Allowing this property to redevelop as a Huntington Bank will infuse new investment, activity, and services to this corridor and the broader region. Thus, the proposed development request will have a positive impact on adjoining property values relative to the existing condition.

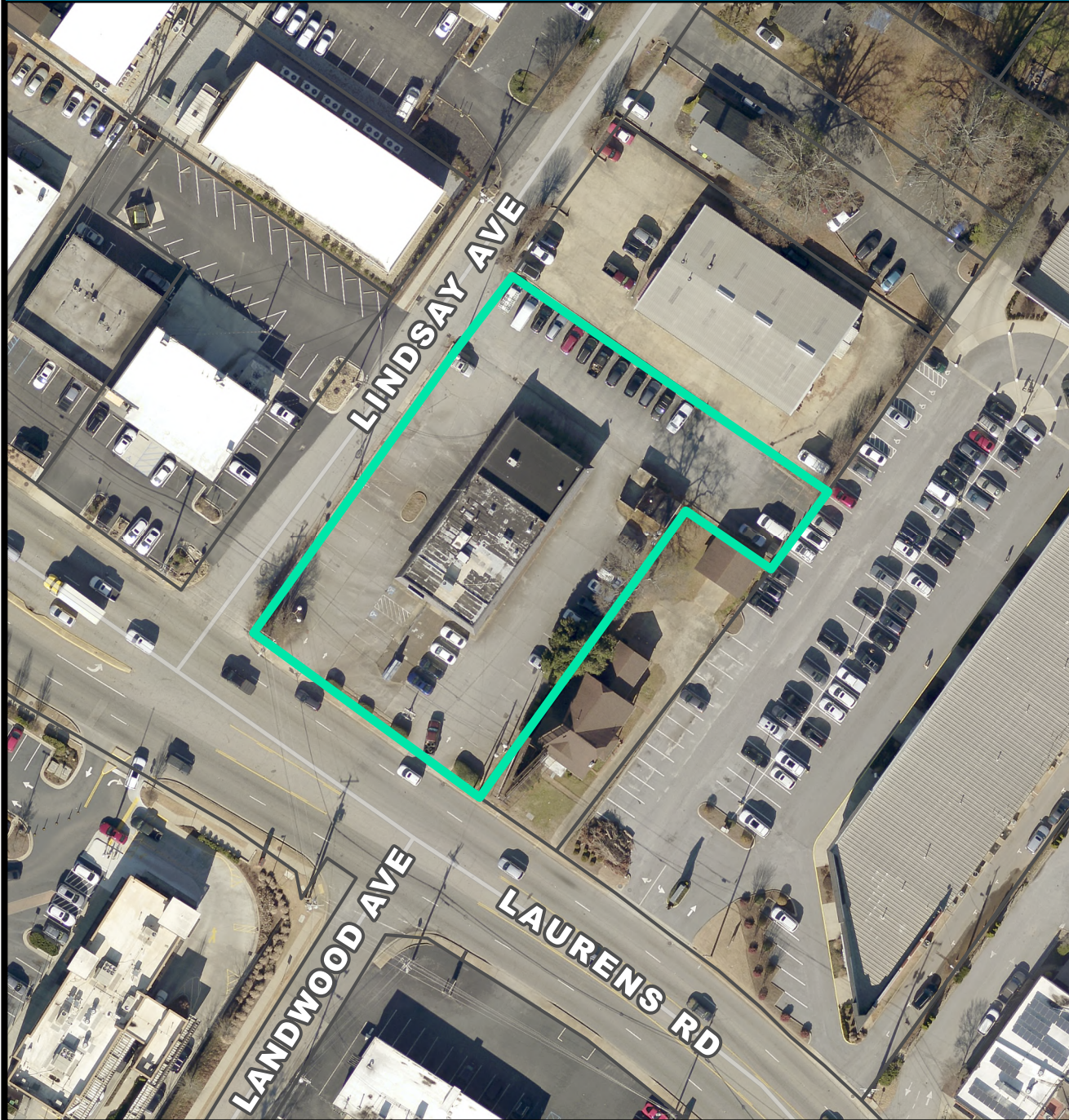
4. Describe the ways in which the request will minimize adverse effects on adjacent lands including visual impacts; service delivery; parking and loading; odors; noise; glare; and vibration. Describe the ways in which the request will not create a nuisance.

- a. Applicant Response: The proposed drive-thru accessory use (to a primary bank use) has been positioned and screened to minimize any adverse impacts on parking, noise, aesthetics, etc. The drive-thru has been located in the northeast corner of the site, as far from both public ROWs as possible to limit visibility and to maintain a more active street frontage defined by buildings and open space.

