

Board of Zoning Appeals

Official Agenda



AGENDA

BOARD OF ZONING APPEALS

A G E N D A

Regular Meeting

August 11, 2022

4:00 PM

The City of Greenville Board of Zoning Appeals will hold an in-person Public Hearing for the following items on Thursday, August 11, 2022 at 4:00 PM at the Prisma Health Welcome Center at Unity Park at 111 Welborn Street. Those wishing to provide comment on an item may either provide written comment to staff or attend the in-person meeting.

Citizens may also view the meeting at the following web address:

[HTTPS://WWW.GREENVILLESC.GOV/1694/ONLINE-MEETINGS](https://www.greenvillesc.gov/1694/online-meetings)

- 1. Call to Order**
- 2. Welcome and Opening Remarks from the Chair**
- 3. Roll Call**
- 4. Approval of Minutes**
 - A. July 12, 2022 – Workshop
 - B. July 14, 2022 – Regular Meeting
- 5. Call for Public Notice Affidavit from Applicants**
- 6. Acceptance of Agenda**
- 7. Conflict of Interest Statement**

8. OLD BUSINESS

A. S 22-408 *Applicant requests deferral to the September 8, 2022 meeting*

Application by Dodd Caldwell for a **SPECIAL EXCEPTION** to establish a 'Hotel' (short-term rental) use in an OD, Office and institutional district at **18 WILLIAMS ST** (TM# 004500-02-00500)

9. NEW BUSINESS

A. S 22-463

Application by Village Revival, LLC (Joseph Bradley) for a **SPECIAL EXCEPTION** to establish a 'Tattoo establishment' use in an RDV, Redevelopment district at **1290 PENDLETON ST** (TM# 0121000800900)

Documents:

[22-0463 S 22-463 AGENDA PACKET.PDF](#)

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B. S 22-495 *Application deferred – Insufficient application*

Application by M Squared LLC (J. Mark Chapman) for a **SPECIAL EXCEPTION** to establish a 'Hotel' (short-term rental) use in an OD, Office and institutional district at **201 LAVINIA AV** (TM# 0040000401400)

10. OTHER BUSINESS

A. Board of Zoning Appeals 2023 Schedule

Documents:

[BZA 2023 -BOARD OF ZONING APPEALS CALENDAR_DRAFT.PDF](#)

...

B. Staff update on current planning projects

11. Adjournment

Documents:

[08-11-2022 - BZA REGULAR MEETING AGENDA.PDF](#)



**Planning Staff Report to
Board of Zoning Appeals
August 5, 2022
for the August 11, 2022 Public Hearing**

Docket Number:	S 22-463
Applicant:	Village Tattoo, LLC (Justin Walker Hughes)
Property Owner:	Village Revival, LLC (Joseph Bradley)
Property Location:	1290 and 1292 Pendleton Street
Tax Map Number:	012100-08-00900
Acreage:	0.12
Zoning:	RDV, Redevelopment District
Proposal:	SPECIAL EXCEPTION PERMIT to establish a ‘Tattoo establishment’ use

Applicable Sections of the City of Greenville Code of Ordinances:

Sec.19-2.1.3 (A) (1), *Board of Zoning Appeals/Powers and Duties/Special Exceptions*

Sec.19-2.3.5, *Special Exception Permit*

Sec.19-4.1, *Table of Uses*

Sec.19-4.3.3, *Use Specific Standards, Commercial Uses*

Staff Recommendation: Approve with conditions

Staff concludes that the application complies with the standards for granting a Special Exception Permit for an **‘Tattoo establishment’** use. If the Board decides to grant the permit, staff recommends the following conditions:

1. The use of the property shall substantially conform to the testimony of the Applicant and the content of the application.

Staff Analysis:

Property owner, Village Revival, LLC, on behalf of Applicant, Village Tattoo, LLC, has applied to establish a tattoo establishment use in an RDV, Redevelopment district. The subject site is located at 1290 Pendleton Street, in the Village of West Greenville.

Per Sections 19-4.1 (*Table of Uses*), a Special Exception Permit is required for a tattoo establishment use in a RDV, Redevelopment district.

The Applicant seeks approval to upfit an approximate 1,000 SF retail shell space for a new tattoo shop. The business will be located in a two-story, mixed-use building at 1290 Pendleton Street that is currently under construction. The leased space will feature a tattoo workshop and lobby on the ground level and an artist’s lounge and drawing room in the upper story mezzanine. In addition to the proposed use, the new building will include the property owner’s artist studio and gallery. Parking for the subject property will come from a surface parking lot across Pendleton Street as well as from any open on-street parking within the Village. The lot located behind the subject property may also become a parking lot in the future

according to the Applicant. No exterior alterations to the building or site are requested with this application.

A Special Exception Permit shall be approved only upon finding that the Applicant demonstrates all the following are met:

1. Consistent with the Comprehensive Plan

The Future Land Use Map of the City's GVL 2040 Comprehensive Plan identifies this property in the 'Urban Node Mixed-use' and 'Areas Suitable for Missing Middle Housing' classifications.

The 'Urban Node Mixed-use' states that Urban Nodes have an urban form of 4 to 6 story buildings and front streets and other public spaces designed to a human scale. These areas include more vertical mixed-use than horizontal mixed-use with a preference for commercial/retail uses on the first two floors and office and/ or residential uses on the upper floors. Average residential density is 30 housing units per acre. Emphasis is on quality urban design that seamlessly integrates the public and private realms to create a vibrant atmosphere that encourages walking, biking, and higher levels of transit service.

The 'Areas Suitable for Missing Middle Housing' designation refers to areas that are suitable for a variety of housing types as identified in the Missing Middle Housing Study for Greenville City and County. The identified areas are 5 minute / ¼ mile walksheds around key centers of activity that include downtown, urban centers/downtown transition areas, neighborhood main streets, and key medical/ institutional facilities.

The City of Greenville also completed the Village of West Greenville Village Action Plan in 2021, which includes the following as a zoning framework:

Encourage traditional neighborhood serving uses + unconventional artistic commercial uses compatible with the Village's identity. Permitted uses should include a robust mix of traditional residential, office and commercial uses, including neighborhood-oriented grocery store, plus small-scale unconventional uses. Arts and cultural establishments should be encouraged and broadly defined to include: art studios, performance art venues, tattoo artists, salons, and other artisan maker spaces that include elements of light manufacturing, office, and retail sales and services. Restrict auto-oriented and large-scale commercial uses to protect Village character.

This proposed use would be classified as a commercial/retail service use and will be located in an urban infill building. The use can also be classified as an arts related business, which would align with the current identity of The Village as an arts district. Therefore, staff believes the proposed use is consistent with the comprehensive plan.

Staff finds that the proposed use is consistent with Comprehensive Plan.

2. Complies with use specific standards

19-4.3.3. Commercial uses

(F) Retail sales and service

(3) *Body piercing/tattoo establishment. In the RDV district, these uses shall comply with the following standards:*

(a) *Body piercing and/or tattoo establishments shall only be permitted within the Village of West Greenville as defined in subsection 8-33(p).*

(b) *The uses shall not be permitted when adjacent to a single-family detached residential use or single-family residential district.*

These use specific standards were added to the City Code after City Council approved a text amendment, Z-8-2022, in July this year.

The subject property is located within the Village of West Greenville as defined by City Code and the subject property does not abut a single-family detached residential use or single-family zoning district.

Staff finds that the proposed use complies with specific use standards of the Land Management Ordinance.

3. Compatibility with the surrounding lands

Adjacent property is used (and zoned) as follows:

- East:** Retail sales (RDV)
- North:** Undeveloped (RDV) and railroad right-of-way
- West:** Retail sales (RDV)
- South:** Off-street parking across Pendleton Street right-of-way (RDV)

The subject property is located on Pendleton Street in the Village of West Greenville. Adjacent properties are zoned RDV and include a variety of non-residential uses, including a butcher shop, a pasta shop, an electronics shop, an interior designer studio, and off-street parking.

Staff finds that the proposed use is compatible with surrounding lands.

4. Design does not have substantial adverse impact

The proposed use is required to meet all applicable use-specific standards which are intended to minimize adverse impacts on the surrounding areas.

No changes to the approved lighting plans were indicated, therefore no adverse visual or glare impacts are anticipated.

Parking for the use will be provided through an off-site parking agreement and by on-street parking spaces within the Village. If the off-site parking lot is redeveloped, a new off-site parking agreement will be required.

The service area for the property is located at the rear of the building and will have limited visible from nearby public streets. The business is not expected to generate much delivery traffic, according to the application, and any deliveries should be occurring at the service area and not on-street.

Waste related to tattooing will be disposed of in accordance with Department of Health and Environmental Control procedures and trash containers will be placed in the service area, away from other businesses, to reduce concerns with potential odors.

All customer seating and tattooing will occur inside the building, so no adverse impacts related to noise and vibration are expected. The property owner states that the tenant has agreed to close by 10 p.m. to prevent any late-night noise concerns as well as concerns associated with potential clientele.

The use is not anticipated to create a public or private nuisance.

Staff finds that the proposed use will not have substantial adverse impacts.

