



AGENDA

MEETING OF DESIGN REVIEW BOARD
THURSDAY, MARCH 19, 2026 - 4:00 PM

Greenville City Hall, Council Chambers, 206 S. Main Street
Citizens may access the meeting at the following web address:
<http://greenvillesc.gov/MeetingMedia>

1. Call to Order
2. Roll Call
3. Welcome and Opening Remarks from the Chair
4. Approval of the Minutes
5. Call for Public Notice Affidavit from Applicants
6. Acceptance of Agenda
7. Conflict of Interest Statement
8. Old Business
9. New Business (public comment)
 - a. **CA 26-084**
Application by Kavneet Sethi for a Certificate of Appropriateness for Architectural Detailing and Materials at 426 North Main Street
 - b. **A 26-090**
Application by Stephen Glover to Appeal the Administrative Denial of CA 25-1141 at 2 East Broad Street
10. Advice and Comment (no public comment)
11. Other Business (no public comment)
12. Informal Review (no public comment)
13. Adjournment



**Planning Staff Report to
Design Review Board
March 10, 2026**
for the March 19, 2026 Public Meeting

Docket Number: 26-84
Applicant: Johnston Design Studios & Kavneet Sethi
Property Owner: SC 426 Main LLC
Property Location: 426 & 430 N Main St.
Tax Map Number: 0033000101000; 0033000101101
Acreage: 2.8
Zoning: MXS-D, Downtown Design Review Boundary
Proposal: **Architectural Certificate of Appropriateness**
Staff Recommendation: **Approve with conditions**

Applicable Sections of the City of Greenville Code of Ordinances:

Sec. 19-6.2.9 Major Urban Certificate of Appropriateness

Project Overview:

On June 19th, 2025 the Design Review Board (DRB) approved the site and massing for 426 & 430 N Main Street via **CA 25-295** with the requirement that additional study and design be provided to address site ingress and height. Those additional studies resulted in a further-refined design of the egresses and height that were approved by the DRB on August 21st. That approval did not address lighting, planting, materials, paving patterns, signage, furnishings, or individual tenant store-front design- all of which was to be submitted as a future CA application. This application, **CA 26-84**, addresses those items for Phase I, as well as a request to lower the height of the previously approved building south building, and raise the height of the previously approved north building.



The following elements were approved via CA 25-295:

- General footprints of south, north, and east buildings, and parking deck
- Sidewalk, plaza, and open space placement and sizes
- Pedestrian and vehicular circulation
- General height, massing, and scale of north and south buildings, and parking deck

Per request by the applicant, the Phase I landscape plan and architectural lighting will be reviewed separately at a later date. This application only contemplates an increases to the height of the North Building; and a lowering of the South Building, along with updated massing, architectural detailing, and material/color selections for the South Building.

Property:

The property is zoned MXS-D and is located within the Downtown Design Review Boundary. The site sits on the southeast corner of N. Main Street and N. Academy Street. The site is currently occupied by the former Greenville Municipal Court Building and the former American Legion building. The American Legion building received a DRB approval to demolish via **UH 24-966** on February 20, 2025. A demo permit will be required for the former Court Building as well.

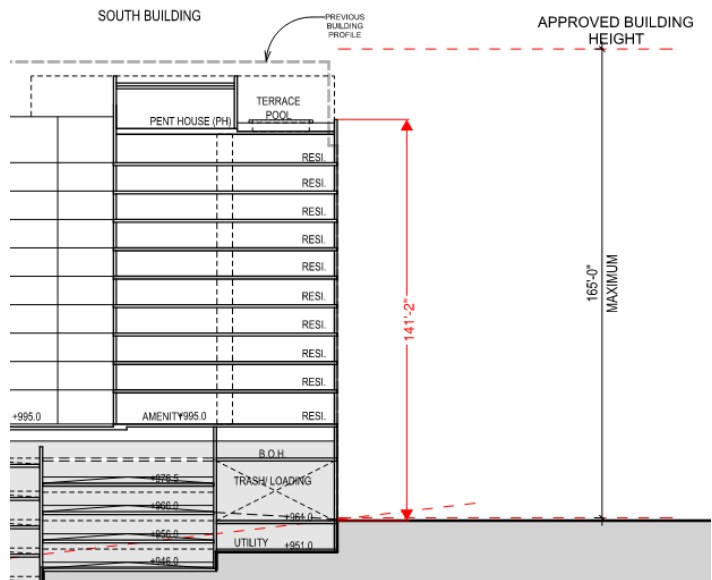
Staff Analysis:

All items in the “Public Realm” sections of the Downtown Design Guidelines were approved via CA 25-295, with further refinement to be provided by a future landscape / lighting submittal.

As such this report will focus primarily on the following Private Realm sections:

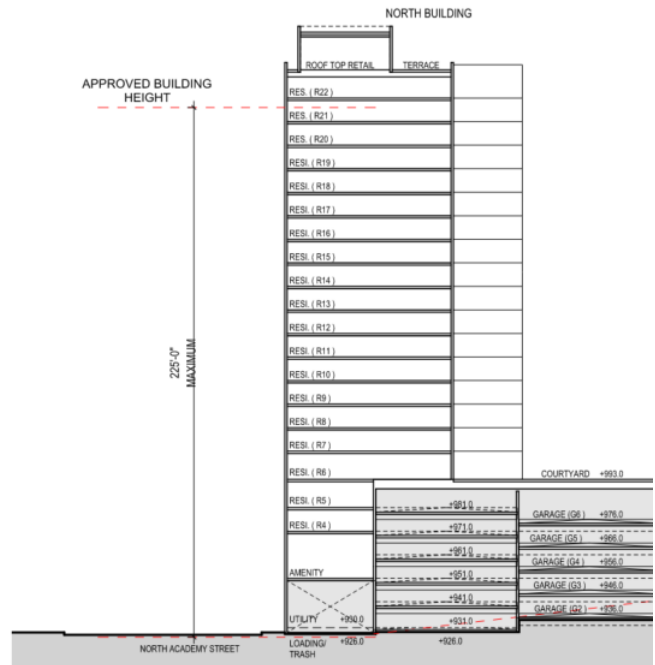
PRI 2 – MASSING

CA 25-295 approved the height and massing of Phase I building (at the time shown as Building 2 / South Building) to be approximately 165’ tall, including 13 stories (12 residential over 1 commercial). The new proposed massing has been reduced to 12 stories (11 residential over 1 commercial) and creates a step-back of approximately 35’ which reduces the sidewall height to approximately 141’. Staff finds this modification to be an improvement to the overall massing and helps to address PRI 2.4 by utilizing a step-back to transition to the smaller adjacent building.



To create the reduction in height for the south building, the north building has been increased in height. The previous approval included a 17-story, 225-foot-tall north building (15 residential over 2 commercial). With the increase in height, the proposed update to the north building shows a total height of 22 stories and 260 feet with a small step-back on either side of the top floor. The section provided indicates 2 commercial floors at the base, 19 residential floors, and one rooftop retail floor.

Staff notes that only one section has been provided to depict the increase in height of the north building. Although additional height as proposed is generally allowable per code and the Design Guidelines, staff recommends further study of the building elevations with regard to step-backs and articulation during the future architectural review to ensure the massing has been appropriately addressed. This may be done with the future architectural submittal for Building 2.

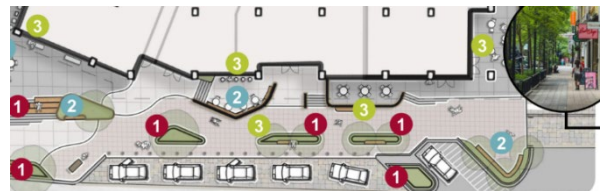


PRI 3 - ENTRY

Despite the challenging grades along N. Main Street, all entrances have been located to enable and promote pedestrian walkability and accommodate all levels of physical ability, per PRI 3.1 and 3.2. Individual tenant space entries include unique pedestrian-scaled elements, recesses, and coverings, breaking down the scale of the building at the ground level and contributing to the public realm. Multiple terraces have been included to provide expanded gathering spaces which interact with tenant spaces at different floor elevations. The residential lobby at the southern corner of the building is also clearly defined and prominent as a double-height space, and serves to create an engaging anchor and primary entrance along Main Street. Its transparency, lighting, and architectural prominence will positively affect the public realm.

Staff notes that the ground-level frontage facing the plaza between Building 1 and Building 2 does not include an entrance. As a retail space fronting the plaza, staff recommends the addition of an entrance in this location to ensure the plaza is directly accessible from the retail space.

Per PRI 3.SS, significant efforts have been made to create engaging tenant spaces at the ground level while addressing the extreme grade along Main Street.



PRI 4 – ACTIVATED GROUND FLOOR

In tandem with highly active uses (retail and residential lobby), the ground-level transparency has largely been maximized to create an engaging pedestrian realm along the building’s entire frontage. This treatment is also generally carried into the plaza between Building 1 and Building 2 with high levels of transparency and operable windows.

As stated above, an entry is recommended to be incorporated into the retail space fronting the plaza, per PRI 4.4. It should also be noted that any future façade modifications for individual tenants will require separate Certificates of Appropriateness, as is customary for large multi-tenant projects.

PRI 5 - ARTICULATION

By stepping the ground floor elevations and creating multiple individualized bays along Main Street, the project is successful in breaking down the scale of the building at the street level and promotes a sense of human scale per PRI 5.1. Although individual tenant spaces have not yet been identified or fully delineated, the articulation at the ground floor reflected in the building elevations is consistent with the typical Main Street storefronts which generally range from 20 to 60 feet in width. These elements also serve to enhance the design and complement or improve upon the articulation of the surrounding buildings, per PRI 5.3.

PRI 5.2 recommends utilizing horizontal and vertical articulation to define and differentiate the street level; however, the second story beneath the projecting bracket on the N. Main St. elevation is somewhat ambiguous. Staff recommends further study of this portion of the façade to improve the legibility and consistency with the overall elevation.



PRI 5.4 states that a design must have a proper balance of articulation, creating a unified whole while providing a healthy amount of variety. Although the renderings provided show a wide range of design aesthetics and colors for the retail frontages, the elevations provided are much more unified and consistent with the requirements outlined in PRI 5. The blend of textures and color tones provides variety between the ground-level spaces while creating a unified whole. Staff notes that the building elevations should serve as the basis for approval, as the perspective renderings may not be completely accurate.

At the upper levels, numerous balconies and projections act to reduce the appearance of the massing for each elevation. Although the north elevation (which will ultimately face Phase II) does not incorporate as much horizontal articulation, the amount of transparency and use of interesting window patterns are successful in contributing to the articulation on this façade.

PRI 6 – MATERIALITY

Per the design guidelines, materials should be high quality, elevate the material diversity of the area, be unique and pleasant to the senses from a pedestrian standpoint, and be able to withstand high foot traffic.

The project employs multiple colors and textures of both ACM and porcelain panels, metal louvers, metal canopies, and window wall and storefront systems. This blend of materials and textures satisfies the recommendation of PRI 6.6 to avoid monotony while creating a balanced and unified whole. While future tenant upfits and added signage may contribute brighter and bolder colors at the street level, they must remain secondary in application compared to the main body or features of the building, and cannot dominate the overall color palette, per PRI 6.8.

As is typical with larger projects, a final material mock-up shall be reviewed on site during construction by a two-member panel of the DRB and staff.

PRI – 10 PARKING STRUCTURES

Per the design guidelines, parking structures are to be screened with high-quality façade materials, and be minimally intrusive upon the pedestrian zone. Per PRI 10.1, 10.3, and 10.4, the garage is wrapped with active uses at the ground level, and is generally oriented to minimize its visibility and impact on surrounding properties. Where the garage is exposed, the applicant intends to apply a vegetated screen that complements the verticality of the architecture, per PRI 10.7. Staff notes that the application packet does not identify an exact product or design for the screen, but shows several images of intent with varying degrees of detailing. The final product or design must be consistent with this intent and submitted with the final landscape package for review and approval by staff and 2 members of the DRB.



Staff Recommendation:

In summary, staff finds that every applicable recommendation from the Design Guidelines, regarding materials and architectural articulation has been met. As such staff recommends Approval with the following conditions:

- 1. Although additional height is allowable for the north building (Building 2), additional study of step-backs and articulation must be reviewed and approved with the future architectural submittal for that building.**
- 2. An additional building entrance must be provided along the plaza frontage to provide direct access to the retail space.**
- 3. The second-story space on the North Main Street elevation must be further refined for improved consistency with the overall façade, to be reviewed by staff and 2 members of the DRB.**
- 4. Final landscape plans, garage screening, and architectural lighting must be reviewed and approved by staff and 2 members of the DRB for approval prior to submitting for permits.**
- 5. A final material mock-up shall be reviewed and approved on site prior to construction by a two-member panel of the DRB and staff.**
- 6. All future tenant upfits must receive individual Certificates of Appropriateness prior to submitting for permits.**
- 7. An Affidavit of Substantial Compliance must be signed and notarized by the property owner prior to the issuance of the Certificate of Conformity.**

8. **This CA is considered a specific site development plan. As such, the CA issued for this project shall be subject to Greenville Development Code Section 19-6.2.F Lapse of approval/vested rights and the Vested Rights Act, Article 11, of Chapter 29, Title 6, of the Code of Laws of South Carolina, 1976 (S.C. Code §§ 6-29-1510 et seq.). The CA shall be valid for a period of two years from the date of approval by the Board. The Vested Right shall be granted up to five annual extensions upon a written request for an extension that must be received from the applicant at least sixty (60) days before expiration, unless any change or amendment to the land development ordinance or regulations of the City of Greenville's Code of Ordinances were to be amended that would no longer allow execution of the site-specific development plan. At any time during the two-year period or any subsequent Vested Rights extensions, the applicant may be granted a building permit from the City Building Official. Should the CA expire at any time prior to the application for a building permit, such permit shall not be issued until a current CA is provided.**

Traffic Engineer Comments

Date: 2/10/2026

Recommend: Approval with No Comments

City Engineer Comments

Date: 3/4/2026

Recommend: Approval with Comments

Comments:

*1. Application review approval is subject to the applicant satisfying all conditions and requirements of the engineering divisions

Civil Engineer Comments

Date: 2/14/2026

Recommend: Approved with No Comments

Environmental Engineer Comments

Date: 3/3/2026

Recommend: Approved with Comments

Comments:

- 1) Anticipated sewer flow from this development may necessitate upgrades to the system. Submit a PSSAR to confirm there is ample capacity to serve this project as soon as possible.
- 2) Wastewater – Wastewater service for the development will be subject to the following conditions:
 - a. There are existing City sewer mains available to serve this development. The developer must confirm that the existing sewer system/treatment plant has available flow from the City and ReWa by submitting a Sewer Capacity Request Form (Service Lateral Fillable Form aka PSSAR).
<https://survey123.arcgis.com/share/0277dbae6a974c5fab9b932b414d59bb>
 - b. The wastewater permitting and acceptance process shall meet those requirements set forth in the City of Greenville Design and Specifications Manual Chapter 8.
 - c. Each building shall have a separate and direct connection to the City's sanitary sewer main.
 - d. Prior to using an existing lateral, the existing lateral must be tested to ensure that it conforms to City of Greenville performance requirements. Provide a video documenting the condition of the existing service connection prior to its reuse. A new lateral will be required if the existing lateral is in poor condition. The final Certificate of Occupancy will not be issued until the lateral is shown to be in good condition or a new lateral is installed.
 - e. Each building shall require a new service fee through ReWa.
 - f. This project will include a Sanitary Sewer Main Extension and will require submittal of a wastewater permit. Submit to the City of Greenville for review via the City's online portal: <https://www.greenvillesc.gov/FormCenter/Engineering-22/SC-DHEC-Wastewater-Construction-Permit-P-385>
 - g. If a sanitary sewer main extension is required to serve newly plat lots, final plat approval will be contingent upon the completion of construction and acceptance by the City of Greenville.