The chosen location also maximizes stacking space far beyond the code requirement, while maintaining the area closer to the bank facility for accessible parking. The proposed drive-thru outlets onto an existing parking lot under the same ownership as the bank facility, allowing for drive-thru users to exit onto Lindsay Avenue far from the intersection of Lindsay Avenue and Laurens Road. Thus, this layout eliminates the need to accommodate a turn-around within the site for drive-thru users, improving circulation and safety.

As a financial institution with a drive-thru service, there are no anticipated odors, noise, glare, or vibration that would be out of character with the surrounding commercial area. In fact, the proposed use will arguably generate less traffic and have fewer delivery needs than many other uses which are permitted by right within the MX-2 district. The proposed use will comply with all applicable lighting regulations in order to appropriately mitigate glare.

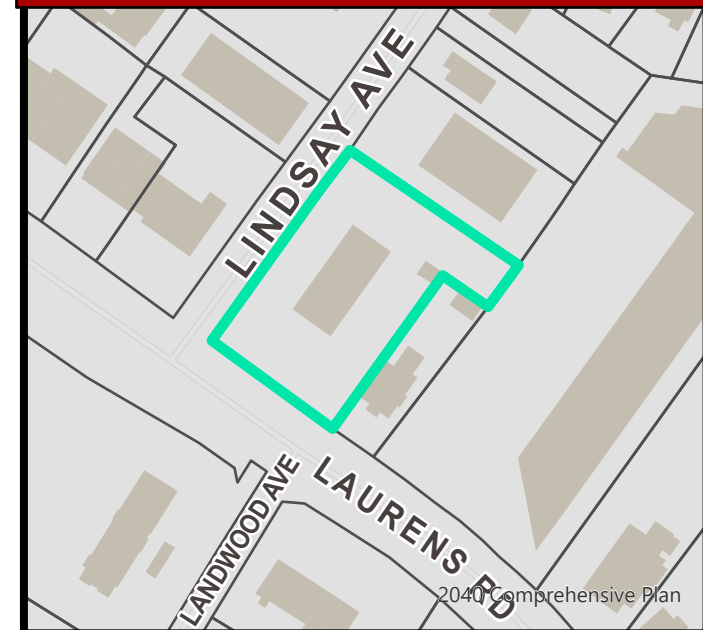
AERIAL VIEW