AN ORDINANCE

TO AMEND SECTION 19-4.1, TABLE OF USES, AND SECTION 19-4.3.3(F), RETAIL SALES AND SERVICE, OF THE CODE OF ORDINANCES OF THE CITY OF GREENVILLE TO INCLUDE BODY PIERCING/TATTOO ESTABLISHMENT AS A USE PERMITTED BY SPECIAL EXCEPTION AT PROPERTIES ZONED RDV, REDEVELOPMENT DISTRICT, WITHIN THE VILLAGE OF WEST GREENVILLE (Z-8-2022)

WHEREAS, the City's Land Management Ordinance currently limits body piercing and tattoo establishments to the S-1 Services district; and

WHEREAS, Joseph Bradley (the "Applicant"), a property owner within the city of Greenville (the "City"), submitted an application for a text amendment to add "Body piercing/tattoo establishment" as a permitted use in the RDV, Redevelopment district; and

WHEREAS, the Applicant's request contemplated body piercing and tattoo establishments particularly within the Village of West Greenville, much of which is zoned RDV; and

WHEREAS, the City conducted a planning process for the purpose of creating the Village of West Greenville Micro-Area Plan in 2021, which envisioned tattoo establishments as "unconventional artistic commercial uses compatible with the Village's identity;" and

WHEREAS, the City desires to allow land uses that will contribute to a vibrant arts scene within the Village of West Greenville, but recognizes that body piercing and tattoo establishments may not be compatible in the RDV zoning district generally throughout the City, or adjacent to single-family detached residential uses; and

WHEREAS, staff recommended conditions that body piercing and tattoo establishments be allowed as a conditional use in the RDV zoning district subject to the following requirements proposed to be added to Section 19-4.3.3(F), Retail sales and service: (a) limiting the use to the Village of West Greenville with boundaries defined in subsection 8-33(p); and (b) disallowing the use when adjacent to single-family detached residential use or single-family residential district; and

WHEREAS, the City Planning Commission, pursuant to public notice, held a public hearing on June 16, 2022, to consider the proposed text amendment; and

WHEREAS, the Planning Commission voted unanimously to recommend approval of the proposed text amendment to Section 19-4.1(F) with the proposed staff conditions, provided, however, that the use require a special exception permit from the Board of Zoning Appeals; and

WHEREAS, City Council finds the text amendment to be compatible with the City's Comprehensive Development Plan;

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF GREENVILLE, SOUTH CAROLINA, Section 19-4.1, Table of uses, and Section 19-4.3.3(F), Retail sales and service, of the Code of Ordinances of the City of Greenville are amended as set forth in Exhibit A, which is attached hereto and incorporated herein by reference. This Ordinance shall be effective upon second and final reading.

DONE, RATIFIED AND PASSED THIS THE 11 DAY OF JULY, 2022.



MAYOR

ATTEST:



CITY CLERK

APPROVED AS TO FORM:



CITY ATTORNEY

REVIEWED:



CITY MANAGER

EXHIBIT A

Use Category	Use Type	Residential						Nonresidential								Additional Regulations
		R6	R9	RM 1	RM 1.5	RM2	RM3	OD	C1	C2	C3	C4	S1	I1	RDV	
Retail sales and services	Automobile parts store									P	P	P	P	P		19-4.3.3(F)(1)
	Bank, financial institution, or ATM ⁴							P	P	P	P	P	P		P	19-4.3.3(F)(2)
	Barbershop, beauty shop, or spa							P	P	P	P	P	P		P	19-4.3.3(F)(11)
	Bodily fluid collection establishment												P			
	Body piercing/tattoo establishment												P		<u>S</u>	<u>19-4.3.3(F)(3)</u>
	Casino or gambling establishment												C			19-4.3.3(F)(4)

[...]

19-4.3.3. *Commercial uses*

[...]

(F) *Retail sales and service*

[...]

(3) ~~Reserved.~~ Body piercing/tattoo establishment. In the RDV district, these uses shall comply with the following standards:

- (a) Body piercing and/or tattoo establishments shall only be permitted within the Village of West Greenville as defined in subsection 8-33(p).
- (b) The uses shall not be permitted when adjacent to a single-family detached residential use or single-family residential district.



Office Use Only:

Application# _____ Fees Paid _____

Date Received _____ Accepted By _____

APPLICATION FOR SPECIAL EXCEPTION CITY OF GREENVILLE, SOUTH CAROLINA

APPLICANT / PERMITTEE*: Justin Walker Owner/ Village Tattoo
* _____ Name Title / Organization

permit may be limited to this entity. _____

APPLICANT'S REPRESENTATIVE: Joseph Bradley Property Owner/ Village Revival
(Optional) _____ Name Title / Organization

MAILING ADDRESS: 25 Draper St, Unit 7, Greenville, SC 29611

PHONE: 864-219-2799 **EMAIL:** justinwalkertattoo@gmail.com

PROPERTY OWNER: Joseph Bradley

MAILING ADDRESS: 22 E Mountainview Ave, Greenville, 29609

PHONE: 864-201-9479 **EMAIL:** info@Josephbradleystudio.com

PROPERTY INFORMATION

STREET ADDRESS: 1290 Pendleton St, Greenville, SC 29611

TAX PARCEL #: 021000800900 **ACREAGE:** .126 **ZONING DESIGNATION:** RDV

REQUEST

Refer to Article 19-4, Use Regulations, of the Land Management Ordinance (www.municode.com/library/)

DESCRIPTION OF PROPOSED LAND USE:

Body Piercing, Tattoo Establishment

INSTRUCTIONS

1. The application and fee, **made payable to the City of Greenville**, must be received by the planning and development office no later than 5:00 pm of the date reflected on the attached schedule.

2. The applicant/owner must respond to the "standards" questions on page 2 of this application (you must answer "why" you believe the application meets the tests for the granting of a special exception). See also **Section 19-2.3.5, Special Exception Permit**, for additional information. You may attach a separate sheet addressing these questions.

3. You must attach a scaled drawing of the property that reflects, at a minimum, the following: (a) property lines, existing buildings, and other relevant site improvements; (b) the nature (and dimensions) of the proposed development (activity); (c) existing buildings and other relevant site improvements on adjacent properties; and, (d) topographic, natural features, etc. relevant to the requested special exception.

4. You must attach the required application fee: \$250.00

5. The administrator will review the application for "sufficiency" pursuant to **Section 19-2.2.6, Determination of Sufficiency**, prior to placing the application on the BZA agenda. If the application is determined to be "insufficient", the administrator will contact the applicant to request that the applicant resolve the deficiencies. **You are encouraged to schedule an application conference with a planner, who will review your application for "sufficiency" at the time it is submitted. Call (864) 467-4476 to schedule an appointment.**

6. You must post the subject property at least 15 days (but not more than 18 days) prior to the scheduled hearing date.

_____ 'Public Hearing' signs are acknowledged as received by the applicant

Applicant Signature



7. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the Board of Zoning Appeals that granting the requested change would not likely result in the benefit the applicant seeks.

To that end, the applicant hereby affirms that the tract or parcel of land subject of the attached application is ☐ or is not ☒ restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

06/23/2022

APPLICANT / REPRESENTATIVE SIGNATURE

DATE

Joseph Bradley

PROPERTY OWNER SIGNATURE

06/23/2020

DATE

APPLICANT RESPONSE TO
SECTION 19-2.3.5(D)(1), STANDARDS – SPECIAL EXCEPTION

(YOU MAY ATTACH A SEPARATE SHEET)

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED SPECIAL EXCEPTION IS CONSISTENT WITH THE COMPREHENSIVE PLAN.

Tattoo was one of the business types that the Village of West Greenville Micro Plan specifically included. That plan was published for the community and approved by council.

2. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL COMPLY WITH THE STANDARDS IN **SECTION 19-4.3, USE SPECIFIC STANDARDS.**

The business will comply in that it does not abut any residential dwellings.

3. DESCRIBE THE WAYS IN WHICH THE REQUEST IS APPROPRIATE FOR ITS LOCATION AND IS COMPATIBLE WITH THE CHARACTER OF EXISTING AND PERMITTED USES OF SURROUNDING LANDS AND WILL NOT REDUCE THE PROPERTY VALUES THEREOF.

Tattoo as an art form is consistent with the values of the VOWG. This business will increase the property values as it provides additional retail and services that are consistent with the artistic feel of the area.

4. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL MINIMIZE ADVERSE EFFECTS ON ADJACENT LANDS INCLUDING: VISUAL IMPACTS; SERVICE DELIVERY; PARKING AND LOADING; ODORS; NOISE; GLARE; AND, VIBRATION. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL NOT CREATE A NUISANCE.

see attached:

APPLICANT RESPONSE TO
SECTION 19-2.3.5(D)(2), STANDARDS – CHANGE IN NONCONFORMING USE

(YOU MAY ATTACH A SEPARATE SHEET)

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED NONCONFORMING USE IS MORE IN CHARACTER WITH, OR EQUAL TO, THE USES OTHERWISE PERMITTED IN THE ZONING DISTRICT THAN THE EXISTING OR PRIOR NONCONFORMING USES.

see attached

2. DESCRIBE THE WAYS IN WHICH THE PROPOSED NONCONFORMING USE WILL NOT SUBSTANTIALLY AND PERMANENTLY INJURE THE USE OF NEIGHBORING PROPERTY FOR THOSE USES PERMITTED WITHIN THE RELEVANT ZONING DISTRICT(S).

Tattoo does not pose any damage to the neighboring properties. Tattoo is strictly governed by SCDHEC and the applicant will comply with all rules and regulations for the trade.

3. IS ADEQUATE INFRASTRUCTURE CAPACITY AVAILABLE TO SERVE THE PROPOSED NONCONFORMING USE?

Yes. The building, parking, package delivery all are supportive of this business.

4. IS THE PROPOSED USE ONE THAT IS OTHERWISE PERMISSIBLE IN ANOTHER ZONING DISTRICT WITHIN THE CITY?

Yes. Properties near the RDV zone allow for Tattoo.