APPLICATION FOR URBAN DESIGN CERTIFICATE OF APPROPRIATENESS
 Contact Planning & Development (864) 467-4476 or planning@greenvillesc.gov

APPLICANT/OWNER INFORMATION

*Indicates Required Field

	APPLICANT	PROPERTY OWNER
*Name:	Kavneet Sethi	[REDACTED]
*Title:	[REDACTED]	[REDACTED]
*Address:	[REDACTED] [REDACTED]	[REDACTED]
*State:	[REDACTED]	[REDACTED]
*Zip:	[REDACTED]	[REDACTED]
*Phone:	[REDACTED]	[REDACTED]
*Email:	[REDACTED]	[REDACTED]

PROPERTY INFORMATION

*STREET ADDRESS 426 and 430 N Main St, Greenville, SC 29601

*TAX MAP #(S) 0033000101000 & 0033000101101

*ZONING CLASSIFICATION MXS-D & CV

*PRESERVATION DISTRICT/SPECIAL DESIGNATION:

- Downtown Review District
 ___ West End Overlay
 ___ Pettigru
 ___ East Park
 ___ Overbrook
 ___ Hampton-Pinckney
 ___ Heritage
 ___ Colonel Elias Earle
 ___ Local Landmark
 ___ National Register

*Pursuant to S.C. Code Ann. § 6-29-1145, I hereby attest that the tract or parcel of land subject to this application IS NOT restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity. Initial: KS

*ARE THERE EXISTING STRUCTURES ON THE PROPERTY? Yes ___ No

DESCRIPTION OF REQUEST

*ORIGINAL APPLICATION # (N/A if new application) NA

To include: scope of project and response to specific guidelines and special conditions.

Refer to attached memorandum.

INSTRUCTIONS

1. All applications and fees (made payable to the City of Greenville) for Certificate of Appropriateness must be received by the planning and development office prior to review. Applications requiring review by the Design Review Board or Historic Review Board must be submitted no later than 2:00 pm of the date reflected on the posted calendar. Fees are due at the time of application.

A. DESIGN REVIEW BOARD	\$300.00, <i>site plan review</i>
	\$300.00, <i>architectural review</i>
B. SIGNS	\$150.00
C. MINOR APPLICATION (STAFF REVIEW)	\$100.00
D. MODIFICATION TO AN APPROVED PROJECT	
Major (requires review by DRB)	½ Original Fee
Minor (requires review by staff)	\$50.00
E. INFORMAL REVIEW	\$50.00

2. Staff will review the application per Section 19-6.2.1.B.3 for completeness.
3. **Public Notice Requirements (not applicable for minor applications).** Certificate of Appropriateness applications require public notice. The applicant is responsible for sign posting to the subject property at least 15 days (but no more than 18 days) prior to the scheduled design review board meeting date. Staff will provide the applicant with instructions, sign, and an affidavit of posting upon receipt of the application fee. The signed affidavit will be required with attached photos of the posted notice prior to review.
4. You must attach a complete digital set of scaled drawings of the property. A printed set of drawings is NOT required. Additional information may be requested at any time to fully understand the proposal. **Projects may require a two-phase DRB review process (Site Plan Review followed by Architectural Review), dependent on the scale of the proposed plans. Staff will notify the applicant upon receipt of the application if a two-phase review is required.**
5. Unless otherwise determined by the administrator, all applications must contain the following:

SITE PLAN REVIEW

- a. Site Plan Drawings (indicating footprint of existing buildings, proposed building, proposed exterior elements, demolition of existing site features, floor plan, conceptual landscape plan with materials notated, conceptual lighting, conceptual furnishing package, proposed exterior equipment, etc.).
- b. Massing Studies and Images (images shall be high resolution and should depict adjacent building, proposed building massing from various viewpoints, initial architectural details, photos of surroundings to review context, etc.).
- c. A digital model that includes the surrounding context with massing only (no texture or articulation is required).

ARCHITECTURAL REVIEW

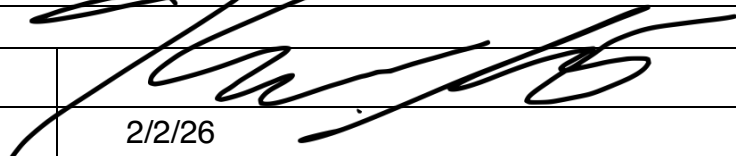
- a. Elevation Drawings of all Exterior Sides (indicate proposed materials; existing grade and proposed grade; proposed mechanical equipment; outdoor lighting fixtures; location of signage; removal of existing building elements; addition to existing building; and a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- b. Sections (include vertical dimensions in feet; building sections where significant changes occur in building volume; and wall section for review of material relationships).
- c. Detail Drawings (include material and methods of each type of construction affecting the exterior appearance of the structure; samples; and brochures or photographs of all exterior finishes, windows, fixtures, lighting and signage).
- d. Renderings (include perspective drawings, including views from pedestrian and public realm).

- e. Model (digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed sign location).
- f. Comparative Images (images of existing conditions and proposed modifications for all alterations to existing structures with proposed changes highlighted)
- g. Labeled Physical Samples of exterior finishes must be provided at the Public Meeting to the DRB.

For more detail on these submittal requirements, please refer to the [Greenville Downtown Design Guidelines](#), adopted May 2017.

Please verify that all required information is reflected on the plan(s).

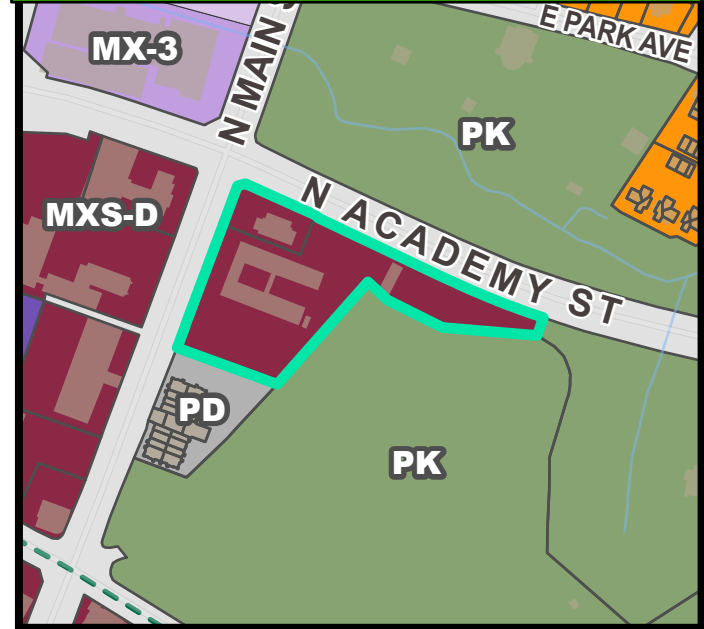
6. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application, including any/all supplemental information, is true and correct to the best of their knowledge, and they have provided full disclosure of the relevant facts.

*Signatures	
Applicant	
Date	2/2/26
Property Owner/Authorized Agent	426 N. Main LLC and SC 426 Main LLC
Date	2/2/26
Public Hearing information	
Public Hearing signs	

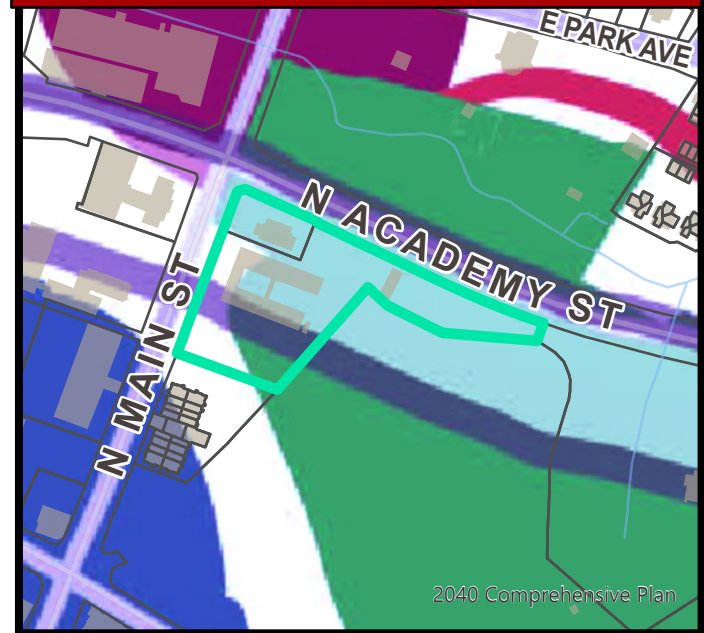
AERIAL VIEW



CURRENT ZONING



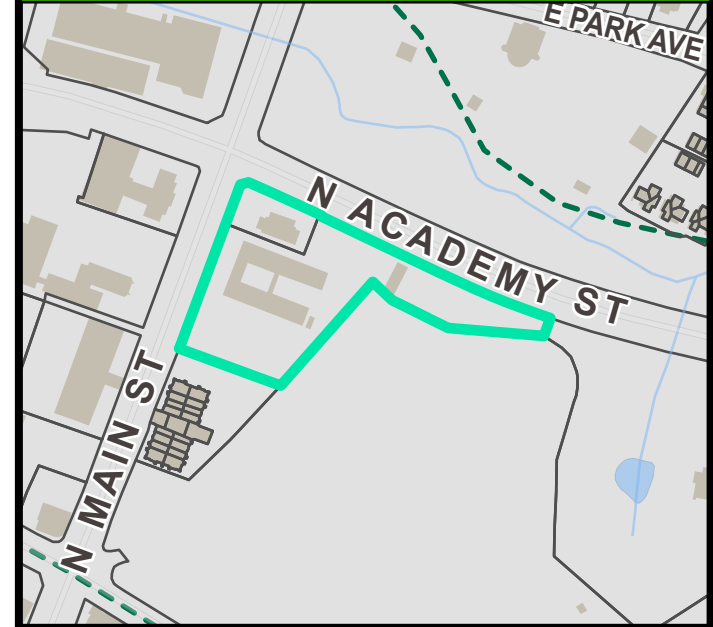
FUTURE LAND USE



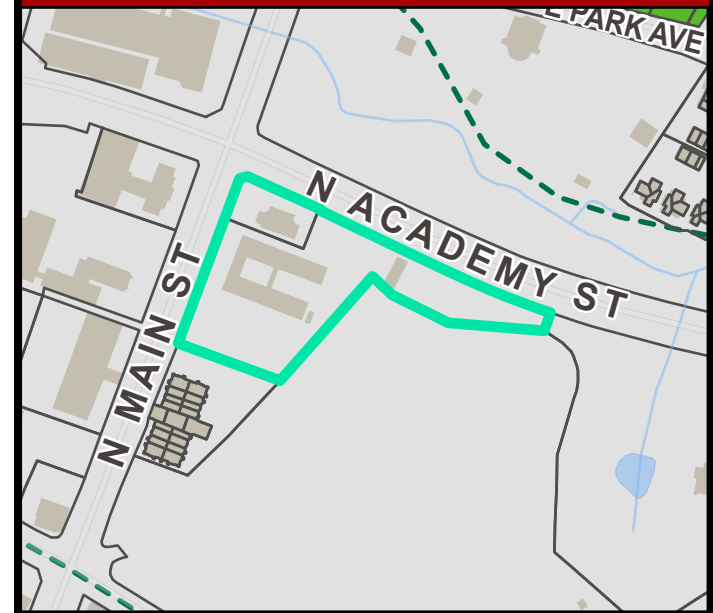
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS



Memorandum

To: Design Review Board Urban Panel

From: Scott Johnston

Date: February 2, 2026

Project: 426 N Main Street

Re: Architectural Review Certificate of Appropriateness
Urban Design Panel

This application is for Certificate of Appropriateness for 426 N Main Street with conditions for additional review of phase 1 landscape plan and architectural lighting, and is summarized as follows...

Scope

426 N Main Street “South” Building will deliver approximately 280 apartments, approximately 6,000 sf of commercial space designed for food oriented retail, and approximately 285 structured parking spaces concealed by active commercial spaces at street level and by an architectural screen at the east façade and, if north building construction does not proceed immediately, the north façade. Consistent with the Site Plan Application, the urban design intent is to...

1. Extend and anchor the north end of the Halprin District;
2. Serve as a gateway and arrival experience into the urban core as approached by vehicle from the north; and
4. Significantly enhance the pedestrian experience along the 400 block of N Main Street as it approaches McPherson Park.

The DRB UDP provided Site Plan approval 426-430 N Main Street on August 21, 2025. This application does not materially differ from the site plan application on previously approved design elements except the south building is shorter and the north building is taller than the site plan application.

This application is for an Architectural Certificate of Appropriateness (Architectural Review) and includes the following components...

1. Façade design;
2. Updated building massing for all buildings; and
3. Exterior material and color selections.

Memorandum

It is anticipated the Architectural Certificate of Appropriateness will be subject to the following conditions...

1. Final review by two or more members of DRB UDP of final south building landscape plan; and
2. Final review by two or more members of DRB UDP of architectural façade lighting design.

Primary Guidelines of Relevance

PUB 3. Sidewalk Zone - All six Guidelines are addressed by the submitted design.

PUB 4. Street Furnishing Zone - All four Guidelines are addressed by the submitted design. Final furniture selections will be provided for Planning Staff approval at a later date.

PUB 5. Planting Zone - All ten Guidelines are addressed by the submitted design.

PUB 6. Building Transition Zone – The design responds to all eleven Guidelines and includes space and design elements appropriate to dining venues. Detailed design and furnishing specifications will be provided with tenant building permit drawings by separate application(s).

PRI 5. Articulation and PRI 6. Materiality – the articulation and materiality of each architectural element are responded to below...

- Base – The primary materials at the pedestrian level are clear glass, porcelain and metal panel. The secondary materials are treated glass and ACM. Garage openings to be screened with a metal lattice and live green screen system.
- Pedestrian Level Canopies – Simple ACM canopies.
- Upper Levels – The primary materials are window wall and ACM. The secondary materials are mesh handrails.
- Parking Garage Façade – If the north building construction does not proceed prior to final Certificate Of Occupancy of the south building, then a façade will be installed on the north face of the garage. The east façade and possibly the north façade of the garage will be executed with aluminum framing and articulated mesh screen.
- Site garden walls will incorporate stone masonry reclaimed from the former American Legion Building in compliance with the COA for the site plan and massing.

PRI 6. Materiality – The proposed materials specifically respond to General Guideines 6.1, 6.2, 6.3, 6.4, 6.5, 6.6, 6.7, and 6.8.

PRI 8. Private Outdoor Spaces – Multiple gathering places are provided at the pedestrian level for the patrons of the commercial spaces and residents in a manner that activates the public sidewalk. Additionally, a secluded hospitality terrace is provided on the north side of the south building at level R5 and a fitness and pool terrace is provided at level R15.

PRI 9. Parking Lots – Short term parallel parking is provided along Main Street. The parking zone is furnished with paving materials compatible with the pedestrian terraces and to differentiate the parking zone from the vehicular travel lanes.

Memorandum

PRI 10. Parking Structures – All ten Guidelines are addressed by the submitted design. Specifically, high quality façade materials are provided both at the street and at the elevated parking levels in response to PRI 10.3. The composition of three façade components for the parking structure specifically is in an effort to reflect the character, materiality, and articulation of the architectural composition as a whole in response to PRI 10.7.

Design solutions demonstrating compliance with the following guidelines will be submitted for review at a later date...