CURRENT ZONING



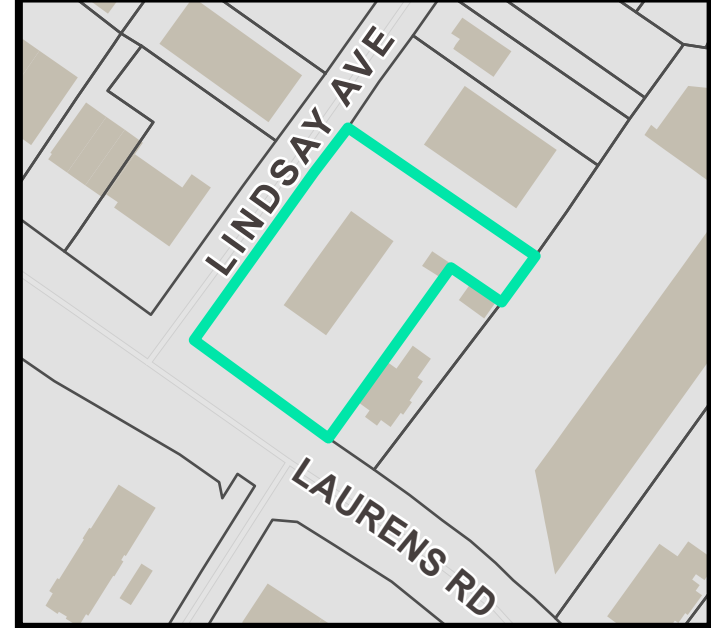
FUTURE LAND USE



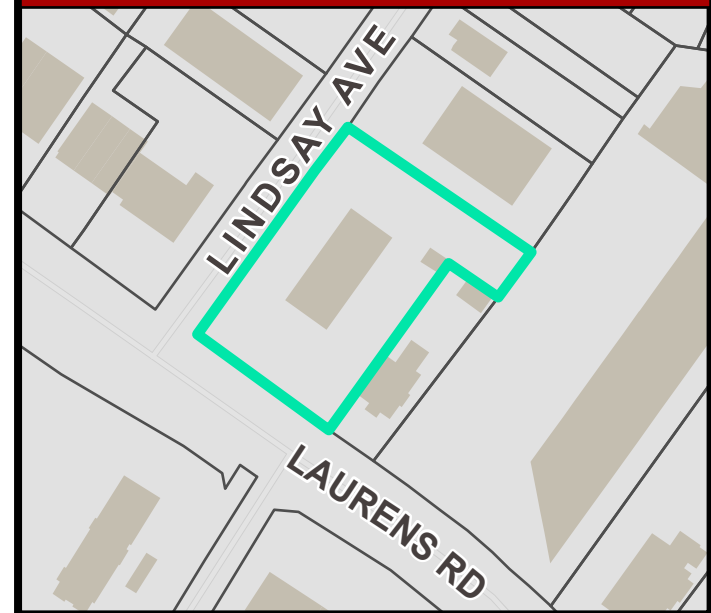
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS





SITE DATA NOTES:

TAX PIN #: 0257000800101
 ZONING: MX-2 (MODERATE INTENSITY MIXED-USE)
 LOT 1 AREA = 0.89± AC

PARKING

MINIMUM:
 1 SPACE PER 500 SF
 (1 SPACE PER 500 SF) X 2,880 SF = 6 SPACES

MAXIMUM:
 1 SPACE PER 250 SF
 (1 SPACE PER 250 SF) X 2,880 SF = 11 SPACES

PROVIDED:
 12 SPACES (2 HC)

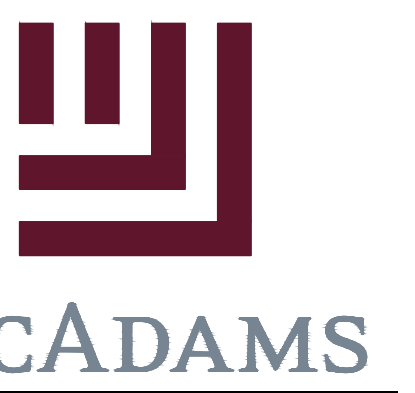
BUILDING SETBACKS:
 10' MAX. FRONT
 0' SIDE
 0' REAR
 10' MAX. SIDE STREET LOT LINE

PARKING SETBACKS:
 20' MIN. PRIMARY STREET
 5' MIN. SIDE STREET

LANDSCAPE BUFFERS:
 0' SIDE (NORTH)
 0' REAR (EAST)
 8-10' FRONTAGE SCREEN ALONG PARKING/DRIVE-THRU (SOUTH)
 8-10' FRONTAGE SCREEN ALONG PARKING/DRIVE-THRU (WEST)

NOTES:

1. AERIAL IMAGERY TAKEN FROM GIS.
2. THE LAYOUT IS CONCEPTUAL IN NATURE AND HAS NOT BEEN REVIEWED BY ANY JURISDICTION. LAYOUT IS SUBJECT TO CHANGE PENDING PERMITTING, GRADING, UTILITY, STORMWATER, AND FIRE ACCESS REVIEW