APPLICANT RESPONSE TO
SECTION 19-2.3.5(D)(1), STANDARDS – SPECIAL EXCEPTION

4. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL MINIMIZE ADVERSE EFFECTS ON ADJACENT LANDS INCLUDING: VISUAL IMPACTS; SERVICE DELIVERY; PARKING AND LOADING; ODORS; NOISE; GLARE; AND, VIBRATION. DESCRIBE THE WAYS IN WHICH THE REQUEST WILL NOT CREATE A NUISANCE.

ANSWER: No foreseen impacts on the land are expected in terms of Odors, Noise, Glare, and Vibration as this is a freestanding building and the requested use does not produce such nuisances. The applicant is also bound to noise guidelines as per the tenant agreement. The tenant also has agreed to close by 10pm. This will actually provide a new set of eyes on the street to ensure safety for those on Pendleton who have said that they feel safer during the day there. The evening hours will co-ordinate with other businesses in the area: The Anchorage, Bar Margaret. Parking is an enormous issue for any business coming into the area and the need for parking is not a unique issue for a Tattoo Establishment. Currently the VOWG micro plan is recommending that the current parking guidelines no longer be required for the area. This particular building is being constructed between two other buildings (on the site of a demolished building.) The area is completely locked with buildings and having these parking requirements is untenable while allowing growth. We are looking to partner with the City of Greenville to help alleviate this need. The property owner is currently renting the required number of spaces from a nearby property owner and was done so according to City Planning guidelines. The area behind the building is being used for unofficial parking and property owners are currently working with the city to make these recognized parking spaces. Loading and Delivery are easily done through the back of the building and a current easement is in force with the rear property owners to allow for ingress/egress. Tattoo is an industry with not a great deal of shipments. If shipments are required, boxes are in fact small and easily transported. The visual impact will be extremely positive. The property owner is constructing this space in a vacant lot, completing the retail and services experience between two buildings.

APPLICANT RESPONSE TO
SECTION 19-2.3.5(D)(2), STANDARDS – CHANGE IN NONCONFORMING USE

1. DESCRIBE THE WAYS IN WHICH THE PROPOSED NONCONFORMING USE IS MORE IN CHARACTER WITH, OR EQUAL TO, THE USES OTHERWISE PERMITTED IN THE ZONING DISTRICT THAN THE EXISTING OR PRIOR NONCONFORMING USES.

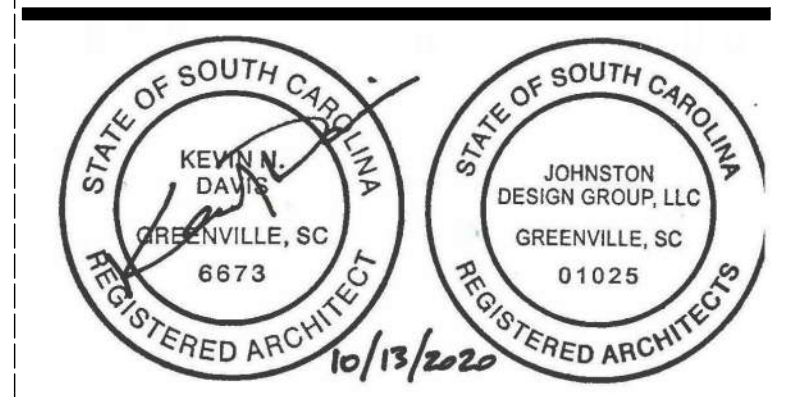
ANSWER: Current zoning for RDV does not allow Body Piercing/ Tattoo Establishments. Please note that the tenant does not wish to incorporate Body Piercing as they solely intend on being a tattoo establishment. The current zoning language pairs Tattoo and “Body Piercing.” The area has been identified as a creative, artistic hub. The proposal would allow for a more

inclusive representation of the kind of art that Greenville residents currently appreciate.

(Approximately 1/3 of Americans have tattoos according to a study by Statista involving over a thousand randomly selected individuals.) Allowing this business to operate would ensure that

Greenvillians will be able to receive a tattoo in a safe and beautiful space located in the heart of artistic endeavors for our city.

Johnston
DESIGN GROUP

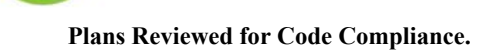


1290 PENDLETON ST,
GREENVILLE, SC

johnstondesigngroup.us

DRAWING INDEX		DATE	DATE
GENERAL			
G1.01	COVER SHEET & PROJECT DATA		
G1.02	EXTERIOR RENDERERS		
G1.03	INTERIOR RENDERERS		
G1.04	REGULATORY COMPLIANCE DATA		
L1.01	LIFE SAFETY PLANS		
ARCHITECTURAL			
A0.01	SITE PLAN		
A1.01	MAIN LEVEL FLOOR PLAN		
A1.02	LOFT LEVEL FLOOR PLAN		
A1.03	ROOF PLAN		
A1.04	MAIN LEVEL REFLECTED CEILING PLAN		
A1.05	LOFT LEVEL REFLECTED CEILING PLAN		
A2.01	EXTERIOR ELEVATIONS		
A2.02	EXTERIOR ELEVATIONS		
A3.01	BUILDING SECTIONS		
A3.02	BUILDING SECTIONS		
A3.03	WALL SECTIONS		
A3.04	WALL SECTIONS		
A3.05	WALL SECTIONS		
A6.01	OPENING SCHEDULES & DETAILS		
A7.01	INTERIOR ELEVATIONS		

RESERVED FOR GREENVILLE ELECTRONIC REVIEW



1. Any review or acceptance by this department does not relieve the contractor from meeting code or ordinance requirements.
2. Inspections will not be made unless permit and approved drawings are on job site. Penalty will be a \$40 re-inspection fee.

Commission: 219035
Date: 10/13/20
Drawn By: BJ, KD
Checked By: KD

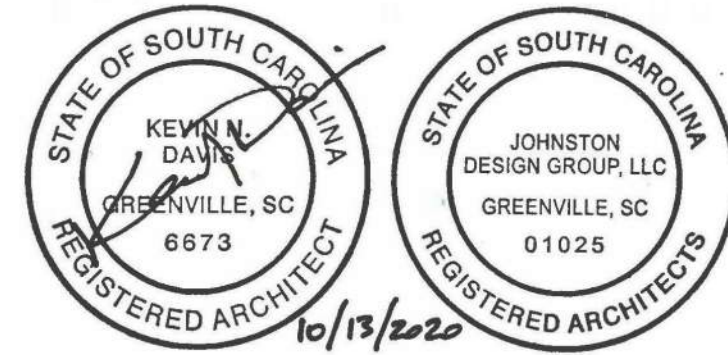
G1.01



Plans Reviewed for Code Compliance

1. Any review or acceptance by this department does not relive the contractor from meeting code or ordinance requirements.
2. Inspections will not be made unless permit and approved drawings are on job site. Penalty will be a \$40 re-inspection fee.

Permit #: 21-1522
Date: 7/19/2021



JOSEPH
BRADLEY
ART STUDIO

1290 PENDLETON ST,
GREENVILLE, SC

JOHNSTON DESIGN GROUP, LLC
Suite D
411 UNIVERSITY RIDGE
Greenville, SC
29601
ph: 864.250.0701

johnstondesigngroup.us

Revisions:

[illegible]

Commission: 219035
Date: 10/13/20
Drawn By: BJ
Checked By: KD

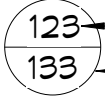
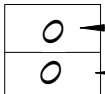
INTERIOR RENDERS

G1.03



UPPER FLOOR LIFE SAFETY PLAN

LIFE SAFETY LEGEND

	FIRE EXTINGUISHER CABINET	---	L.G.P.T. = LONGEST COMMON PATH OF TRAVEL
	FIRE EXTINGUISHER (WALL HUNG)	-----	L.E.A.T. = LONGEST EXIT ACCESS TRAVEL DISTANCE
	STANDPIPE		
	CEILING MOUNTED EXIT SIGN		EXIT DISCHARGE
	WALL MOUNTED EXIT SIGN		ACTUAL EGRESS LOAD EGRESS CAPACITY
	WALL MOUNTED COMBINATION EMERGENCY/EXIT LIGHT		ACTUAL EGRESS LOAD EGRESS CAPACITY
	WALL MOUNTED EXTERIOR EGRESS EMERGENCY LIGHT		
	WALL MOUNTED EMERGENCY LIGHT		
	KNOX BOX 3200		ROOM NAME ROOM NUMBER RELEVANT AREA OCCUPANT LOAD
	FIRE ALARM CONTROL PANEL		
	FIRE ALARM PULL BOX		

NOTES:

1. PROVIDE PORTABLE FIRE EXT. IN ACCORDANCE W/ INTERNATIONAL FIRE CODE DURING DEMOLITION & CONSTRUCTION
2. EGRESS CAPACITY IS BASED ON CLEAR WIDTH OF DOOR MINUS 2" FOR SINGLE DOORS, 4" FOR DOUBLE DOORS

UPPER LEVEL OCCUPANCY / EGRESS CALCULATIONS			
FUNCTION OF SPACE	OCC LOAD	EGRESS WIDTH REQ'D	EGRESS WIDTH PROVIDED
STUDIO OFFICE	3.04 P	.912"	34"
TENANT OFFICE	2.85 P	.855"	34"