PUB 9. Lighting

PUB 11. Signage

PRI 7. Architectural Lighting



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BIJOU PROPERTIES

COVER PAGE

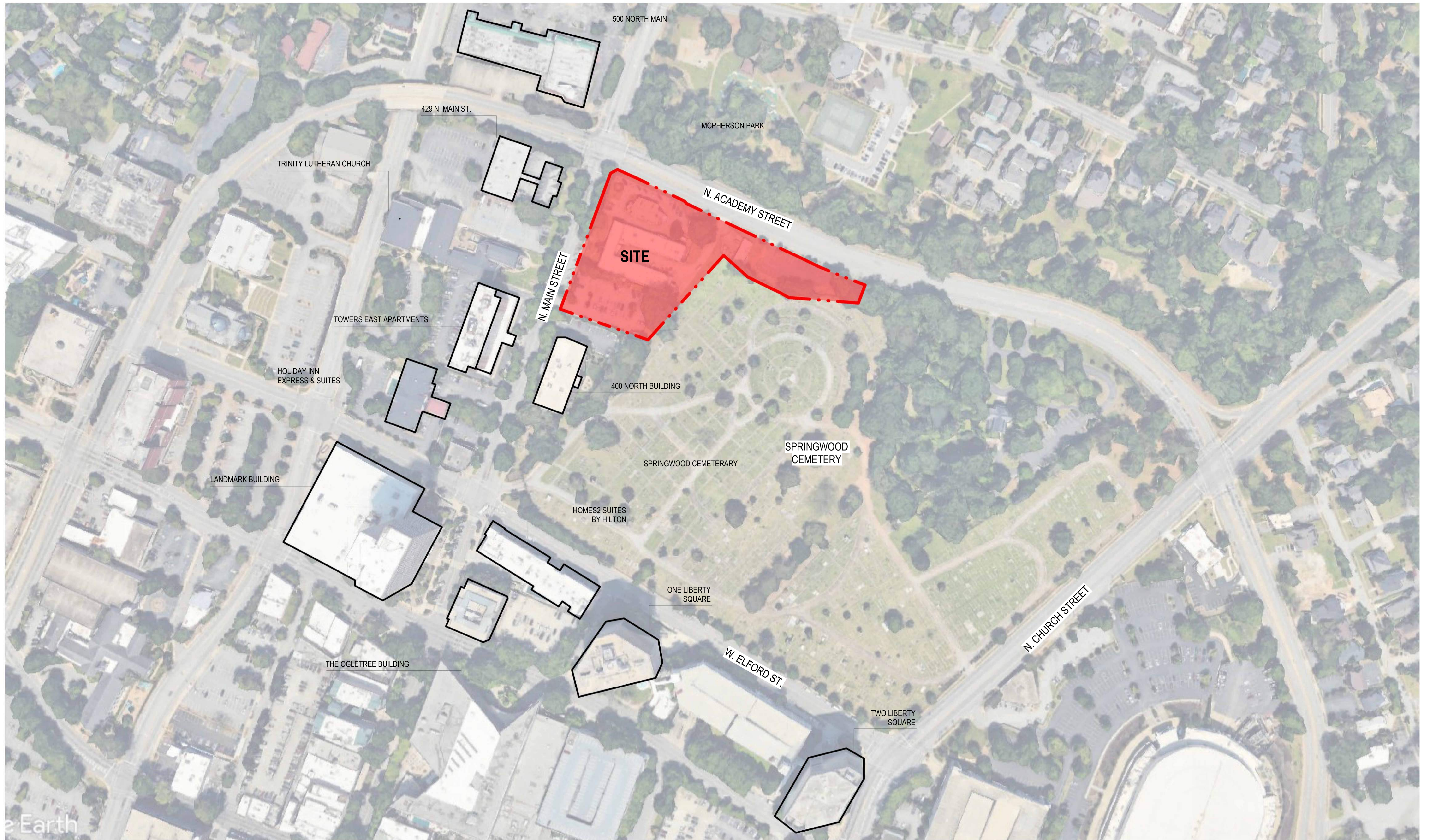
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426 N MAIN ST. DRB ARCHITECTURAL REVIEW

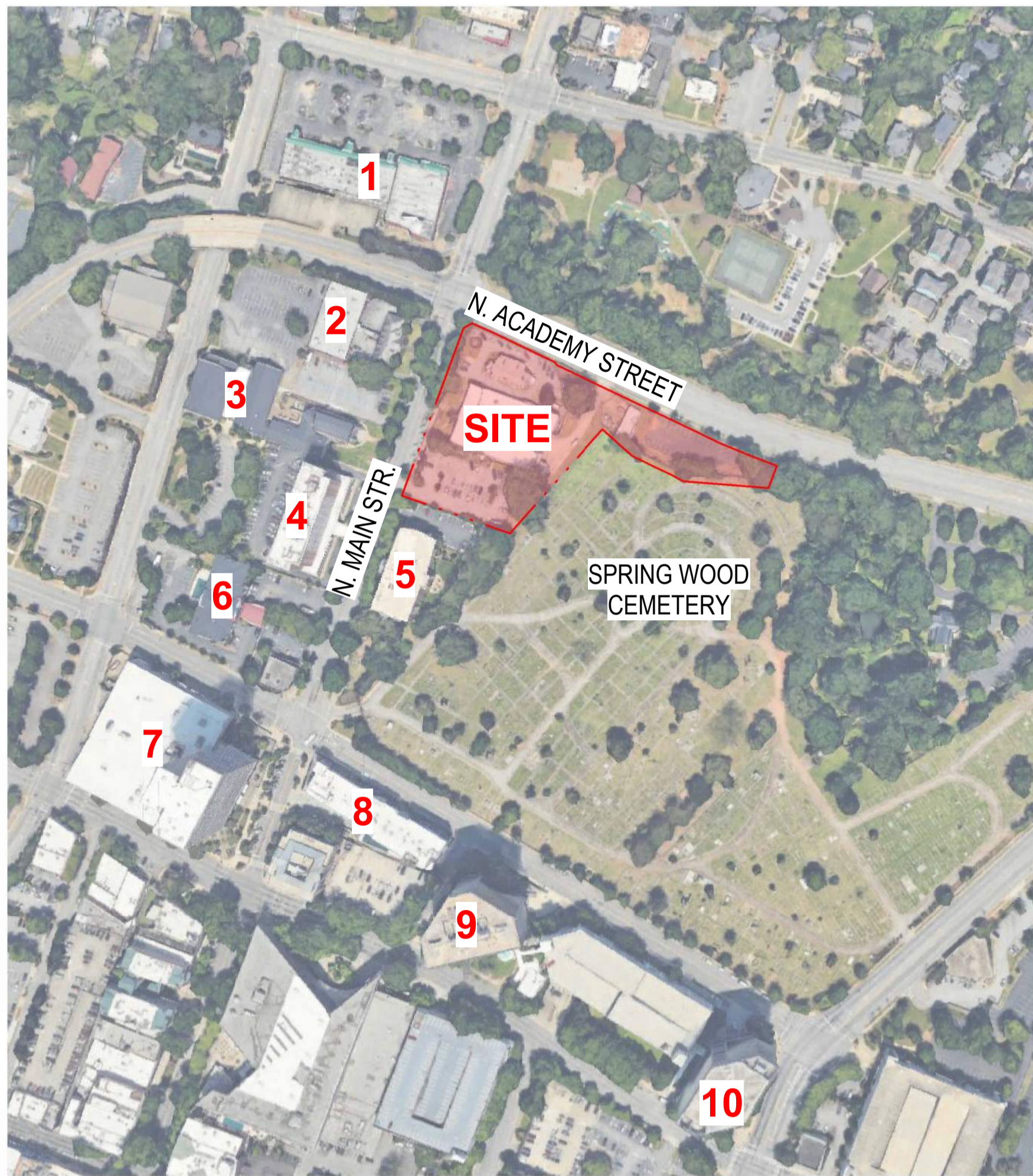
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CONTEXTUAL PLAN

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

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1. 500 NORTH MAIN



2. 429 N MAIN ST.