CLIENT



EXHIBIT B
HUNTINGTON BANK
LAURENS RD
 SITE SKETCH 4
 1601 LAURENS ROAD
 GREENVILLE, SOUTH CAROLINA

REVISIONS

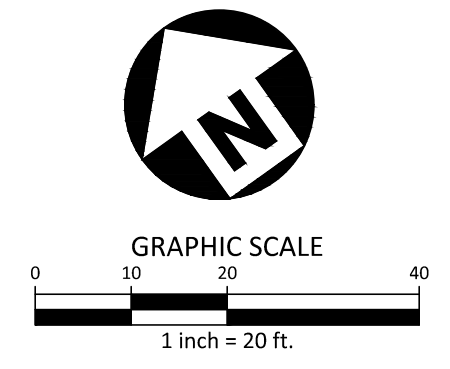
NO. DATE

PLAN INFORMATION

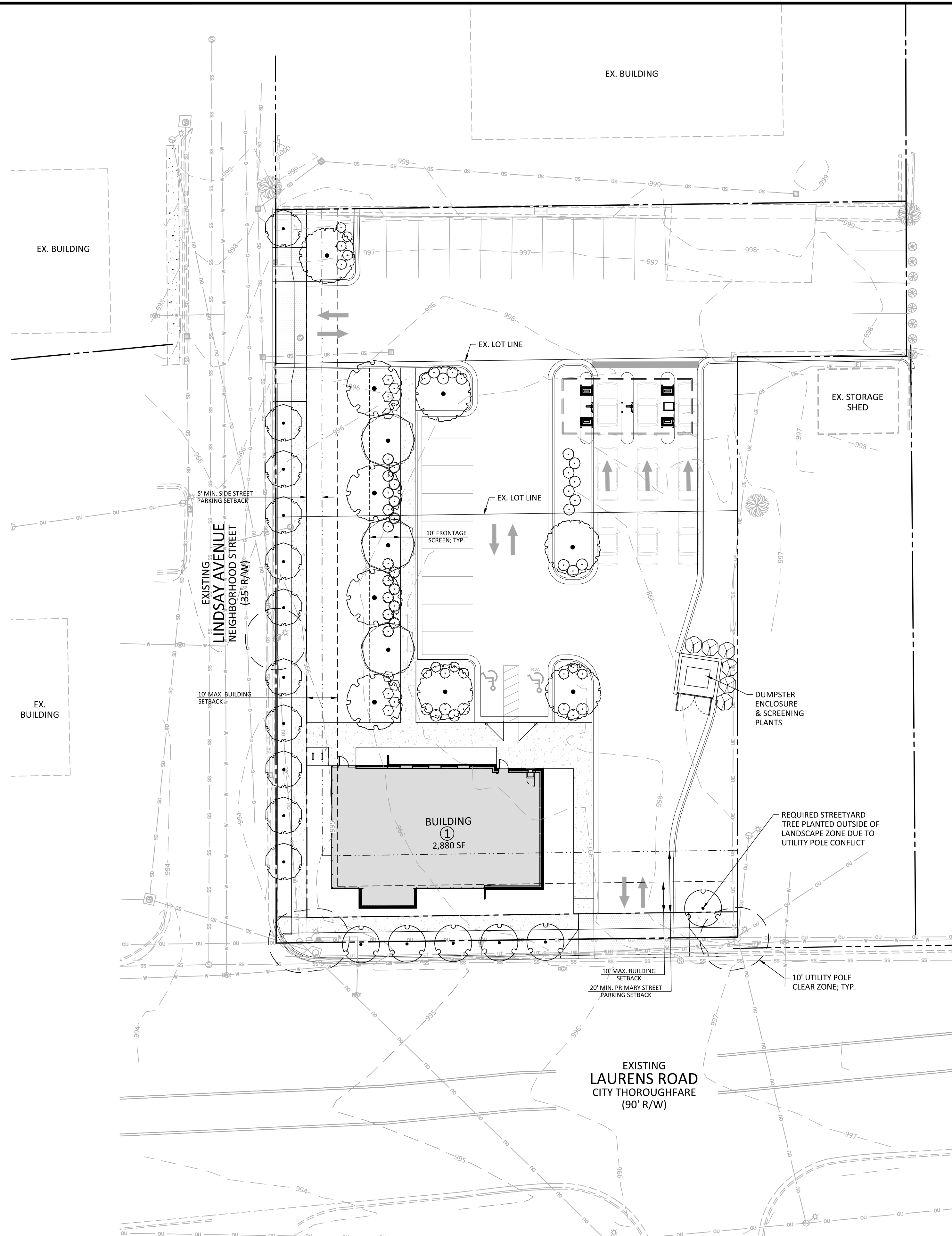
PROJECT NO. GNL25015
 FILENAME GNL25015-SK4
 CHECKED BY GMA
 DRAWN BY PSH
 SCALE 1" = 20'
 DATE 09.05.2025

SHEET

SITE SKETCH
SK4



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PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CAL	HEIGHT	REMARKS
CANOPY TREES						
	CEOC	5	CELTIS OCCIDENTALIS COMMON HACKBERRY	3" MIN	12' MIN	STRONG CENTRAL LEADER; FULL CANOPY
	QVHR	4	QUERCUS VIRGINIANA 'HIGHRISE' HIGHRISE OAK	3" MIN	12' MIN	STRONG, CENTRAL LEADER; FULL CANOPY
	TCGS	3	TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	3" MIN	12' MIN	STRONG CENTRAL LEADER; FULL CANOPY
UNDERSTORY TREES						
	AGAB	6	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE APPLE SERVICEBERRY	2" MIN	10' MIN	SINGLE-STEM; STRONG CENTRAL LEADER; FULL CANOPY
	OSVI	11	OSTRYA VIRGINIANA AMERICAN HOPHORNBEAM	2" MIN	10' MIN	SINGLE-STEM; STRONG CENTRAL LEADER; FULL CANOPY