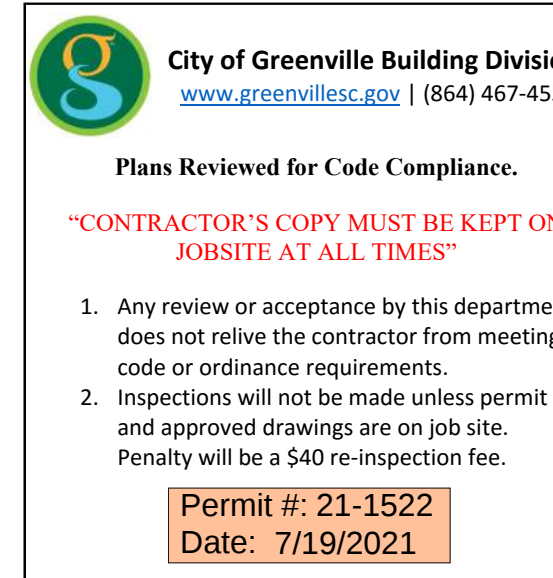
ARRANGEMENT OF EXITS
 SINGLE EXIT PERMITTED BY SATISFYING 1006.3.3

<u>LOWER LEVEL OCCUPANCY / EGRESS CALCULATIONS</u>			
<u>FUNCTION OF SPACE</u>	<u>OCC LOAD</u>	<u>EGRESS WIDTH REQ'D</u>	<u>EGRESS WIDTH PROVIDED</u>
TENANT SPACE*	19.75 P	3.95"	60"
STUDIO SPACE**	37.0 P	7.4"	102"

*5FEGULATIVE TENANT SPACE CALCULATED AS MERCHANTILE OCCUPANCY.
 **EXTERIOR GARDEN EGRESS THRU THE INTERIOR SPACE. EGRESS LOAD IS INCLUDED IN WIDTH REQUIREMENTS FOR THE INTERIOR. OCCUPANCY LIMIT OF 49 P WILL BE POSTED IN THE GARDEN

ARRANGEMENT OF EXITS
 TWO EXITS REQUIRED, TWO PROVIDED AT OPPOSITE ENDS OF EACH TENANT SPACE

RESERVED FOR GREENVILLE ELECTRONIC REVIEW



Johnston
DESIGN GROUP



JOSEPH
BRADLEY
ART STUDIO

1290 PENDLETON ST
GREENVILLE, SC

JOHNSTON DESIGN GROUP, LLC
Suite D
411 UNIVERSITY RIDGE
Greenville, SC
29601
ph: 864.250.0701

johnstondesigngroup.us

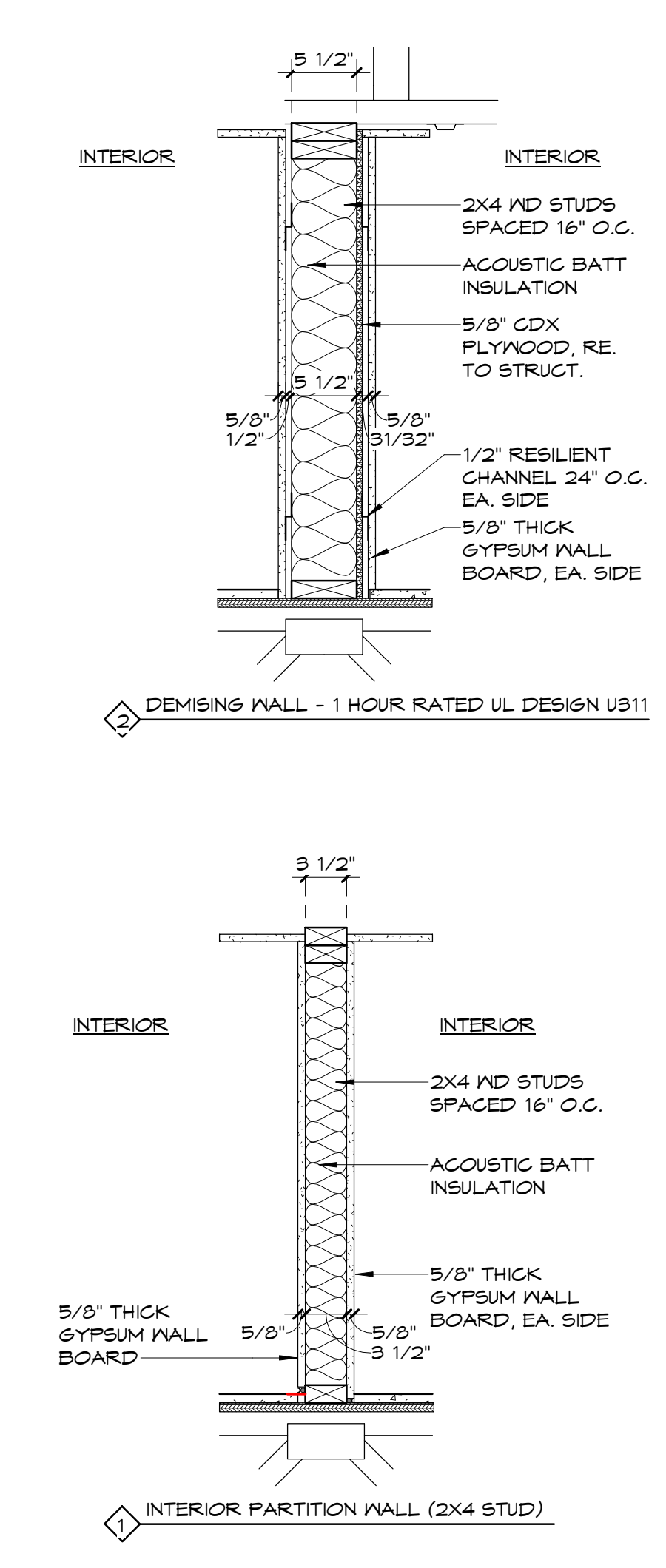
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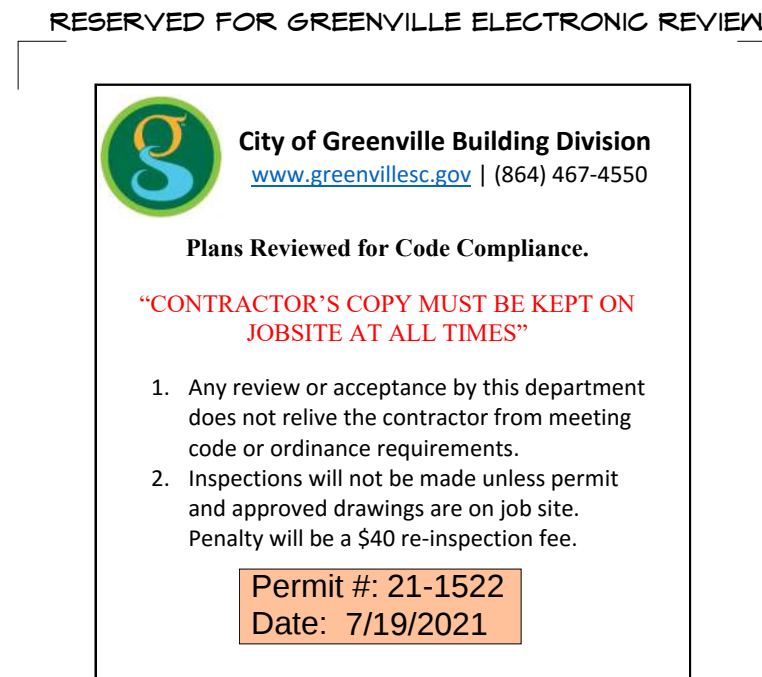
Commission: 219035
Date: 10/13/20
Drawn By: BJ, KD, PH
Checked By: KD

LIFE SAFETY PLANS

LS1.01



The image shows the official letterhead of the City of Greenville Building Division. At the top, the text "RESERVED FOR GREENVILLE ELECTRIC REVENUE" is printed in a light blue, sans-serif font. Below this, a large, empty rectangular box with a thin black border is intended for a stamp. To the left of the box is the City of Greenville logo, which consists of a green circle containing a stylized white 'G' with a leaf-like shape at its base. To the right of the logo, the text "City of Greenville Building Division" is written in a bold, black, sans-serif font. Below this, the website "www.greenvillesc.gov" and the phone number "(864) 467-4550" are listed in a smaller, black, sans-serif font. Further down, the text "Plans Reviewed for Code Compliance." is centered in a bold, black, sans-serif font. Below that, a red-outlined box contains the text "CONTRACTOR'S COPY MUST BE KEPT ON JOBSITE AT ALL TIMES" in a bold, black, sans-serif font. At the bottom, a numbered list of three items is provided: 1. Any review or acceptance by this department does not relieve the contractor from meeting code or ordinance requirements. 2. Inspections will be made unless permits and approved drawings are on job site. 3. Penalty will be a \$40 re-inspection fee. At the very bottom, a white rectangular box with a black border contains the text "Permit #: 21-1522" and "Date: 7/19/2021" in a bold, black, sans-serif font.