3. TRINITY LUTHERAN CHURCH



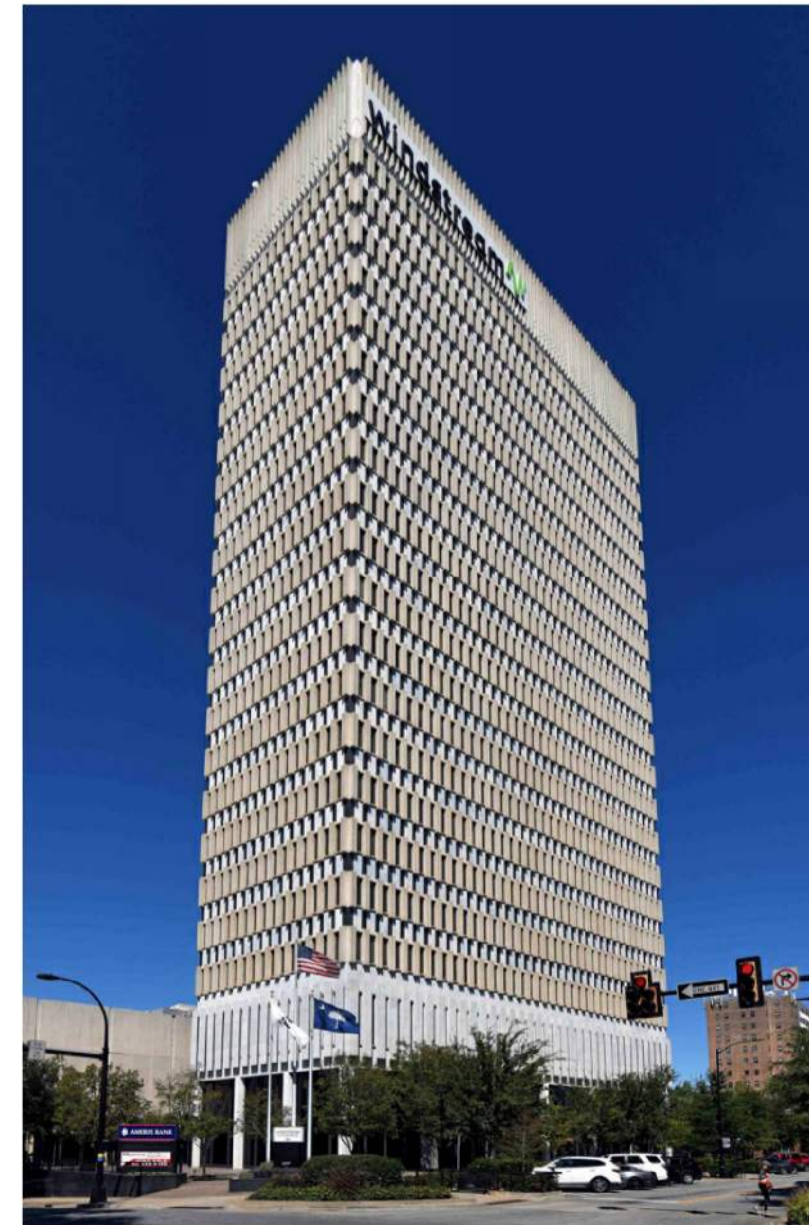
4. TOWERS EAST APARTMENTS



5. 400 NORTH BUILDING



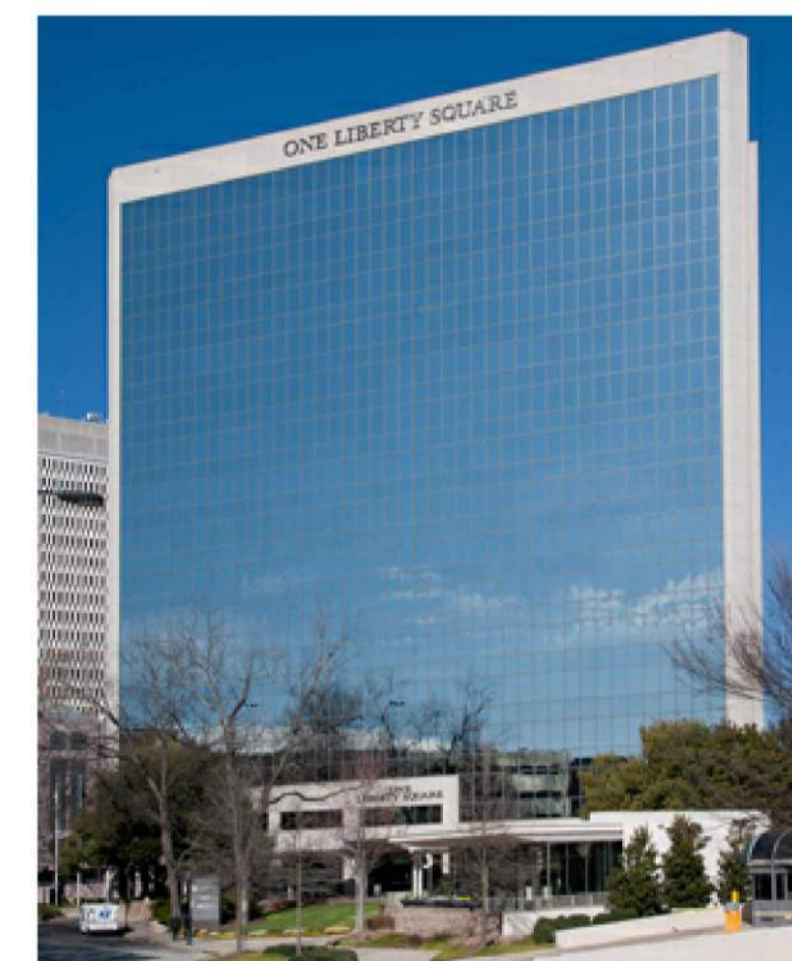
6. HOLIDAY INN EXPRESS



7. WINDSTREAM



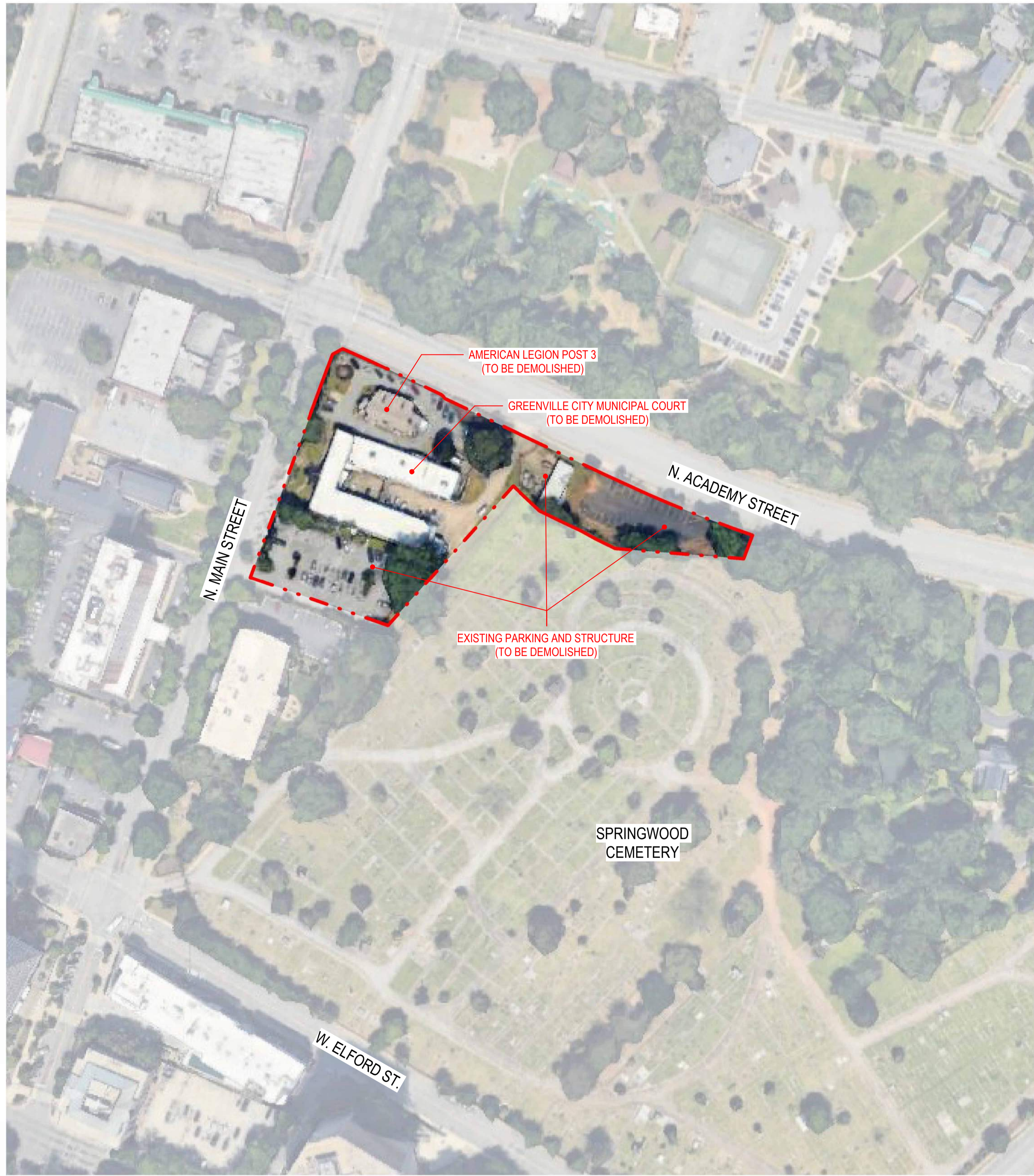
8. HOMES2 SUITES BY HILTON



9. ONE LIBERTY SQUARE



10. TWO LIBERTY CORNER



SITE PLAN - EXISTING CONDITION



SITE PLAN - PROPOSED CONDITION



BIJOU PROPERTIES

SITE PLAN - EXISTING & PROPOSED

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

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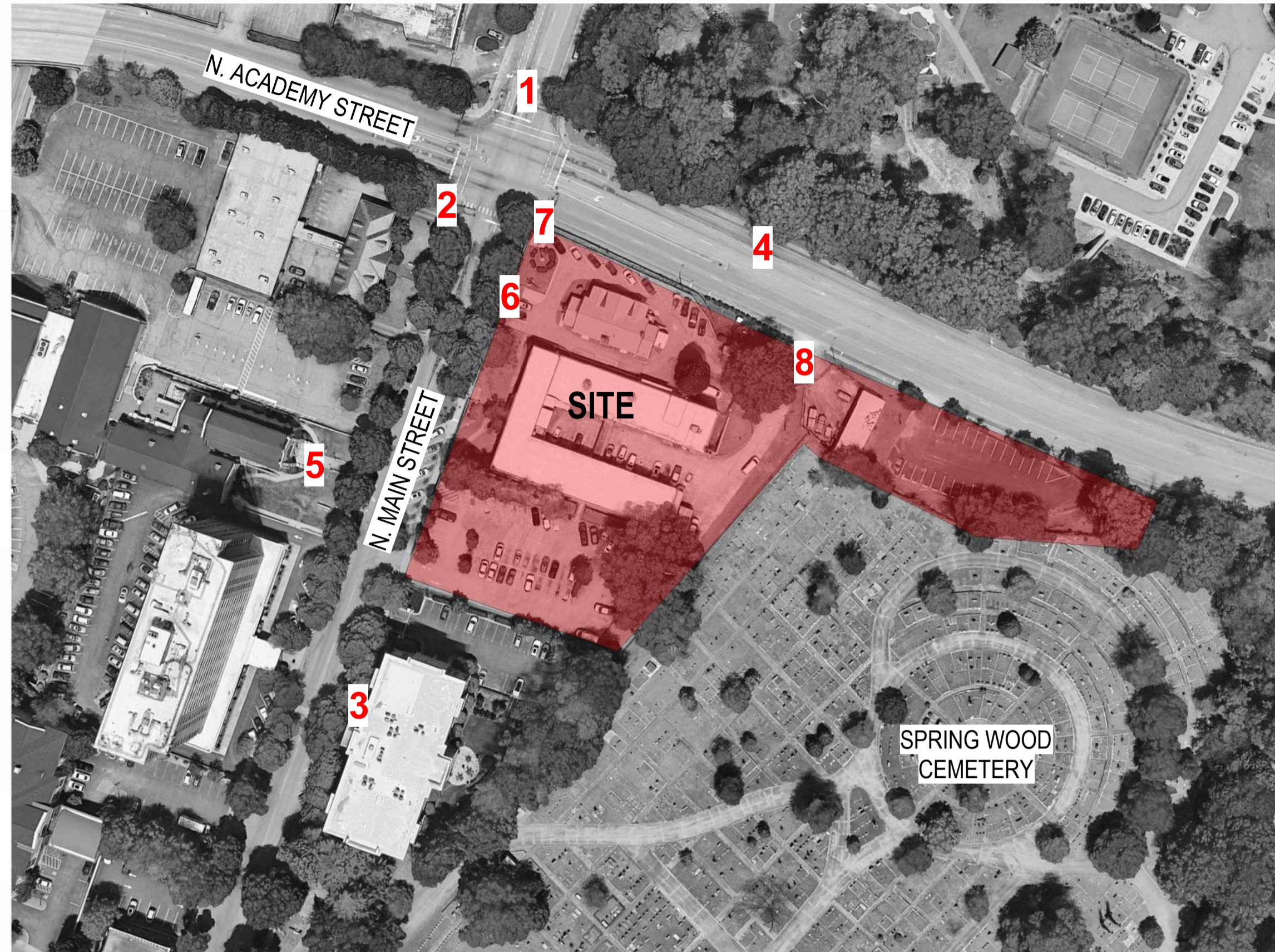
SCALE: 1" = 100' (@ 22"X34")

Kimley»Horn

JDG JOHNSTON DESIGN GROUP



lessard DESIGN



1. N MAIN ST



2. 429 N MAIN ST.



3. 400 N MAIN ST



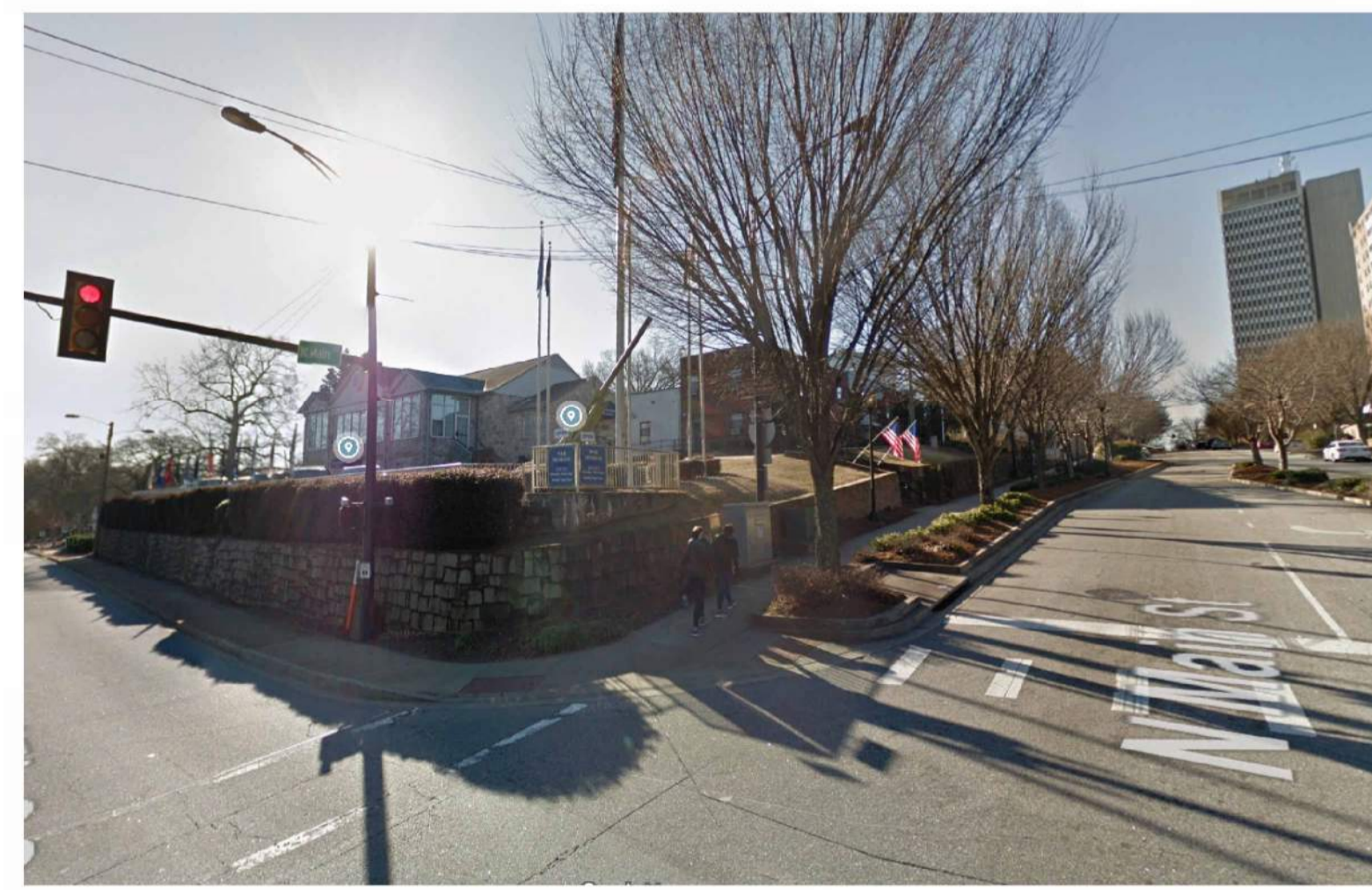
4. N ACADEMY ST



5. LUTHERAN CHURCH



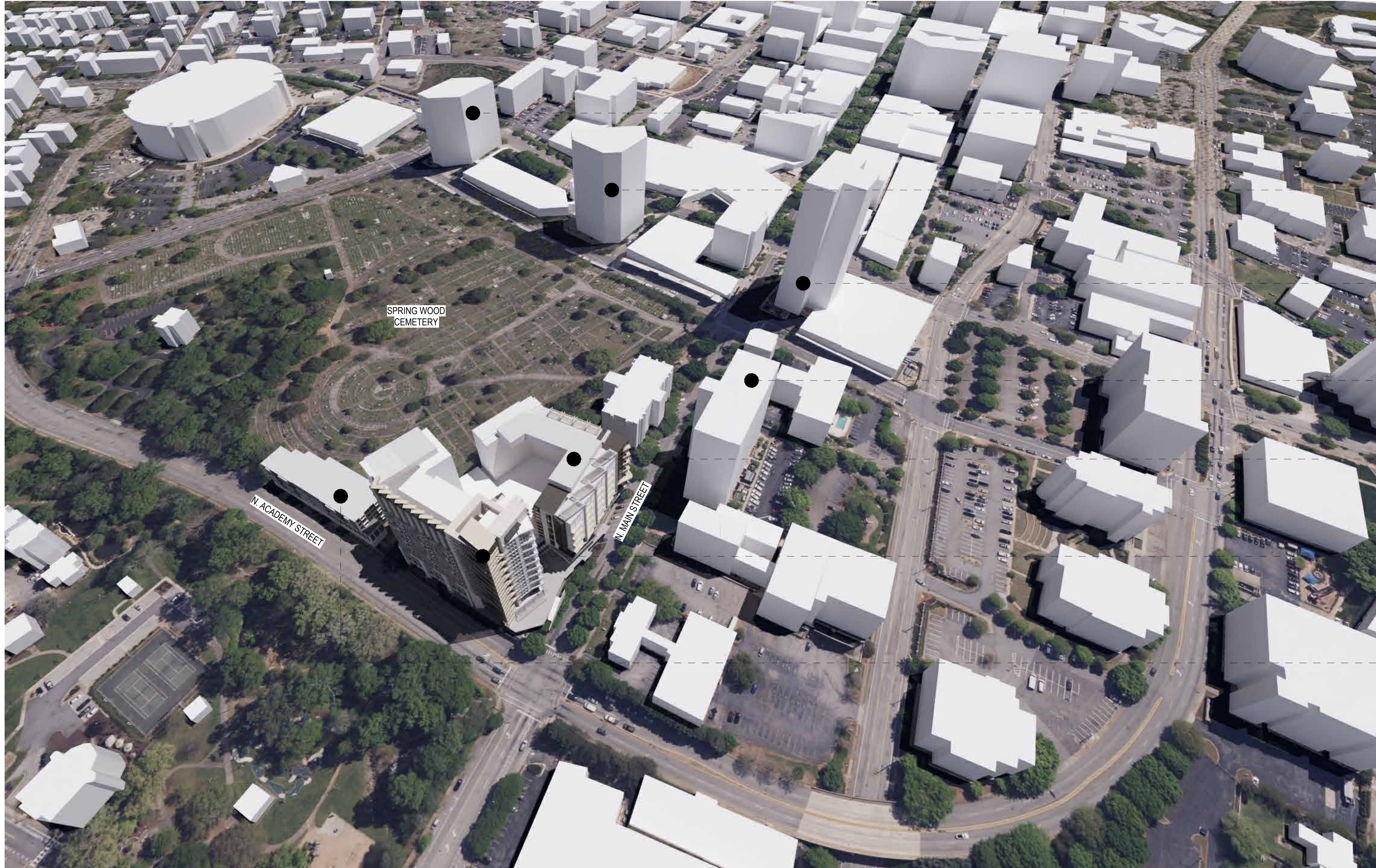
6. VIEW OF SITE FROM N MAIN ST



7. VIEW OF SITE FROM INTERSECTION OF ACADEMY & N MAIN ST



8. VIEW OF SITE FROM ACADEMY ST



LIBERTY 1
14 STORIES

LIBERTY 2
17 STORIES

LANDMARK
26 STORIES

TOWER EAST
15 STORIES

426 N MAIN SOUTH BLDG.
12 STORIES FROM MAIN ST.
(12 STORIES TOTAL)

426 N MAIN NORTH BLDG.
22 STORIES FROM MAIN ST.
(22 STORIES TOTAL)

ACADEMY ST. EAST BLDG.
6 STORIES FROM ACADEMY



* NOTE: CONTEXT SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION. LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSE ONLY AND IS SUBJECT TO CHANGE AS THE PROJECT DEVELOPS.

SUMMARY OF PROVISION

ZONE: MXS-D
SITE AREA: 2.83 ACRE 123,383 SF

SOUTH BUILDING:

RESIDENTIAL AREA:
 R3/G4 2,000 GSF
 R4/G5 5,600 GSF
 TYPICAL FLOOR 25,100 GSF
 (TOWER) 10 LEVELS 251,000 GSF
 PENTHOUSE 15,550 GSF
 TOTAL RES. AREA +/- 304,250 GSF
 (AMENITY +/- 12,300 GSF)
 MAX. 285 DU @ 1050 GSF
 NET RES. AREA +/- 242,340 GSF
 EFFICIENCY 79.7%
RETAIL: 6,000 GSF

NORTH BUILDING:

RESIDENTIAL AREA:
 G1 450 GSF
 G2 3,200 GSF
 R4/G5 10,100 GSF
 R5/G6 11,300 GSF
 TYPICAL FLOOR 20,100 GSF
 (TOWER) 17 LEVELS 341,700 GSF
 TOTAL RES. AREA +/- 382,950 GSF
 (AMENITY +/- 24,250 GSF)
 MAX. 360 DU @ 1,070 GSF
 NET RES. AREA +/- 313,800 GSF
 EFFICIENCY 81.9%
RETAIL: 8,650 GSF

EAST BUILDING:

RESIDENTIAL AREA:
 G1 1,500 GSF
 R1 15,150 GSF
 R2 15,150 GSF
 TYPICAL FLOOR 14,450 GSF
 3 LEVELS 43,350 GSF
 TOTAL RES. AREA +/- 75,350 GSF
 MAX. 70 DU @ 1,155 GSF
 NET RES. AREA +/- 64,500 GSF
 EFFICIENCY 85.6%
 TOTAL PROJECT RES. AREA +/- 762,550 GSF
TOTAL UNITS MAX. 715 DU
 GROSS AVE./DU 1,067 GSF
 NET AVE./DU@81% 864 NSF

PARKING PROVIDED

SOUTH BUILDING RESI. 257 PS
 RETAIL 10 PS
 TOTAL P.S. @NORTH BUILDING 267 PS
NORTH BUILDING RESI. 343 PS
 RETAIL 10 PS
 TOTAL P.S. @SOUTH BUILDING 353 PS
EAST BUILDING RESI. 64 PS
 TOTAL P.S. @EAST BUILDING 64 PS
TOTAL P.S PROVIDED 684 PS