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HEIGHT	REMARKS
SCREENING SHRUBS						
	JVHS	6	JUNIPERUS VIRGINIANA 'HILLSPIRE' HILLSPIRE EASTERN REDCEDAR	-	6' MIN	FULL TO GROUND
EVERGREEN SHRUBS						
	ABGR	7	ABELIA X GRANDIFLORA GLOSSY ABELIA	3 GAL	18" MIN	FULL TO CONTAINER
	DBIC	13	DISTYLIUM X 'PIDIST-II' BLUE CASCADE DISTYLIUM	7 GAL	18" MIN	FULL TO CONTAINER
	IGSH	9	ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY	3 GAL	18" MIN	FULL TO CONTAINER
	IVNA	8	ILEX VOMITORIA 'NANA' DWARF YAUPON HOLLY	3 GAL	18" MIN	FULL TO CONTAINER
	LOCR	9	LOROPETALUM CHINENSE 'RUBY' RUBY FRINGE FLOWER	7 GAL	18" MIN	FULL TO CONTAINER
	OHGS	10	OSMANTHUS HETEROPHYLLUS 'GOSHIKI' GOSHIKI HOLLY OLIVE	3 GAL	18" MIN	FULL TO CONTAINER
	RUMI	8	RHAPHOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	3 GAL	18" MIN	FULL TO CONTAINER

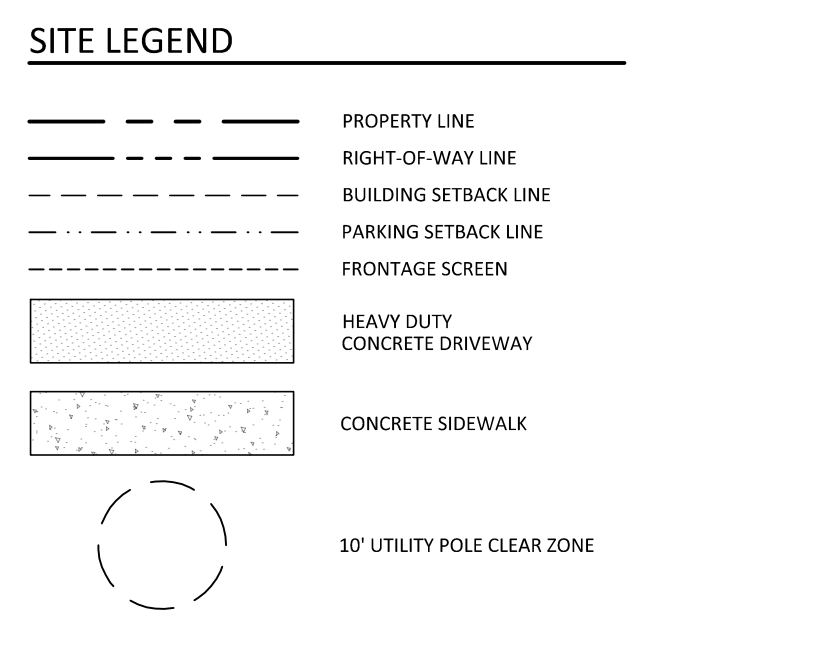
GENERAL LANDSCAPE NOTES:

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF GREENVILLE AND THE STATE OF SOUTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEIOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

CITY OF GREENVILLE REQUIRED PLANTING - TREE COMPLIANCE CALCULATIONS	
ZONING: MX-2 LOT 1 AREA: 0.89 AC (38,548 SF)	
STREET TREE CALCULATIONS	
LAURENS ROAD REQUIRED UNDERSTORY TREES, 114 LF/200 D. C.:	6 TREES
LAURENS ROAD PROVIDED TREES:	6 TREES*
LINDSAY ROAD REQUIRED UNDERSTORY TREES, 131 LF/200 D. C.:	11 TREES
LINDSAY ROAD PROVIDED TREES:	11 TREES
* 1 TREE PLANTED OUTSIDE OF LANDSCAPE ZONE DUE TO CONFLICT WITH EXISTING UTILITY POLE	
FRONTAGE SCREEN L-2 CALCULATIONS	
REQUIRED WIDTH:	10' MIN.
REQUIRED CANOPY TREES, 116 LF * 3 TREES / 50 LF:	7 TREES
PROVIDED CANOPY TREES:	XX TREES
REQUIRED SCREENING SHRUBS, 116 LF * 12 SHRUBS/ 50 LF:	28 SHRUBS
PROVIDED SCREENING SHRUBS:	XX SHRUBS