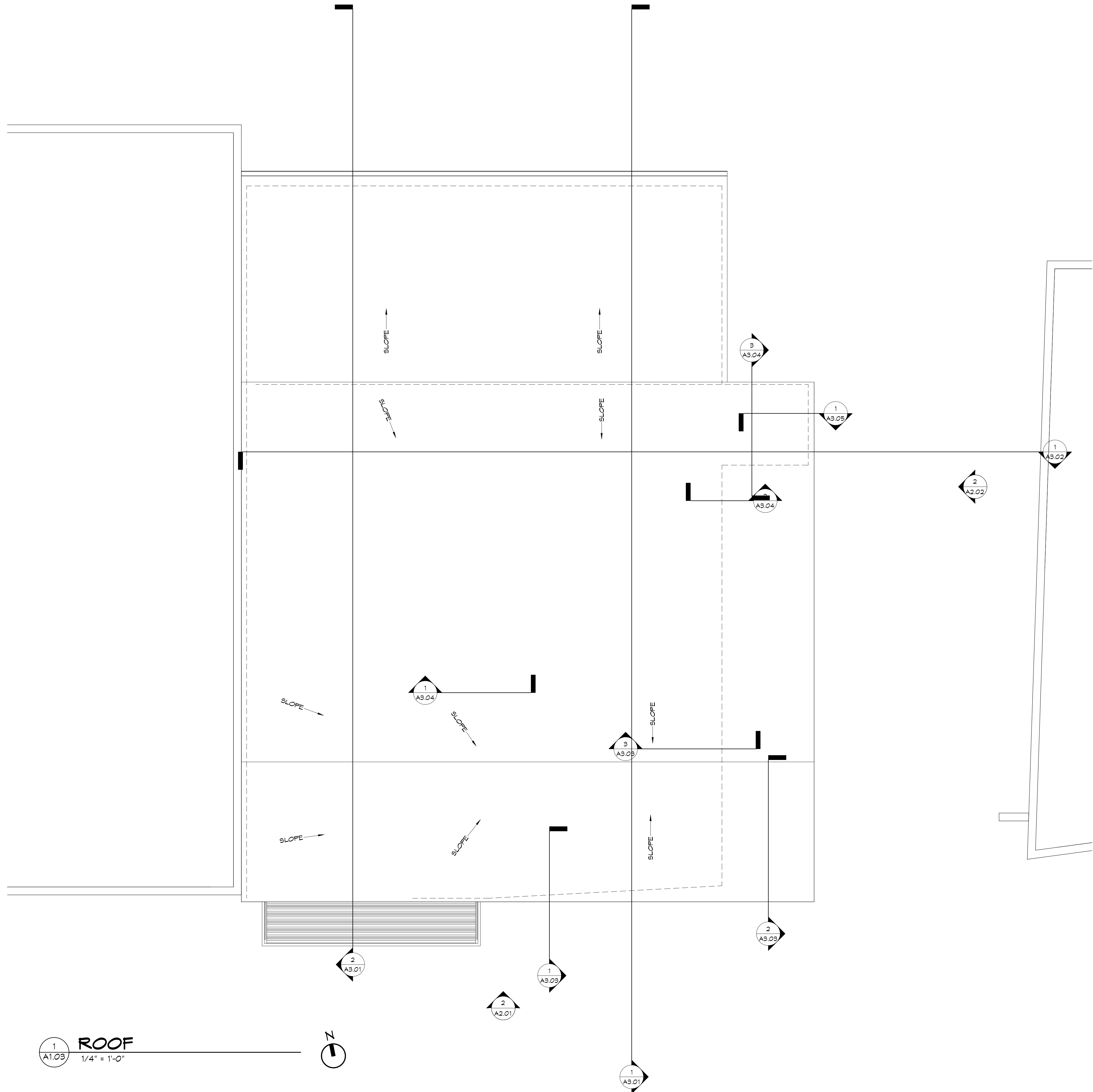
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[illegible]

Commission: 219035
Date: 10/13/20
Drawn By: BJ
Checked By: KD

ROOF PLAN

A1.03



RESERVED FOR GREENVILLE ELECTRONIC REVIEW

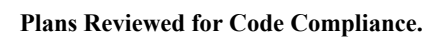


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Plans Reviewed for Code Compliance
CONTRACTOR'S COPY MUST BE KEPT AT THE
JBSITE AT ALL TIMES"

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Permit #: 21-1522
Date: 7/19/2021

RESERVED FOR GREENVILLE ELECTRONIC REVIEW

- Permit #: 21-1522
-
- Date: 7/19/2021



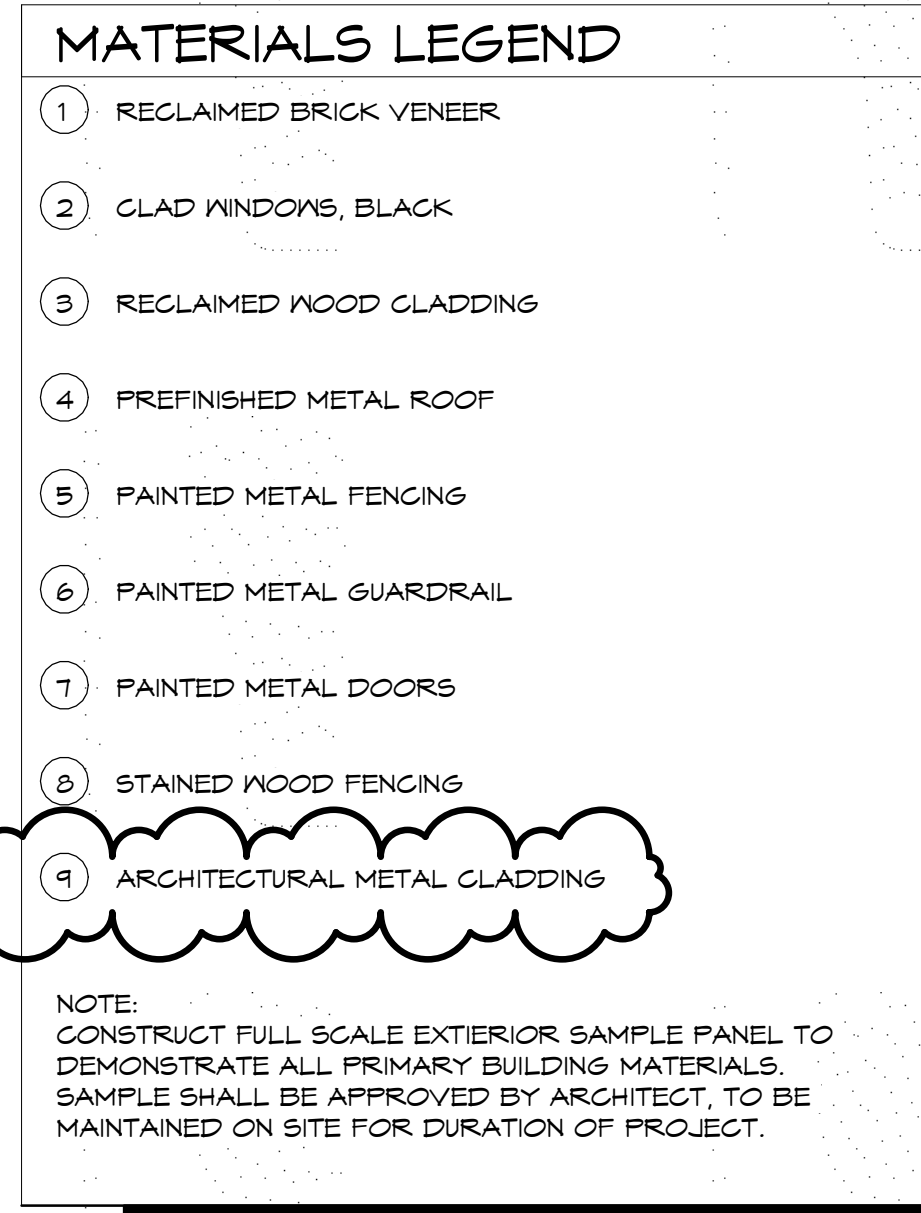
SUSPENDED 9'-0"
ABOVE FF

1. CONTRACTOR SHALL COORDINATE W/ ALL OTHER TRADES BEFORE INSTALLATION OF FIXTURES AND/OR EQUIPMENT.
2. REFER TO ELECTRICAL DRAWINGS FOR INSTALLATION REQUIREMENTS.
3. REFER TO BUILDING SECTIONS & INTERIOR ELEVATIONS FOR FIXTURE MOUNTING HEIGHTS.
4. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL POWER, DATA, LOW VOLTAGE, & CONTROL SYSTEMS.
5. VERIFY ENTIRE CEILING LAYOUT IN FIELD BEFORE INSTALLATION OF ANY CEILING MATERIAL OR EQUIPMENT. ANY DEVIATION FROM THE REFLECTED CEILING PLAN SHALL HAVE PRIOR APPROVAL FROM THE ARCHITECT OR THE ARCHITECT'S REPRESENTATIVE IN THE FIELD. THE INSTALLER SHALL PROVIDE THE ARCHITECT (THROUGH THE GENERAL CONTRACTOR) A REFLECTED CEILING PLAN SHOWING ANY PROPOSED CHANGES.
6. SEE FINISH SCHEDULE FOR CEILING FINISHES.
7. ALL OPENINGS IN CEILING SHALL BE COORDINATED BY THE GENERAL CONTRACTOR TO INSURE PROPER LOCATION OF CEILING ACCESSORIES AS INDICATED ON THE DRAWINGS. ALL OPENINGS SHALL HAVE UNIFORM MARGINS ON ALL SIDES.
8. DOUBLE GRIPS AT WALLS AND PARTITIONS ARE NOT ACCEPTABLE.
9. CEILING TILE IN ALL AREAS IS 24" X 24" EXCEPT WHERE NOTED OTHERWISE. ALL TILE SHALL BE OF UNIFORM DESIGN AND APPEARANCE.
10. PARTICULAR ATTENTION SHALL BE GIVEN TO COORDINATING MULTI-HEIGHT CEILING AREAS WITH REQUIRED ELECTRICAL LIGHTING AND SOFFIT CONSTRUCTION. REFER TO BUILDING SECTIONS FOR HEIGHTS.
11. THE INTENT OF THE REFLECTED CEILING PLANS IS TO FAMILIARIZE THE CONTRACTOR OF THE TOTAL CONCEPT. THE CONTRACTOR SHALL NOT USE THE REFLECTED CEILING PLAN FOR THE BASIS OF ANY ELECTRICAL AND MECHANICAL WORK. MECHANICAL ELECTRICAL DOCUMENTS TAKE PRECEDENCE OVER THE REFLECTED CEILING PLAN.
12. COORDINATE MECHANICAL EQUIPMENT WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS.
13. INCLUSION OF SYMBOL IN LEGEND DOES NOT IMPLY SCOPE OF WORK.