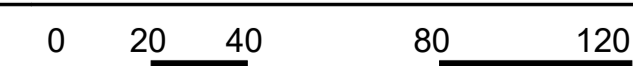
BIJOU PROPERTIES

ILLUSTRATIVE SITE PLAN

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

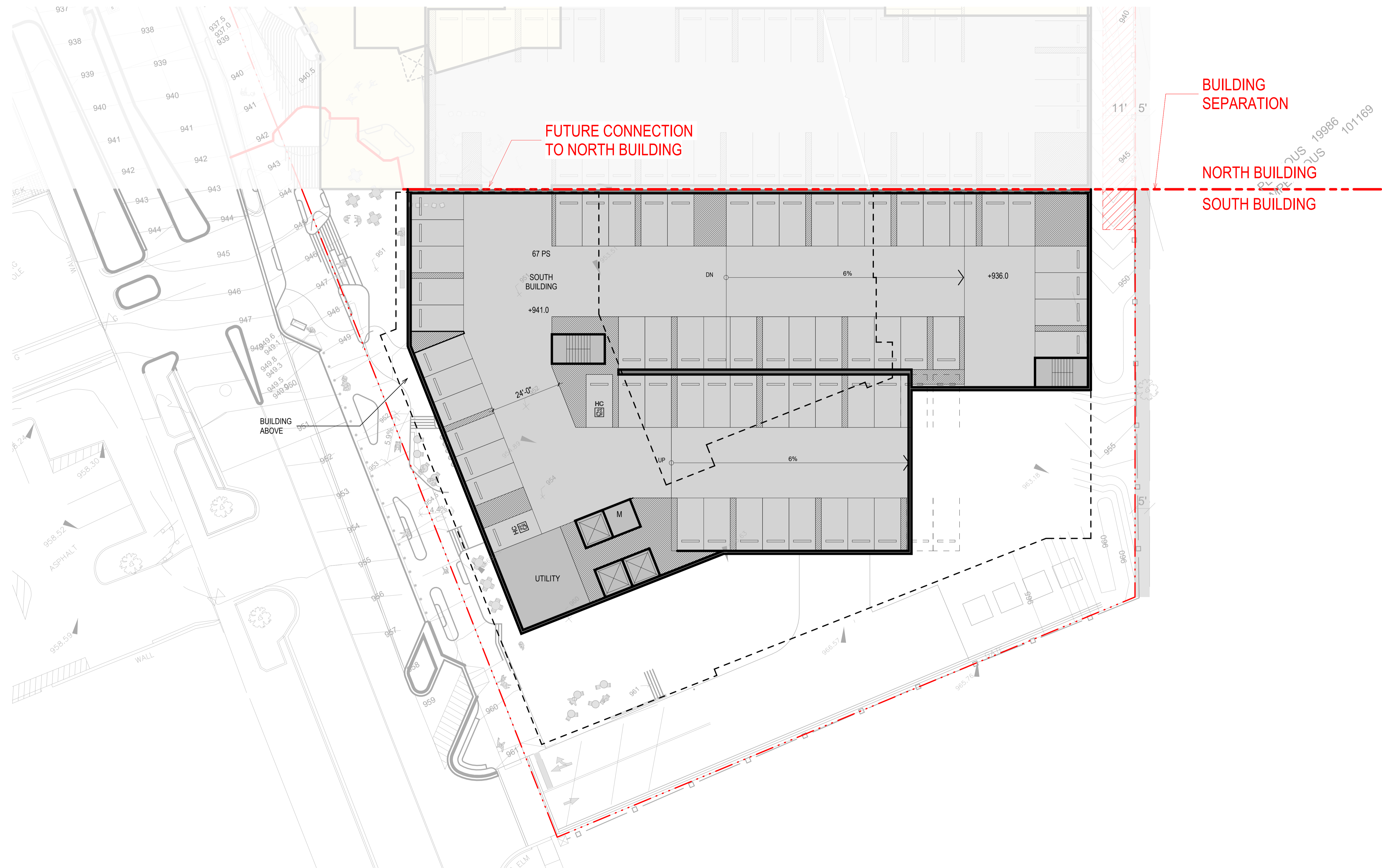
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A-07 Kimley»Horn



SCALE: 1" = 40' (@ 22"X34")





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BIJOU PROPERTIES

FLOOR PLAN - G1

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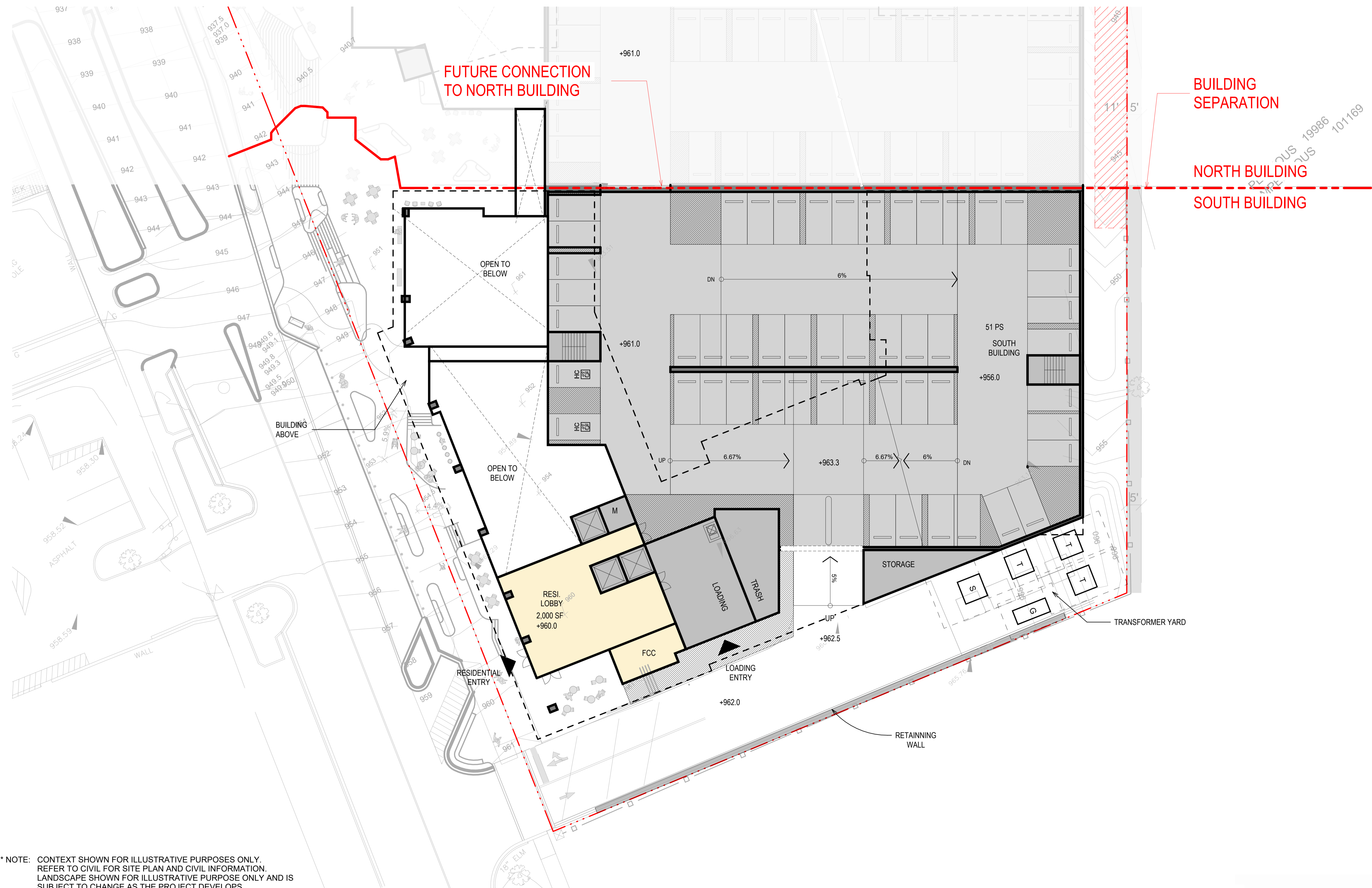
Kimley»Horn

0 4 8 16 32
 SCALE: 1/16" = 1'-0" (@ 22"X34")

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BIJOU PROPERTIES

FLOOR PLAN - R2/G3

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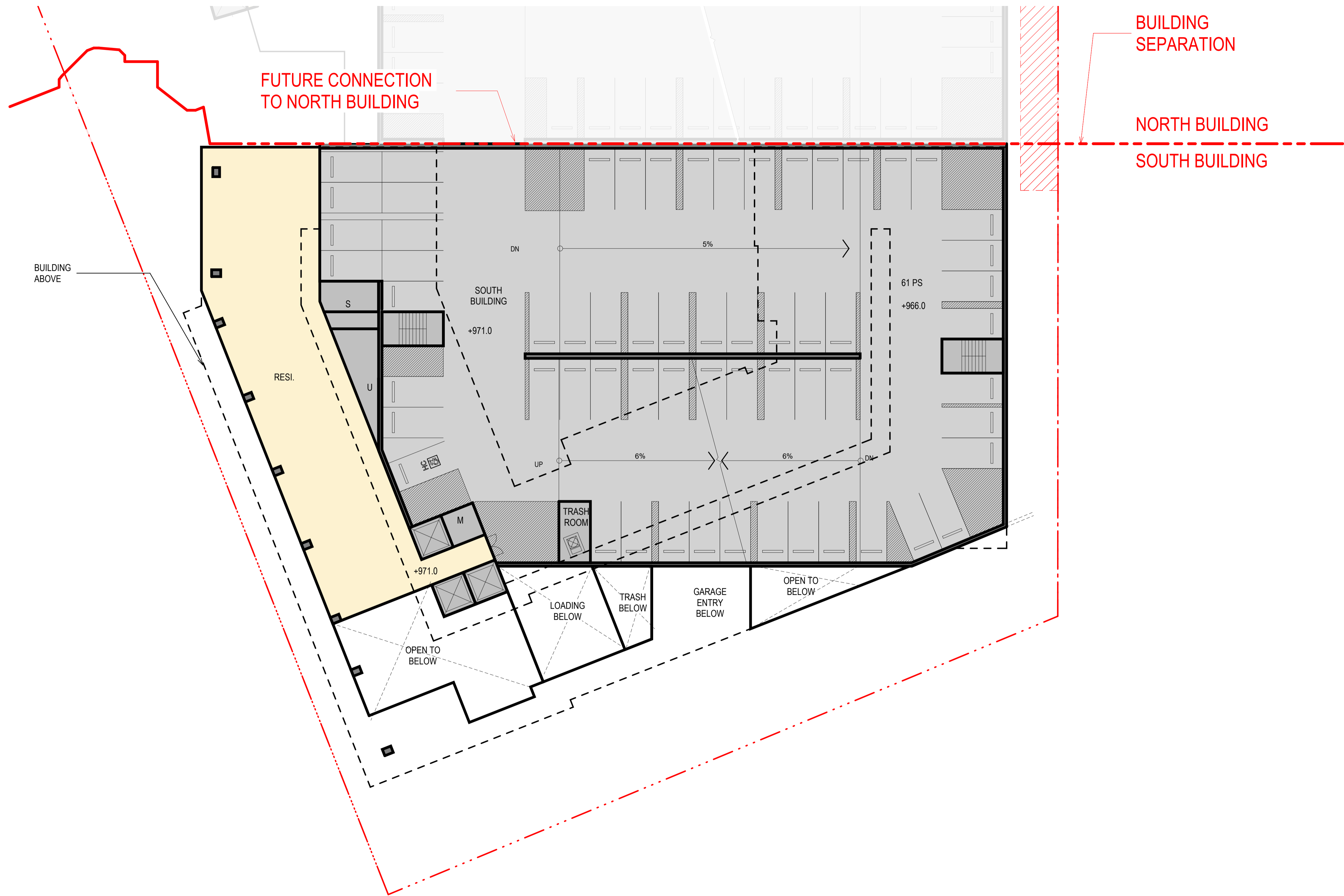
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0 4 8 16 32
SCALE: 1/16" = 1'-0" (@ 22"X34")

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BIJOU PROPERTIES

FLOOR PLAN - R3/G4

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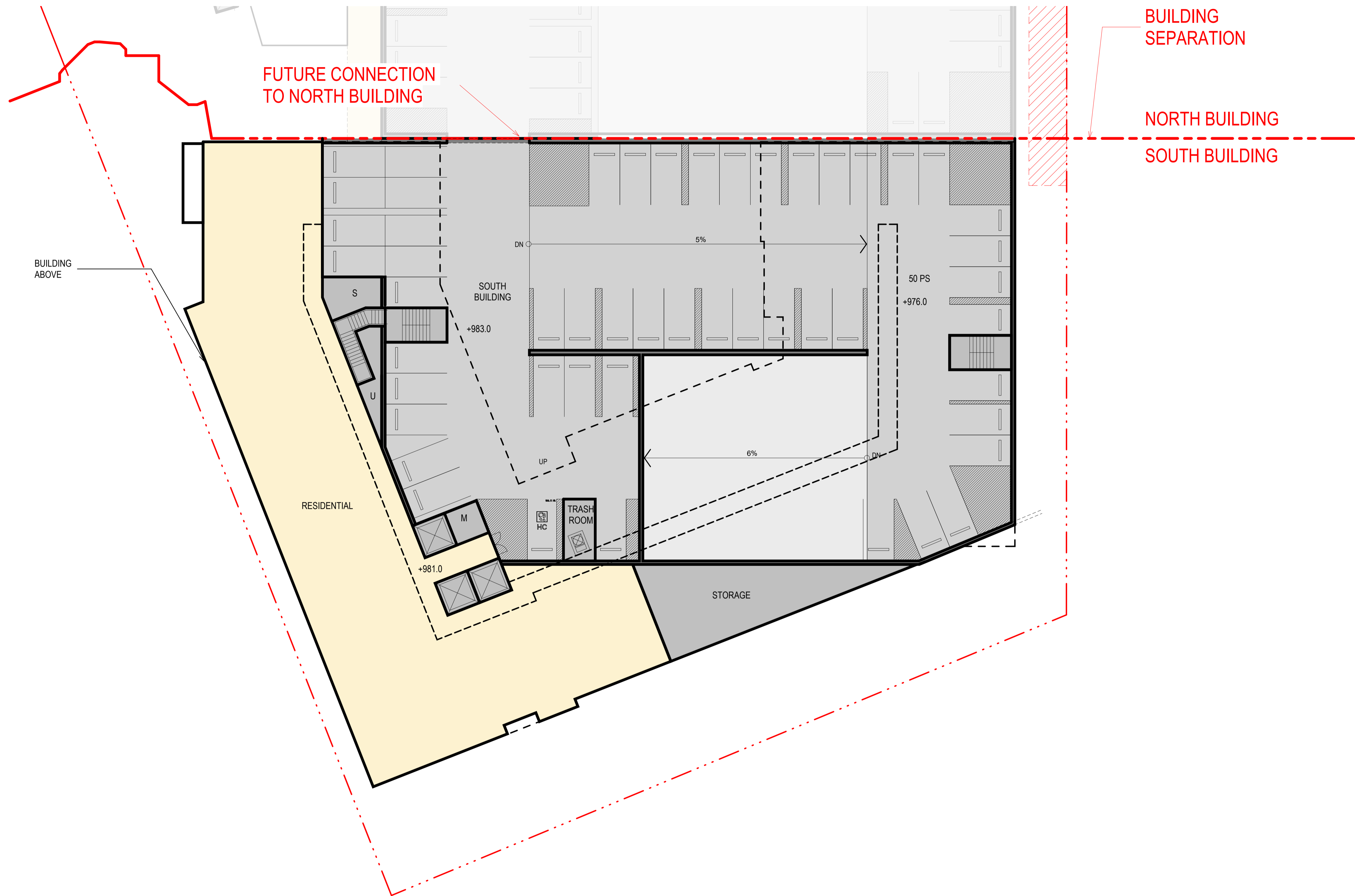
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 SCALE: 1/16" = 1'-0" (@ 22"X34")