SPECIES DIVERSITY TABLE	
REQUIRED PLANTINGS	
TOTAL NUMBER OF PLANTS	31 TREES & 70 SHRUBS
REQUIRED NUMBER OF SPECIES	5 TREE & 8 SHRUB SPECIES
PROVIDED NUMBER OF SPECIES	5 TREE & 8 SHRUB SPECIES

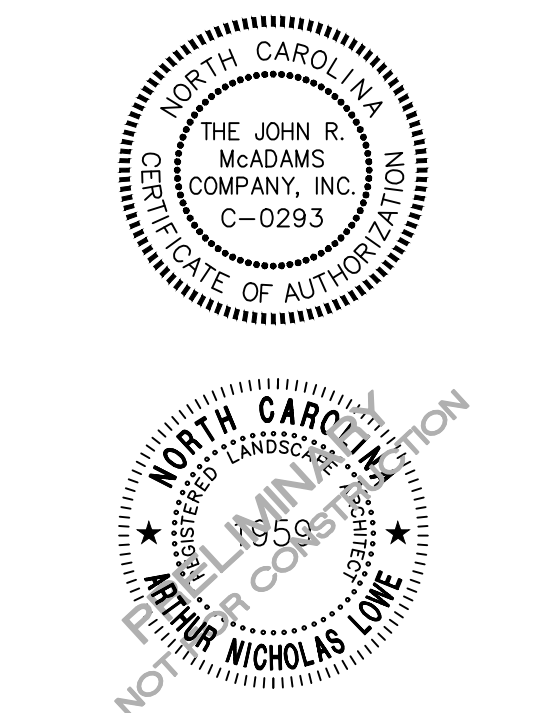
TREES	CODE	QTY	NATIVE
AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' AUTUMN BRILLIANCE SERVICEBERRY	AGAB	7	Y
CELTIS OCCIDENTALIS COMMON HACKBERRY	CEOC	5	Y
OSTRYA VIRGINIANA AMERICAN HOPHORNBEAM	OSVI	11	Y
QUERCUS VIRGINIANA 'HIGHRISE' HIGHRISE OAK	QVHR	4	Y
TILIA CORDATA 'GREENSPIRE' GREENSPIRE LITTLELEAF LINDEN	TCGS	3	N
SHRUBS	CODE	QTY	NATIVE
ABELIA X GRANDIFLORA GLOSSY ABELIA	ABGR	7	N
DISTYLIUM X 'PIDIST-II' BLUE CASCADE DISTYLIUM	DBIC	13	N
ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY HOLLY	IGSH	9	Y
ILEX VOMITORIA 'NANA' DWARF YAUPON HOLLY	IVNA	8	Y
JUNIPERUS VIRGINIANA 'HILLSPIRE' HILLSPIRE EASTERN REDCEDAR	JVHS	6	Y
LOROPETALUM CHINENSE 'RUBY' RUBY FRINGE FLOWER	LOCR	9	N
OSMANTHUS HETEROPHYLLUS 'GOSHIKI' GOSHIKI HOLLY OLIVE	OHGS	10	N
RHAPHOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	RUMI	8	N



CLIENT



EXHIBIT B
HUNTINGTON BANK
LAURENS RD
CONSTRUCTION DOCUMENTS
1601 LAURENS ROAD
GREENVILLE, SOUTH CAROLINA

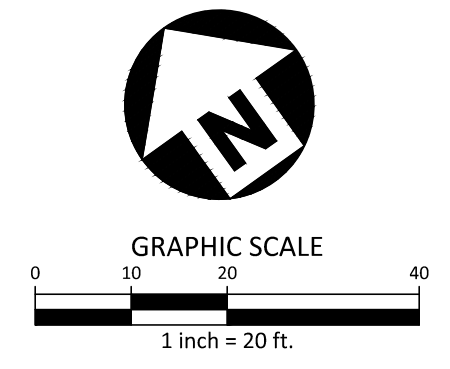


REVISIONS

NO.	DATE

PLAN INFORMATION

PROJECT NO.	GNL25015
FILENAME	GNL25015-L51
CHECKED BY	ANL
DRAWN BY	CAB
SCALE	1"=10'
DATE	09.30.2025
SHEET	
CODE LANDSCAPE PLAN	



L5.00



CONTRACTOR SHALL NOTIFY "SC811" (811) OR (1-800-721-7877) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "SC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

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EXHIBIT C

Exterior View 04

Remote Drive Through



Key Plan