no.	date	by	checked	description
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Commission: 219035
Date: 10/13/20
Drawn By: KS, BJ
Checked By: KD

A1.05



Architectural elevation drawing of a two-story building facade. The drawing includes the following elements and dimensions:

- Overall Dimensions:**
 - Roof: 21'-0"
 - Main Level: 0"
 - Loft Level: 11'-0"
- Windows:**
 - Storefront Windows: 10'-0" x 7'-10"
 - Existing Adjacent Building: 9'-0" x 19'-0"
 - Reclaimed Factory Window: 5'-0" x 2'-0"
 - Other windows: 10'-0" x 7'-10", 5'-0" x 2'-0", 7'-10" x 5'-0"
- Structural and Material Details:**
 - TPO Roof Membrane with Metal Deck and
 - Reclaimed Factory Window
 - Metal Railing
 - 2x8 Timber Post
 - Iron Fencing with Masonry Base
 - Bicycle Rack
- Callouts:**
 - 1: Storefront Windows
 - 2: Existing Adjacent Building
 - 3: Prefab Canopy
 - 4: Reclaimed Factory Window
 - 5: Metal Railing
 - 6: 2x8 Timber Post

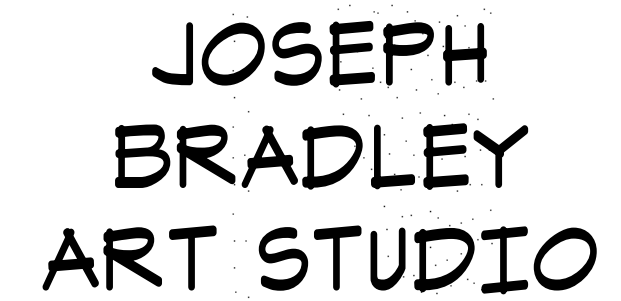
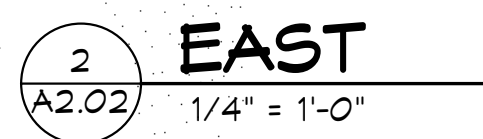
SOUTH
1/4" = 1'-0"

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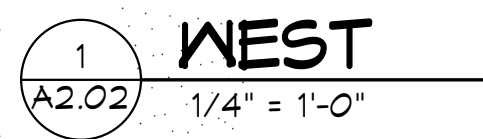
johnstondesigngroup.us

[illegible]

A2.01



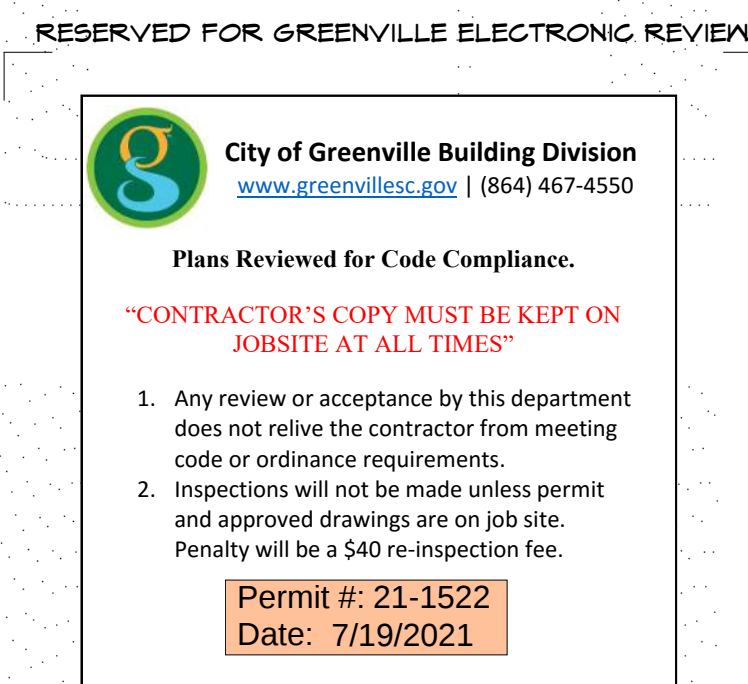
johnstondesigngroup.us



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EXTERIOR ELEVATIONS

A2.02



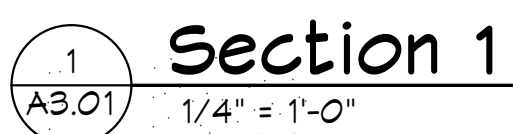
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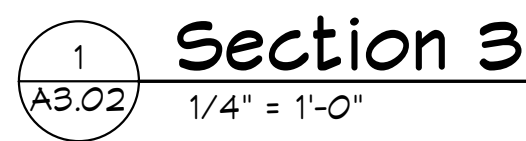
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BUILDING SECTIONS

A3.01



Permit #: 21-1522
Date: 7/19/2021



A3.02

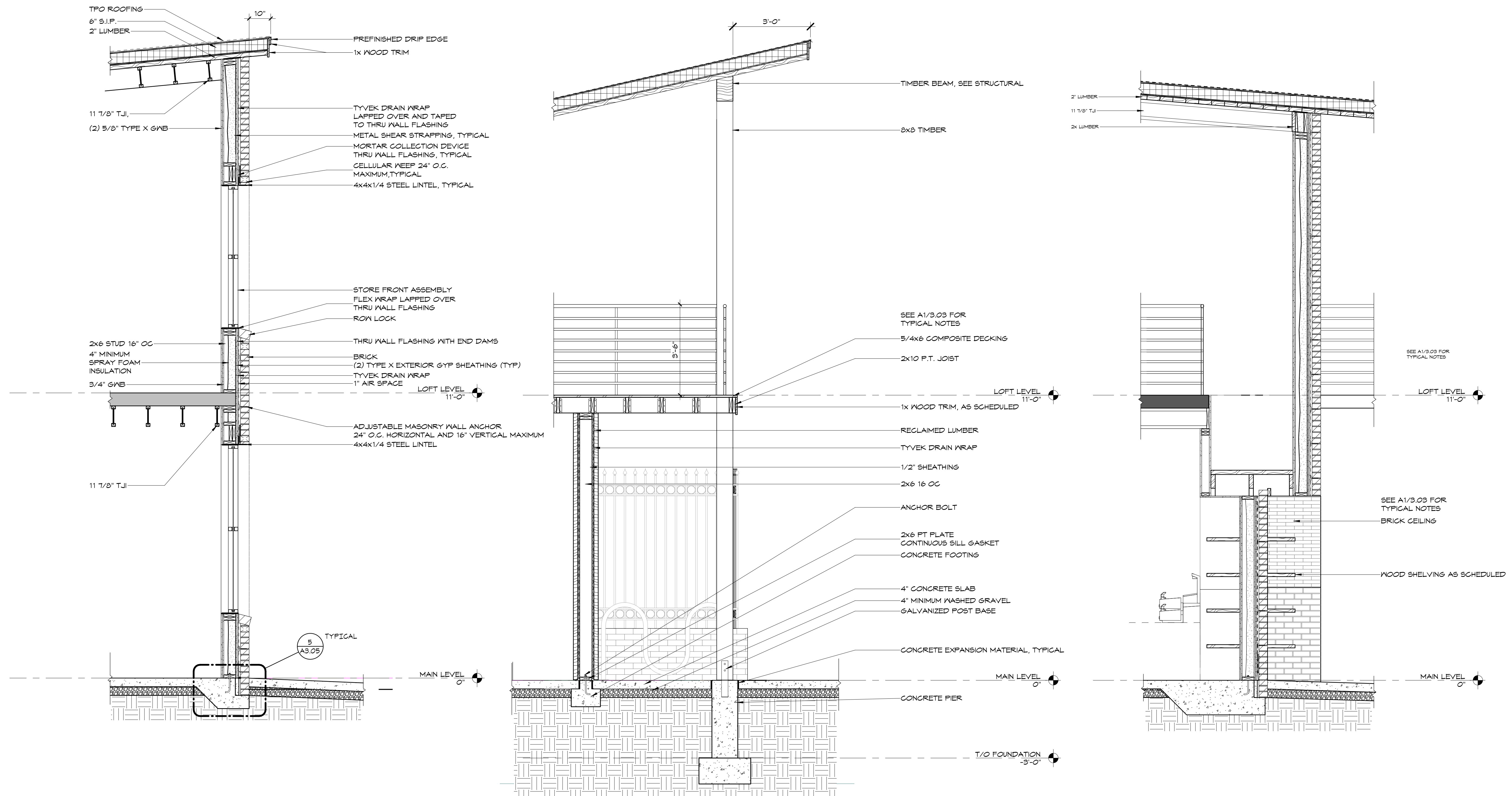
Revisions:

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Commission: 219035
Date: 10/13/20
Drawn By: BJ, PH
Checked By: KD

WALL SECTIONS

A3.03



1 WALL SECTION- STOREFRONT
A3.03 1/2" = 1'-0"

2 ENTRY RECLAIMED WOOD WALL SECTION
A3.03 1/2" = 1'-0"

3 WALL SECTION- BUILT IN SHELVES

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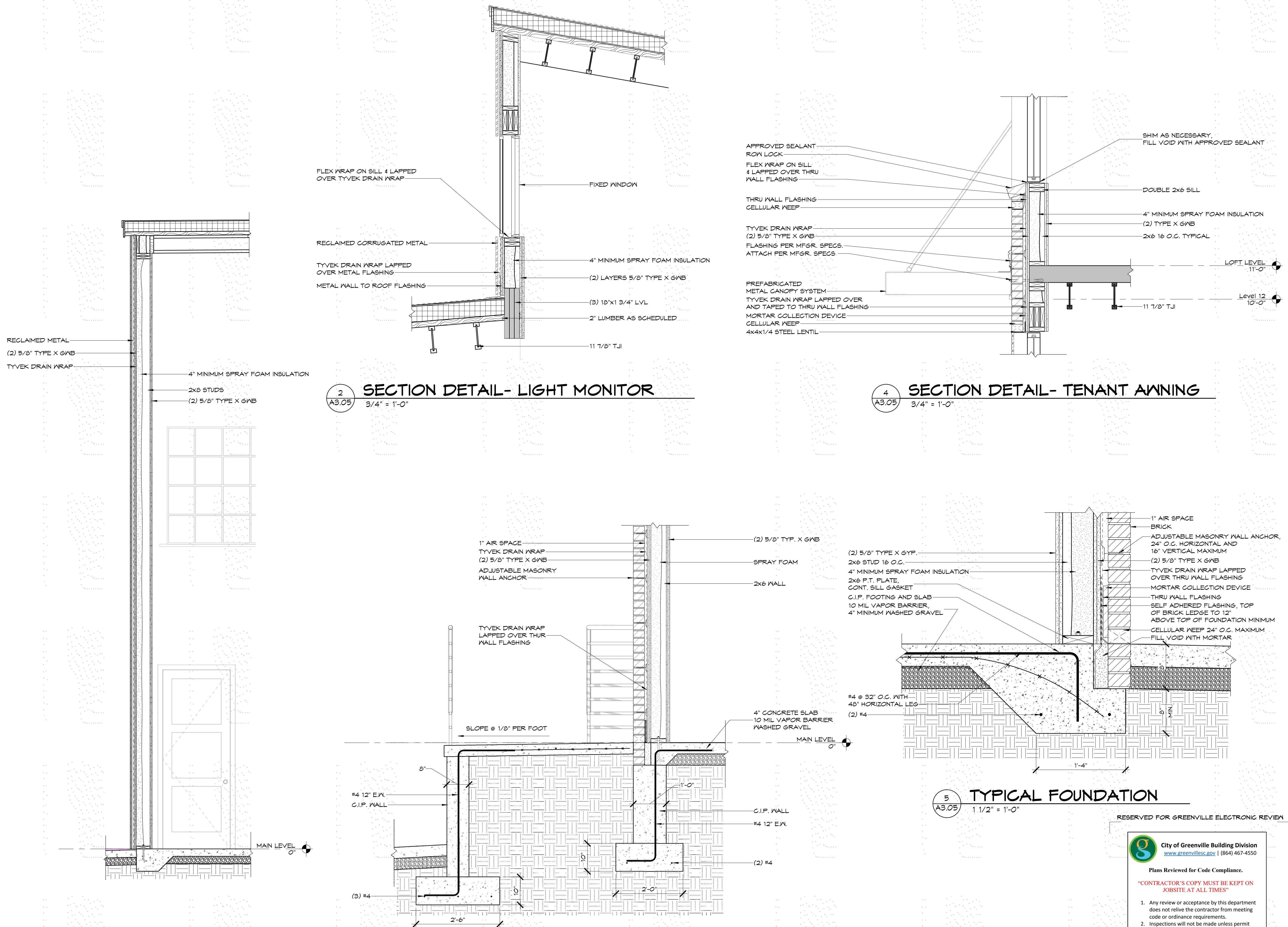
Revisions:

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WALL SECTIONS

A3.05



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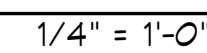
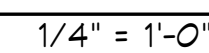
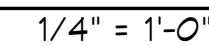
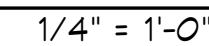
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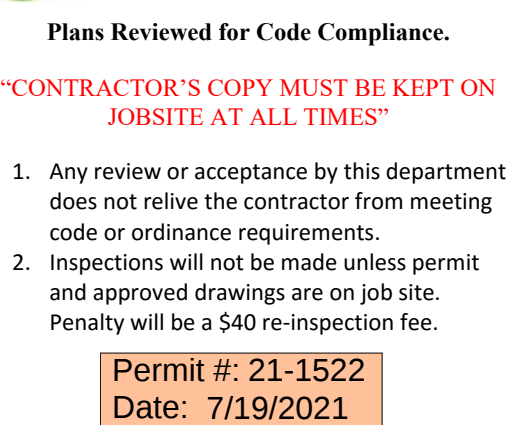
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DOOR & FRAME NOTES:		
1.	PREP FOR ELECT. STRIKE (PROVIDED BY OWNER	AT - ALUMINUM THRESHOLD (ADA)
2.	FRAME RATING SHALL MATCH DOOR	KL - KEYED LOCKSET / POSITIVE LATCHING
3.	ALL FRAMES SHALL BE SHOP PRIMED, FIELD PAINTED	RL - RESTROOM LOCKSET
4.	ALL FRAMES SHALL BE WELDED	IG - OVERHEAD AUTOMATIC CLOSER
5.	ALL EXTERIOR DOORS SHALL BE WEATHER STRIPPED U.N.O.	IG - INSULATED GLAZING PANEL



A6.01



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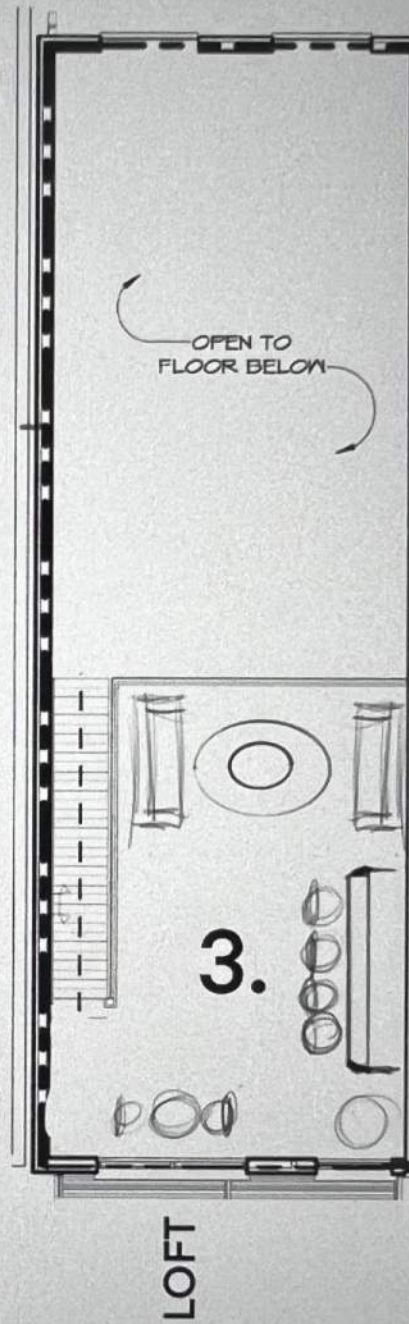
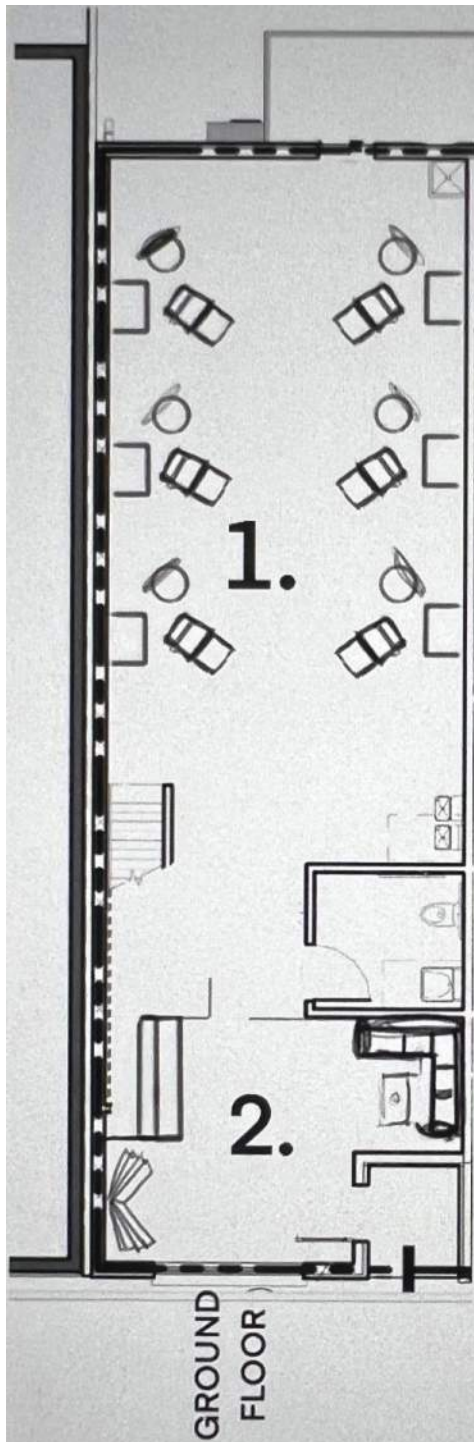
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Checked By: KD