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FLOOR PLAN - R4/G5

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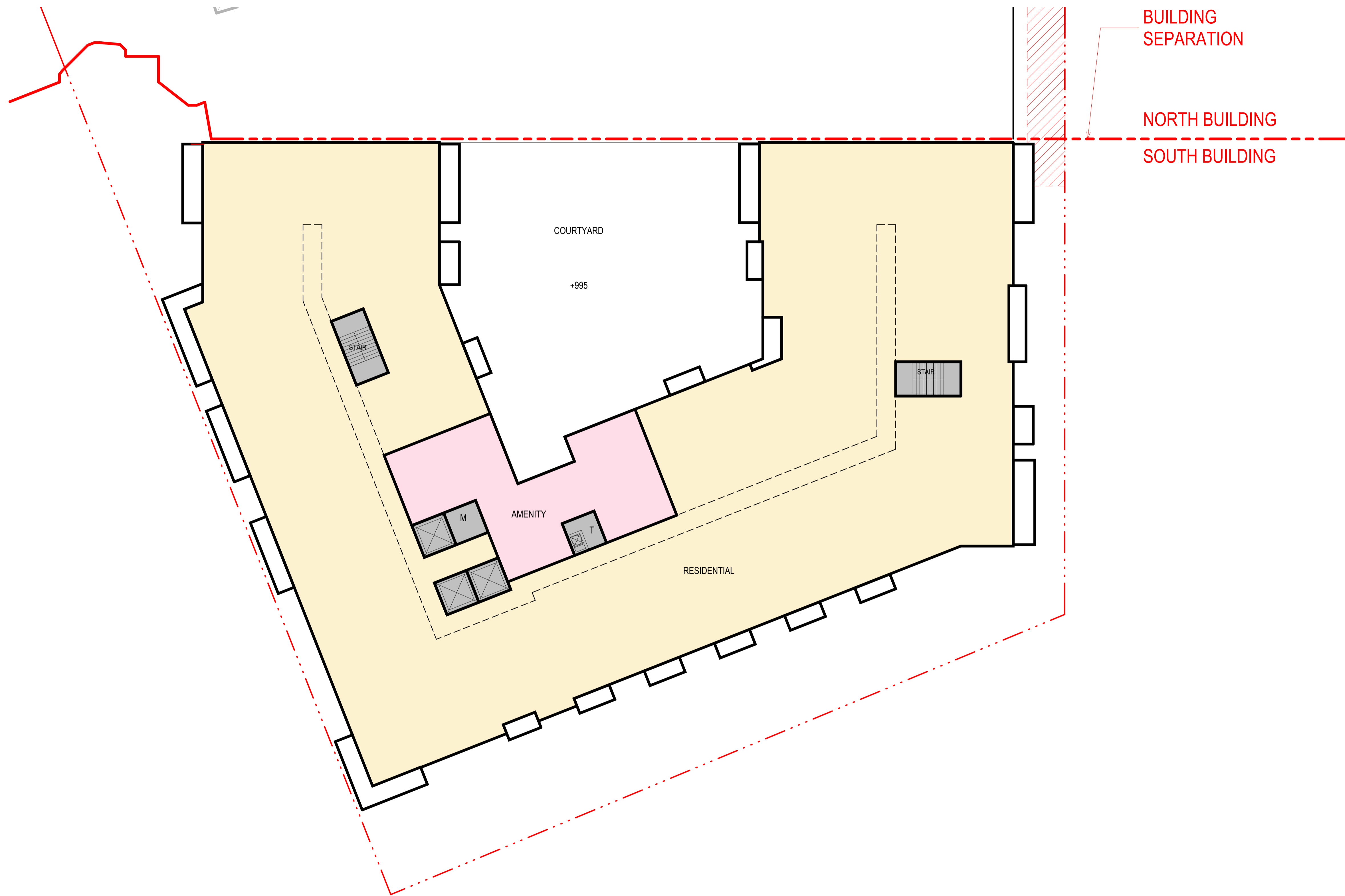
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 SCALE: 1/16" = 1'-0" (@ 22"X34")



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BIJOU PROPERTIES

FLOOR PLAN - R5

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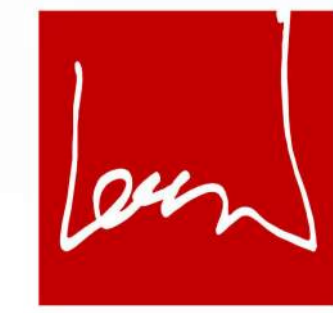
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 SCALE: 1/16" = 1'-0" (@ 22"X34")



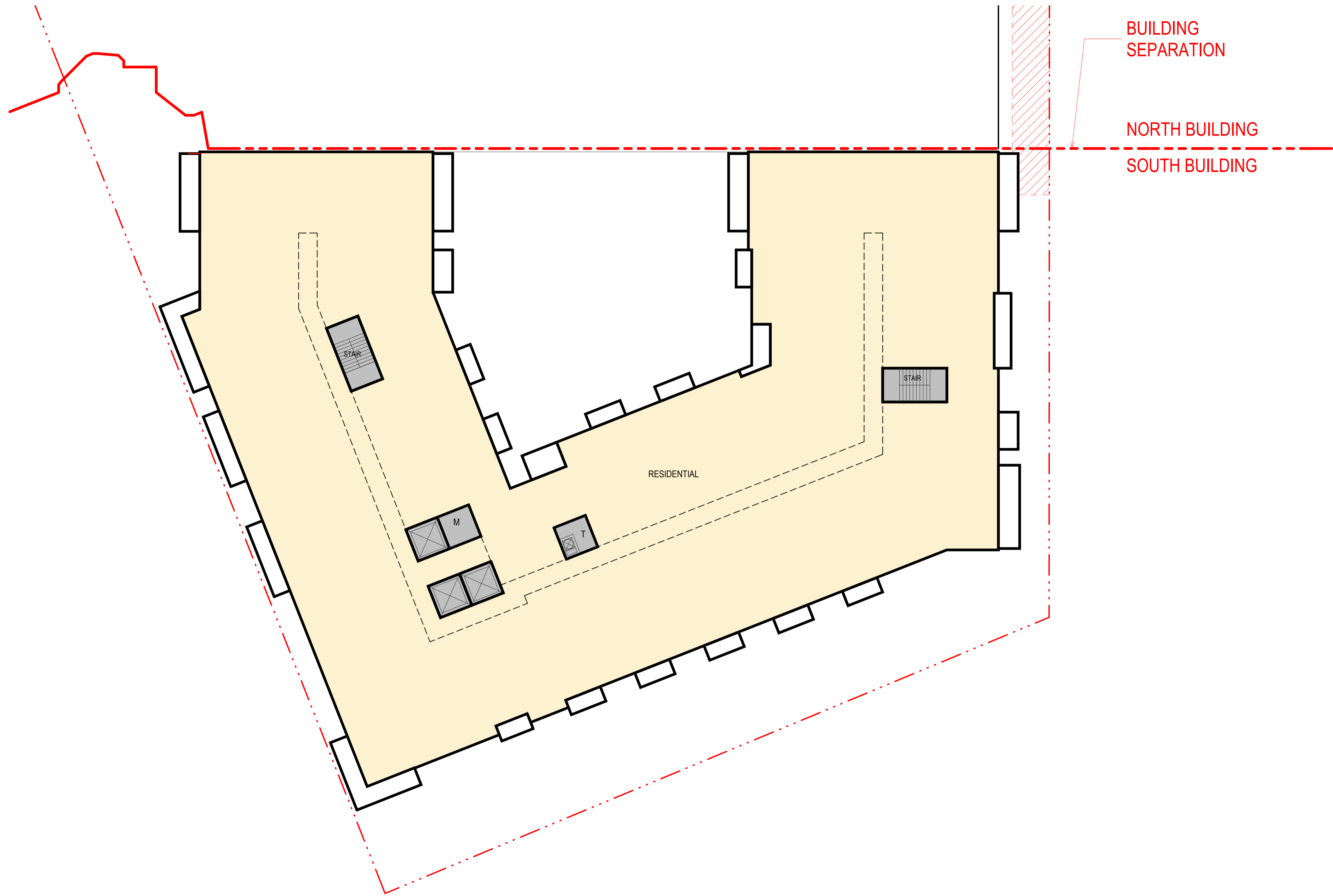
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BUILDING SEPARATION

NORTH BUILDING

SOUTH BUILDING

RESIDENTIAL

STAIR

STAIR

M

T

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BIJOU PROPERTIES

FLOOR PLAN - R6-R14

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

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SCALE: 1/16" = 1'-0" (@ 22"X34")

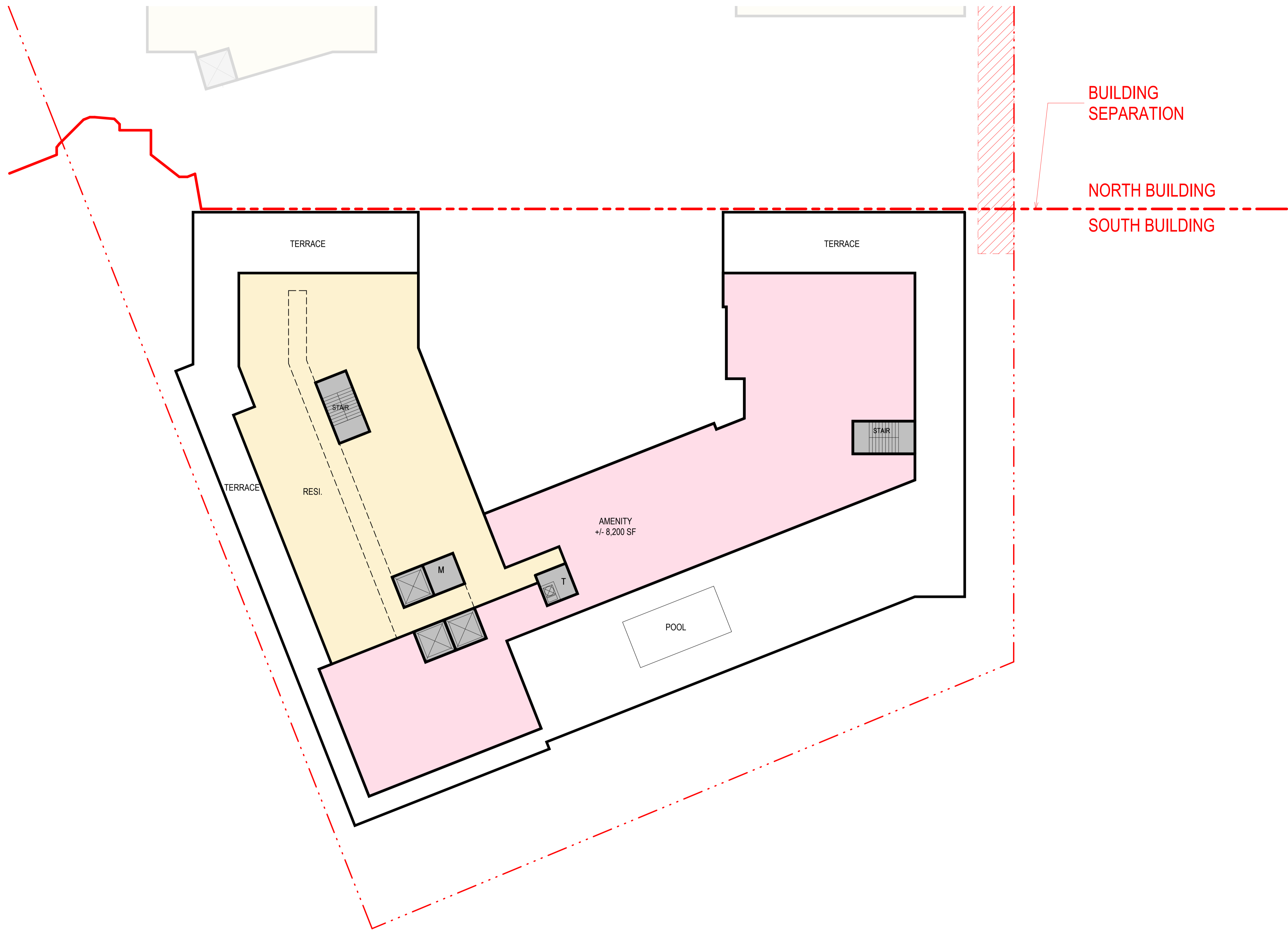


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FLOOR PLAN - PENTHOUSE

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ACROSS N. MAIN STREET

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INTERSECTION AT N. ACADEMY & N. MAIN ST.



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LOOKING SOUTH ON N. MAIN STREET



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AFTERNOON VIEW OF PLAZA



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LOOKING AT RESIDENTIAL ENTRANCE



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LOOKING AT RESIDENTIAL



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LOOKING AT RESIDENTIAL



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EVENING VIEW OF PLAZA



BIJOU PROPERTIES

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RETAIL ENVIRONMENT ON N. MAIN STREET

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LOOKING FROM SPRINGWOOD CEMETERY



BIJOU PROPERTIES

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BIJOU PROPERTIES

RENDERING

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ACROSS N. MAIN STREET

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LOOKING SOUTH ON N. MAIN STREET

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LOOKING SOUTH ON INTERSECTION AT N. MAIN ST. & ACADEMY ST.



BIJOU PROPERTIES

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MATERIAL APPLICATION EXAMPLE

- 1
- 2
- 3
- 4
- 6
- 5



1. METAL PANEL: DARK GRAY



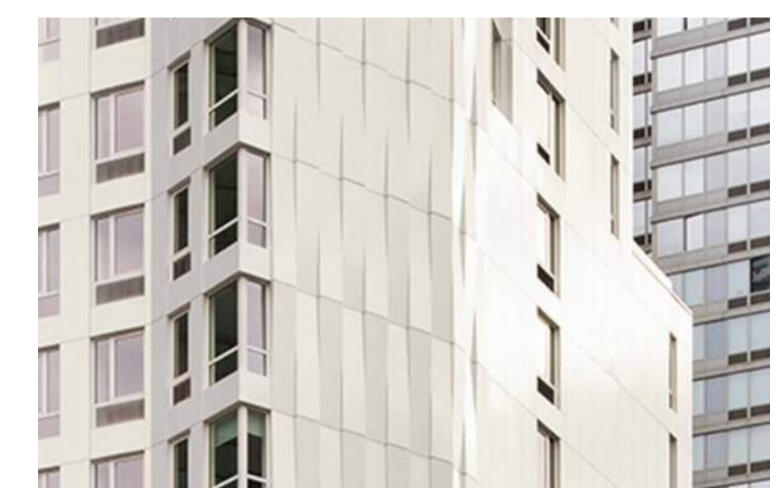
2. METAL PANEL: ZINC GRAY



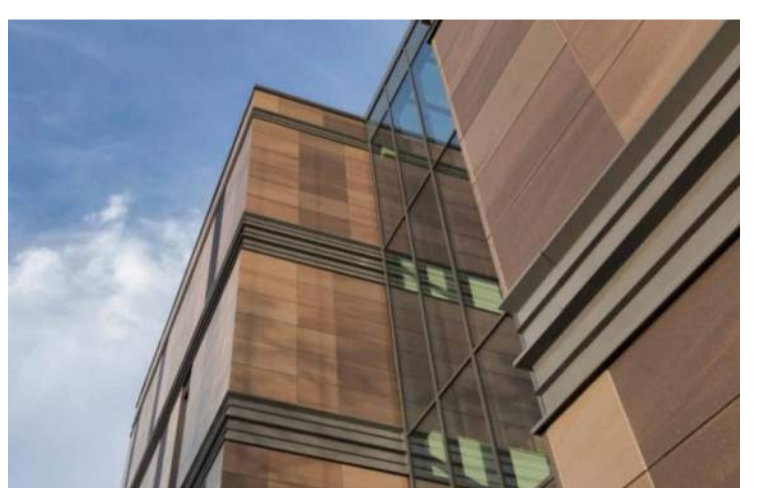
3. METAL PANEL: CHAMPAGNE



4. METAL PANEL: ACCENT COLOR



5. METAL PANEL: WHITE GOLD



6. PORCELAIN PANEL: SANDSTONE



MATERIAL APPLICATION

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

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MATERIAL APPLICATION EXAMPLE



6. METAL PANEL: WHITE GOLD



9. METAL CANOPY



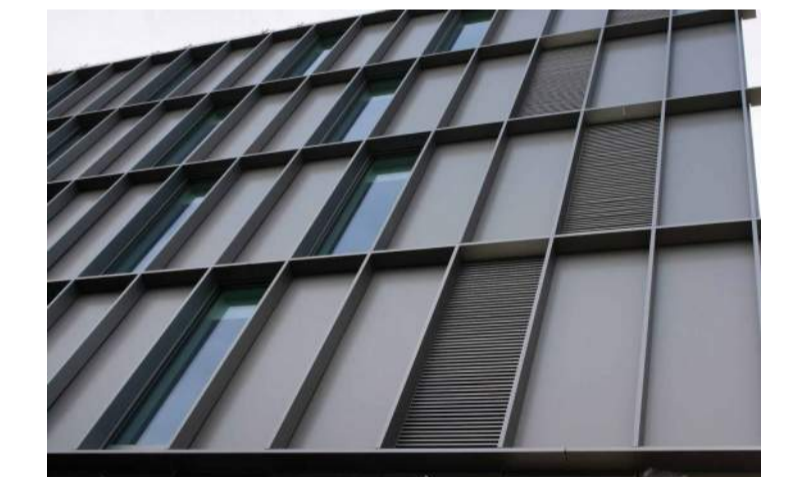
10. MESH PANEL RAILING



11. WINDOW WALL SYSTEM



12. STOREFRONT



13. METAL LOUVER

* NOTE: CONTEXT SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
 REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION.
 LANDSCAPE SHOWN FOR ILLUSTRATIVE PURPOSE ONLY AND IS SUBJECT TO CHANGE
 AS THE PROJECT DEVELOPS.
 MATERIALS SHOWN ARE SUBJECT TO CHANGE AS THE PROJECT DEVELOPS.



MATERIAL APPLICATION

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

MAR 02, 2026
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A-30



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01 ACM PANEL
DARK GRAY



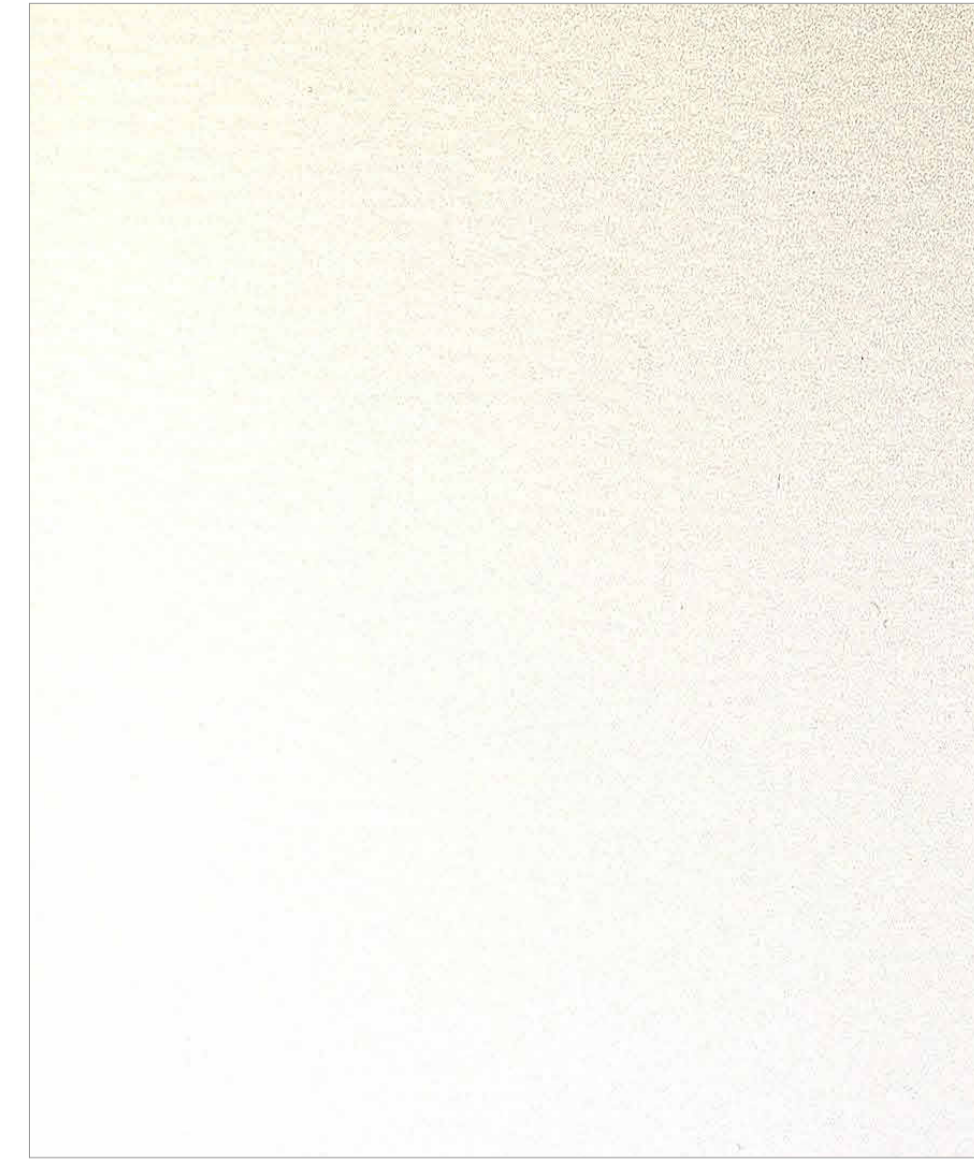
02 ACM PANEL
ZINC GRAY



03 ACM PANEL
CHAMPAGNE



04 ACM PANEL
ACCENT COLOR



05 ACM PANEL
WHITE GOLD



06 PORCELAIN PANEL
TRAVERTINE



07 PORCELAIN PANEL
ASH



08 PORCELAIN PANEL
FLUTE



09 METAL CANOPY



10 METAL RAILING +
MESH PANELS



11 WINDOW WALL SYSTEM



12 STOREFRONT SYSTEM

* NOTE: MATERIALS SHOWN ARE SUBJECT TO CHANGE AS THE PROJECT DEVELOPS.



BIJOU PROPERTIES

MATERIAL BOARD

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

MAR 02, 2026
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Kimley»Horn

**JDG JOHNSTON
DESIGN GROUP**



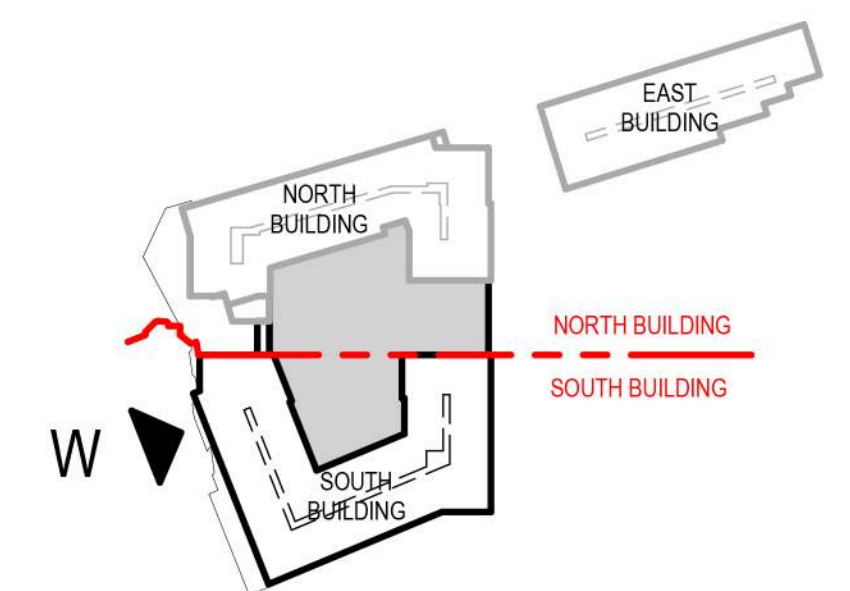
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MATERIAL SCHEDULE.	
NUMBER	MATERIAL
01	ACM PANEL # 1
02	ACM PANEL # 2
03	ACM PANEL # 3
04	ACM PANEL # 4
05	ACM PANEL # 5
06	PORCELAIN PANEL # 1
07	PORCELAIN PANEL #3
08	PORCELAIN PANEL #2
09	METAL CANOPY
11	WINDOW WALL SYSTEM
12	STOREFRONT SYSTEM
13	METAL LOUVER

LEGACY STONE FROM AMERICAN LEGION POST

NORTH MAIN STREET ELEVATION



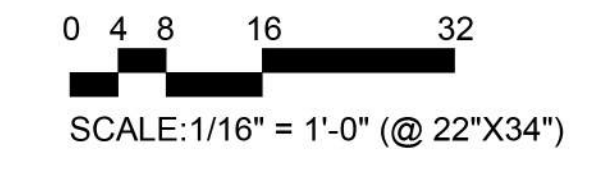
* NOTE: CONTEXT SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CIVIL FOR SITE PLAN AND CIVIL INFORMATION. MATERIALS SHOWN ARE SUBJECT TO CHANGE AS THE PROJECT DEVELOPS.

OVERALL BUILDING ELEVATIONS

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

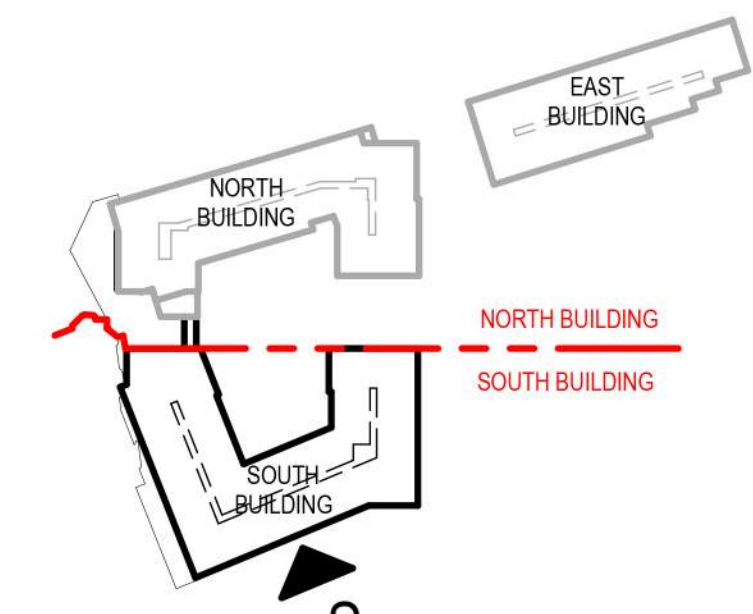
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SOUTH ELEVATION OVERALL BUILDING ELEVATIONS

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

MAR 02, 2026
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A-28

0 4 8 16 32
SCALE: 1/16" = 1'-0" (@ 22"X34")



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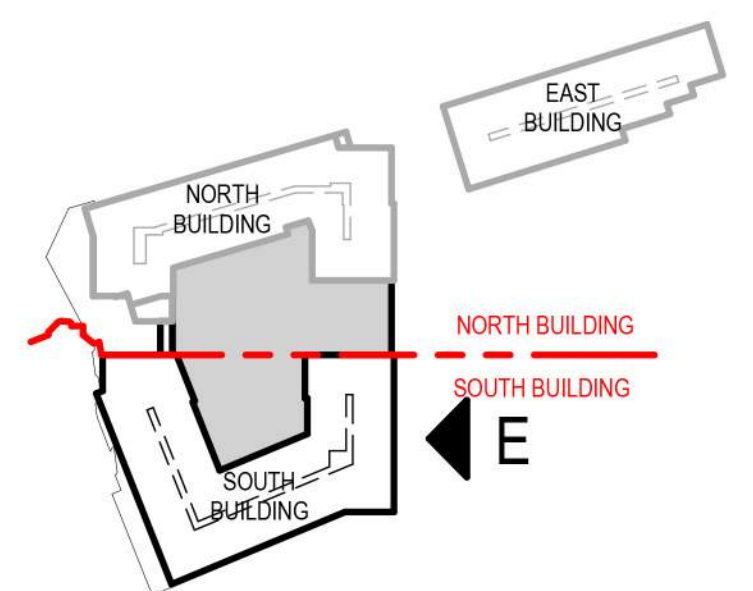
MATERIAL SCHEDULE.	
NUMBER	MATERIAL
01	ACM PANEL # 1
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03	ACM PANEL # 3
04	ACM PANEL # 4
05	ACM PANEL # 5
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07	PORCELAIN PANEL #3
08	PORCELAIN PANEL #2
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12	STOREFRONT SYSTEM
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EAST ELEVATION

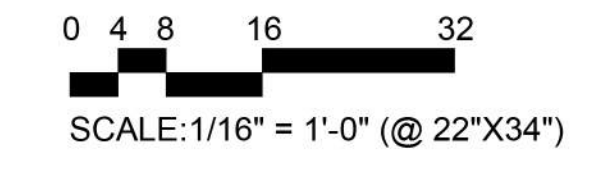
OVERALL BUILDING ELEVATIONS

426 N MAIN ST. DRB ARCHITECTURAL REVIEW



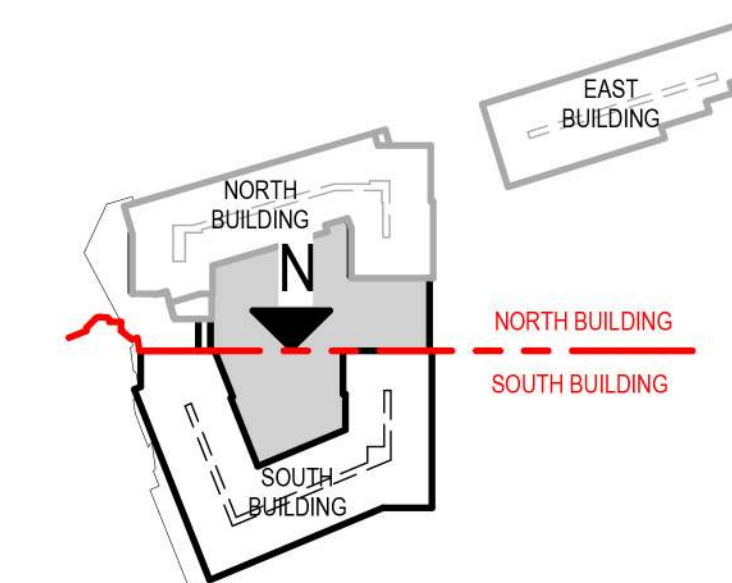
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04	ACM PANEL # 4
05	ACM PANEL # 5
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07	PORCELAIN PANEL #3
08	PORCELAIN PANEL #2
09	METAL CANOPY
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12	STOREFRONT SYSTEM
13	METAL LOUVER