INTERIOR ELEVATIONS

A7.01



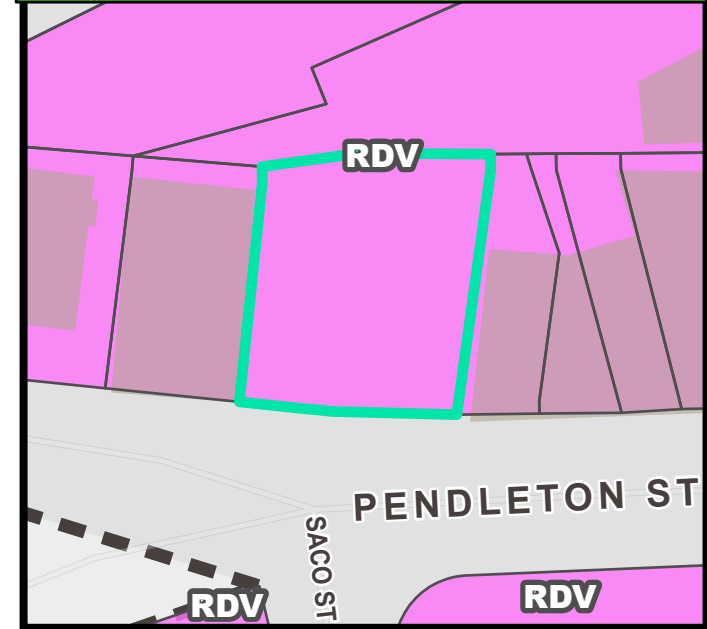
1. Tattooing Area
2. Waiting Lobby
3. Artists lounge/
drawing room

S 22-463 • 1290 PENDLETON STREET

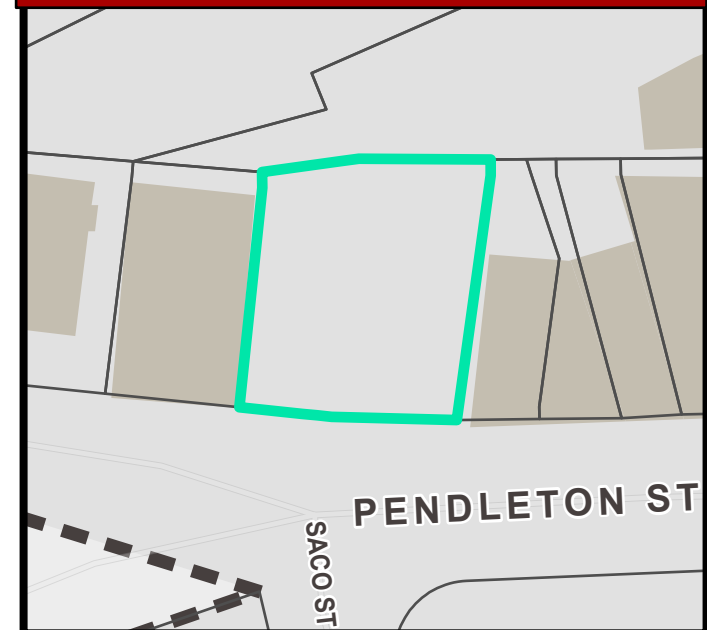
AERIAL VIEW



CURRENT ZONING



FUTURE LAND USE

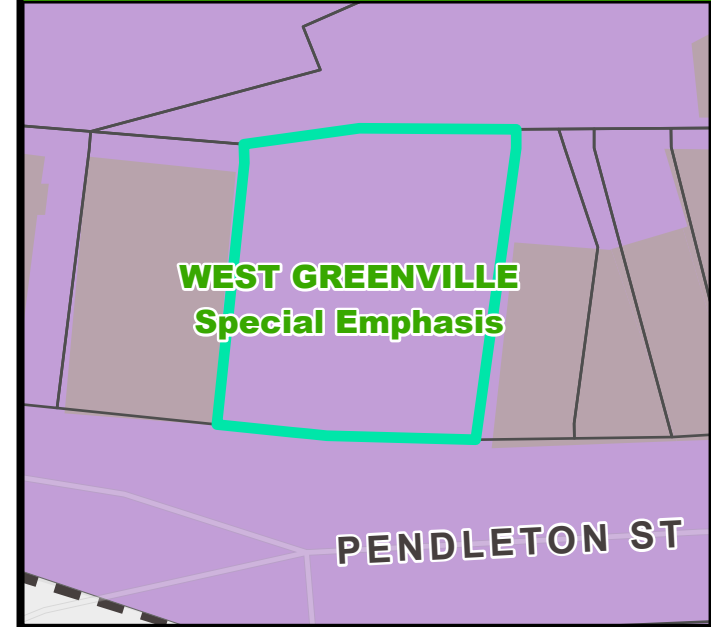


S 22-463 • 1290 PENDLETON STREET

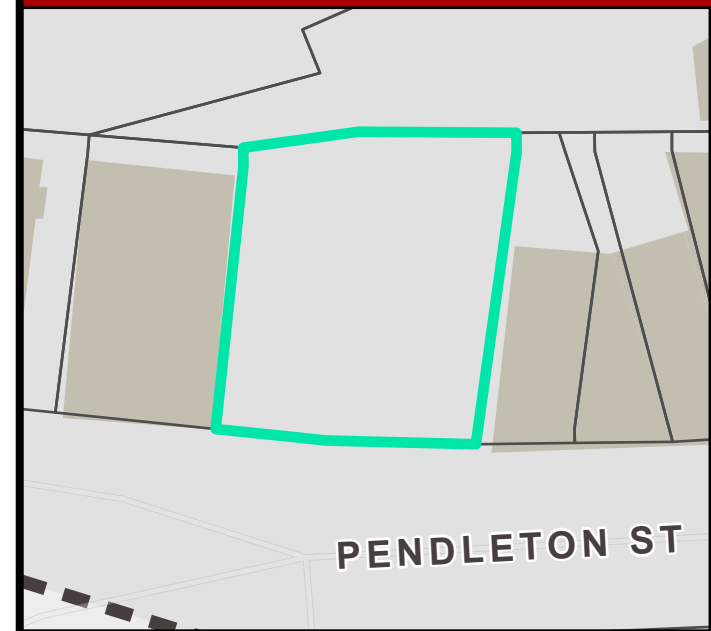
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS





2023 **DRAFT** Schedule of the City of Greenville Board of Zoning Appeals

Unless otherwise posted, public hearings are held at the Prisma Health Welcome Center at Unity Park, 111 Welborn Street, Greenville, South Carolina, 29601.

Deadline for Filing a Complete Application 2:00 pm	Date for Posting Notice of Public Hearing	Date of BZA Agenda Workshop 12:00 pm	Date of Public Hearing 4:00 pm
December 5, 2022	December 28, 2022	January 10, 2023	January 12, 2023
January 9	January 25	February 7	February 9
February 6	February 22	March 7	March 9
March 6	March 29	April 11	April 13
April 10	April 26	May 9	May 11
May 8	May 24	June 6	June 8
June 5	June 28	July 11	July 13
July 10	July 26	August 8	August 10
August 7	August 30	September 12	September 14
September 11	September 27	October 10	October 12
October 9	October 25	November 7	November 9
November 6	November 29	December 12	December 14
December 11	December 27	January 9, 2023	January 11, 2024



AGENDA

BOARD OF ZONING APPEALS REGULAR MEETING

Thursday, August 11, 2022 - 4:00 p.m.

Meeting Location:
Prisma Health Welcome Center at Unity Park
111 Welborn Street
Greenville, South Carolina, 29601

Citizens may access the meeting at the following web address:

<https://www.greenvillesc.gov/meeting>

-
1. Call to Order
 2. Welcome and Opening Remarks from the Chair
 3. Roll Call
 4. Approval of Minutes
 - A. July 12, 2022 – Workshop
 - B. July 14, 2022 – Regular Meeting
 5. Call for Public Notice Affidavit from Applicants
 6. Acceptance of Agenda
 7. Conflict of Interest Statement
 8. OLD BUSINESS
 - A. S 22-408 *Applicant requests deferral to the September 8, 2022 meeting*
Application by Dodd Caldwell for a **SPECIAL EXCEPTION** to establish a 'Hotel' (short-term rental) use in an OD, Office and institutional district at **18 WILLIAMS ST** (TM# 004500-02-00500)
 9. NEW BUSINESS
 - A. S 22-463
Application by Village Revival, LLC (Joseph Bradley) for a **SPECIAL EXCEPTION** to establish a 'Tattoo establishment' use in an RDV, Redevelopment district at **1290 PENDLETON ST** (TM# 0121000800900)
 - B. S 22-495 *Application deferred – Insufficient application*
Application by M Squared LLC (J. Mark Chapman) for a **SPECIAL EXCEPTION** to establish a 'Hotel' (short-term rental) use in an OD, Office and institutional district at **201 LAVINIA AV** (TM# 0040000401400)
 10. OTHER BUSINESS
 - A. Board of Zoning Appeals 2023 Schedule
 - B. Staff update on current planning projects
 11. Adjournment