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NORTH ELEVATION OVERALL BUILDING ELEVATIONS

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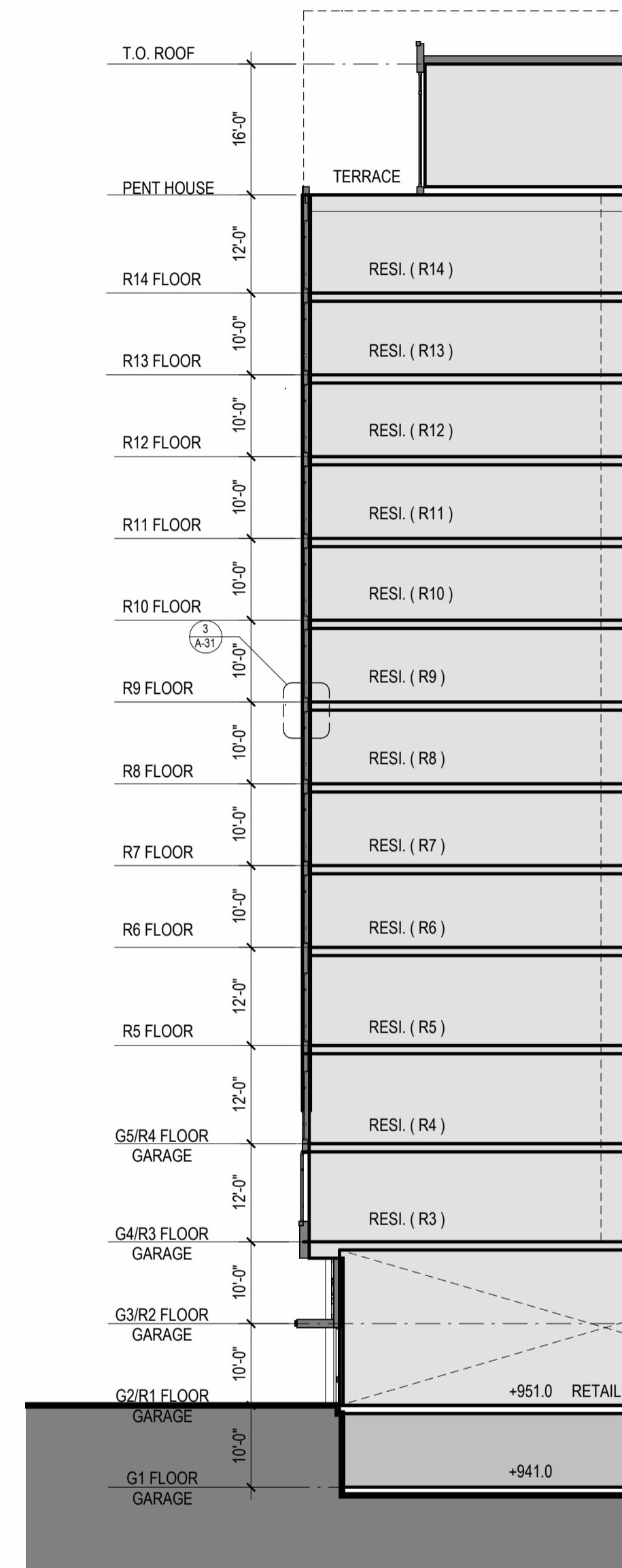
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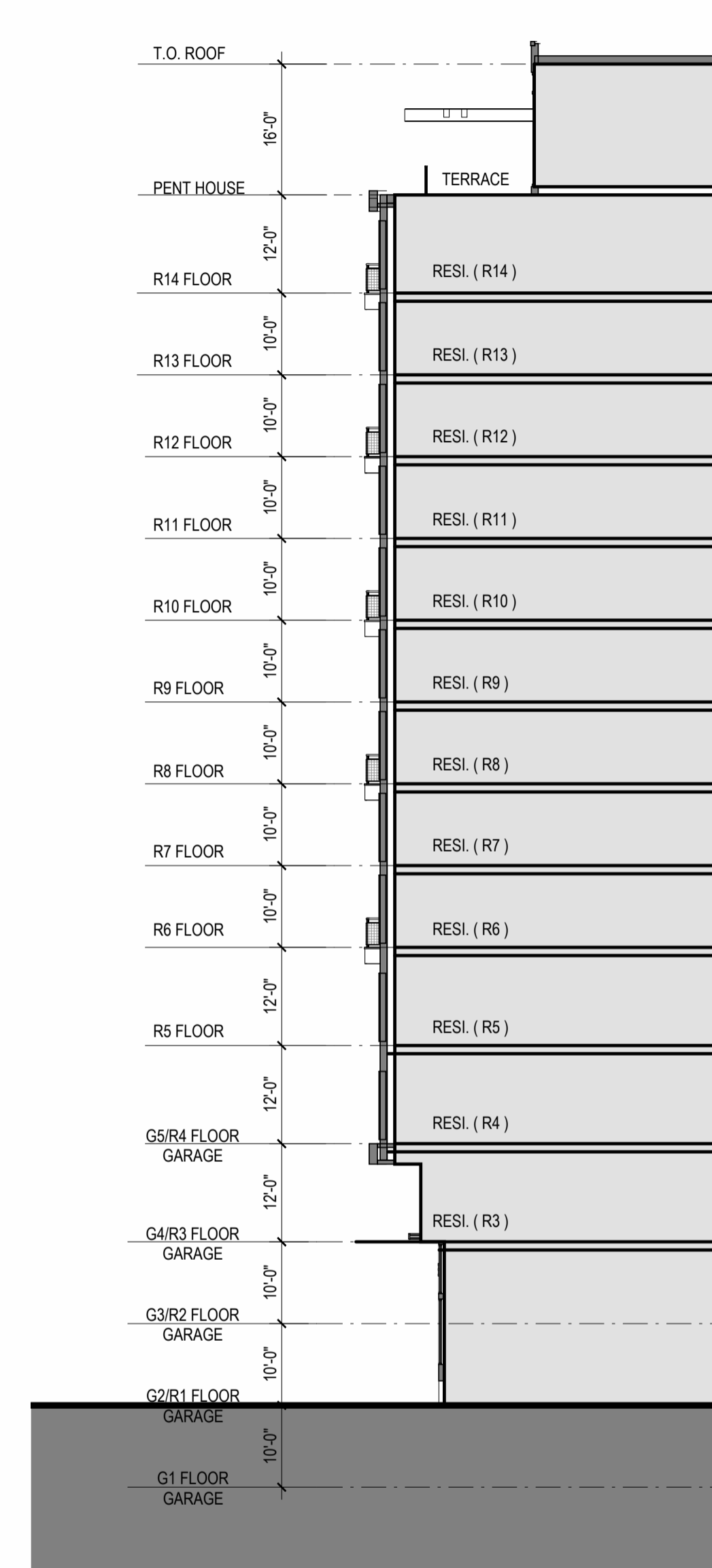




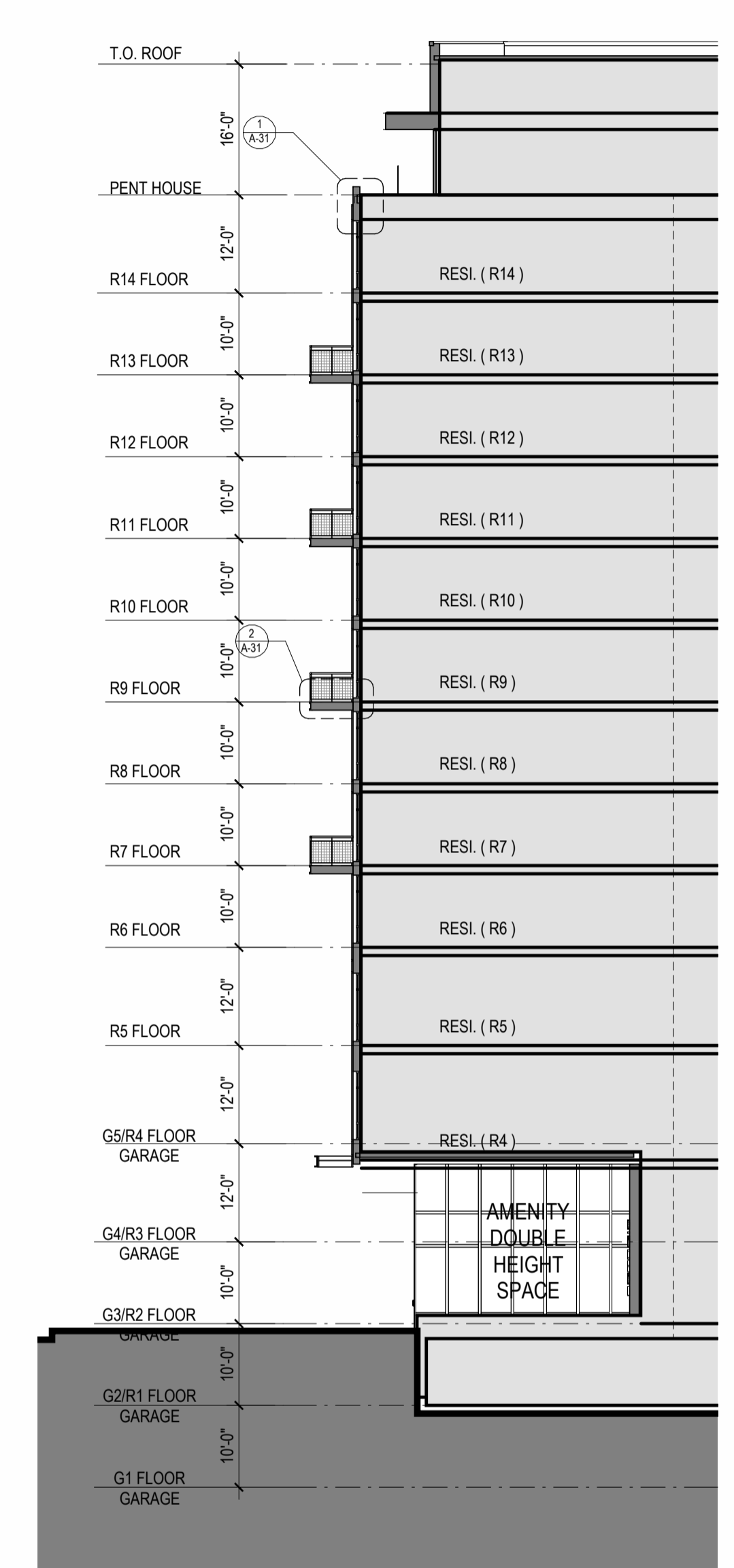
NORTH BUILDING @ NORTH MAIN STREET



3 WALL SECTION - #3
Scale: 1/16" = 1'-0"



2 WALL SECTION - #2
Scale: 1/16" = 1'-0"



1 WALL SECTION - #1
Scale: 1/16" = 1'-0"

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BIJOU PROPERTIES

ELEVATION & WALL SECTION

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

MAR 02, 2026
LHL005A

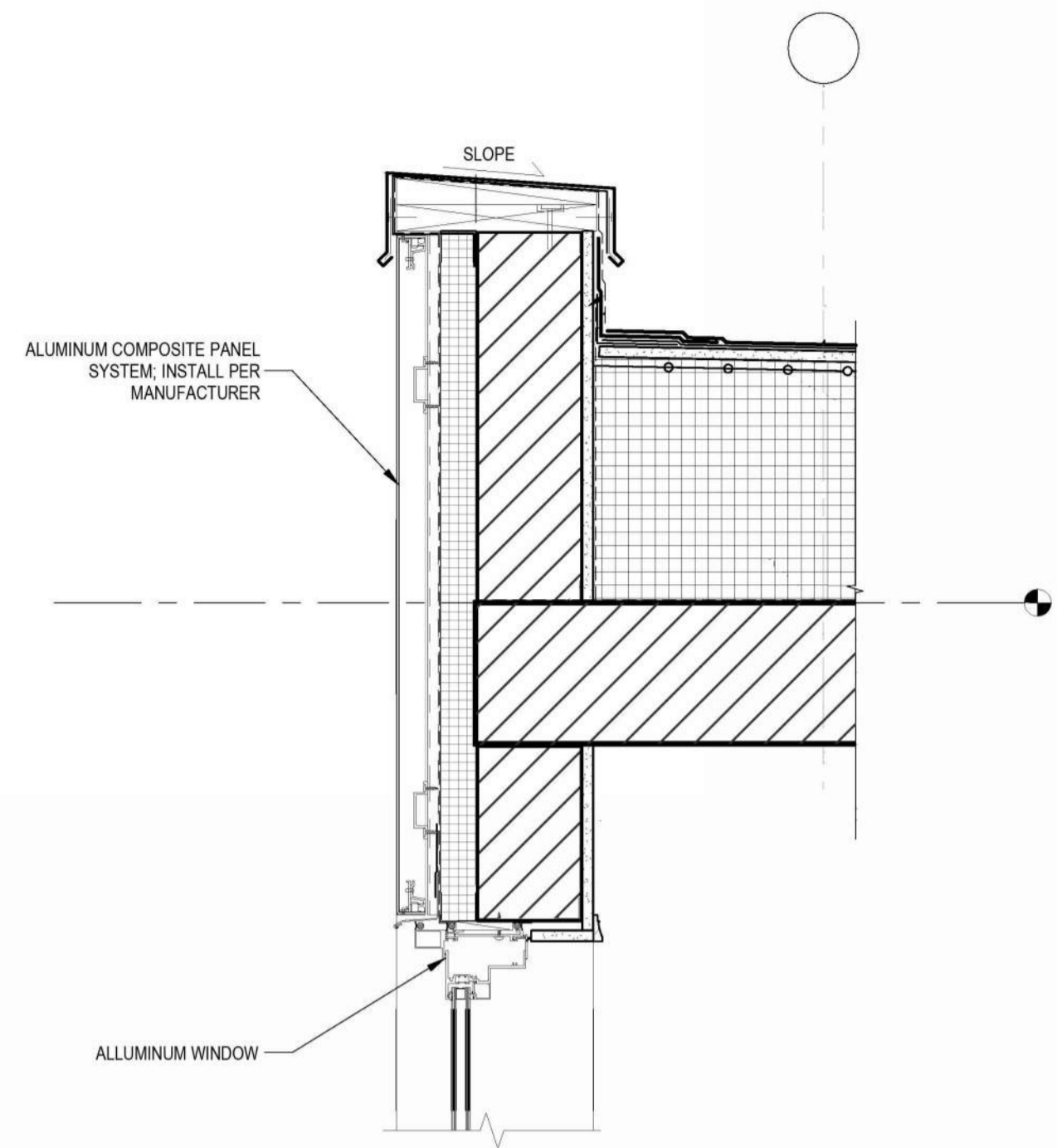
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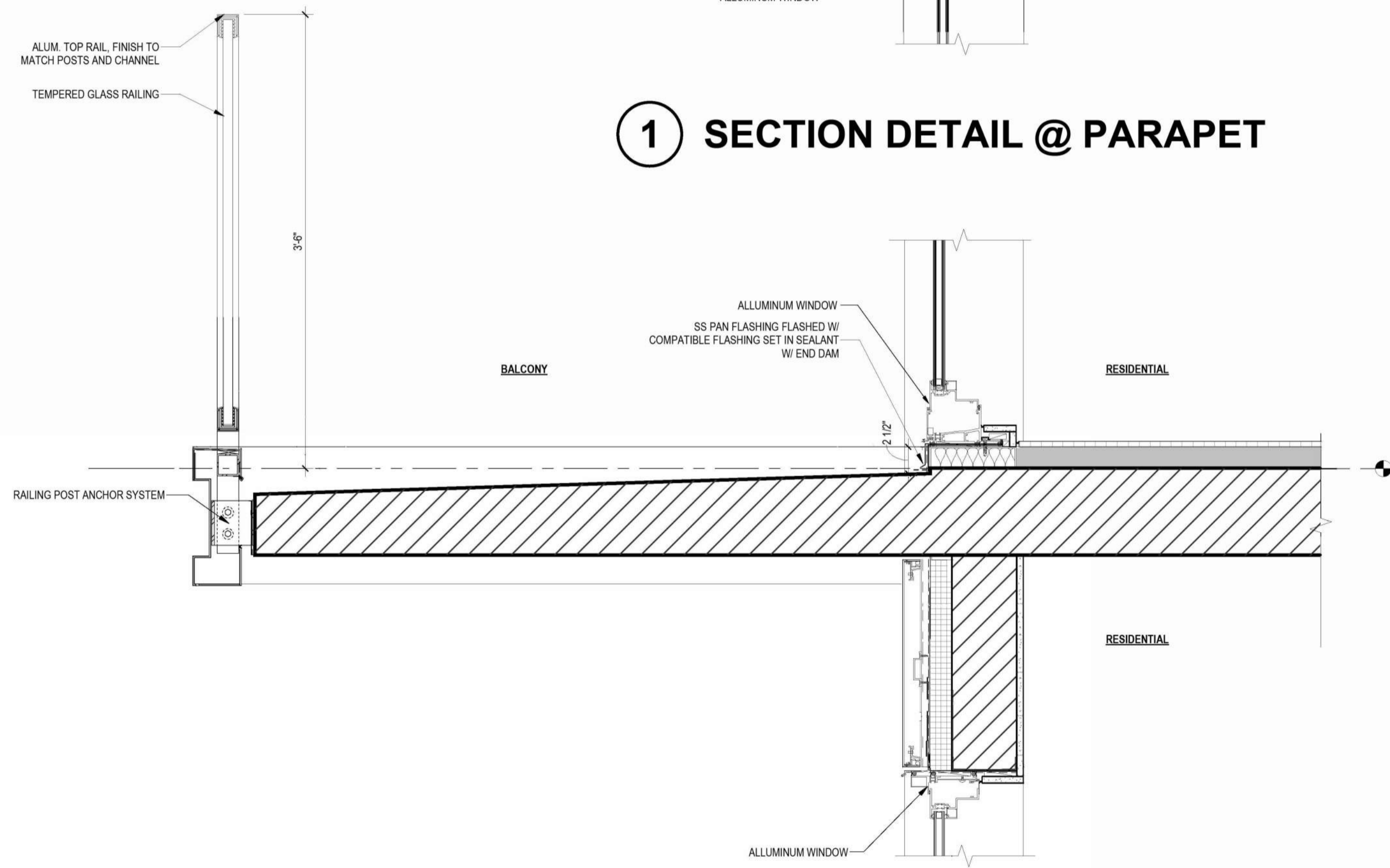
Kimley»Horn

JDG JOHNSTON DESIGN GROUP

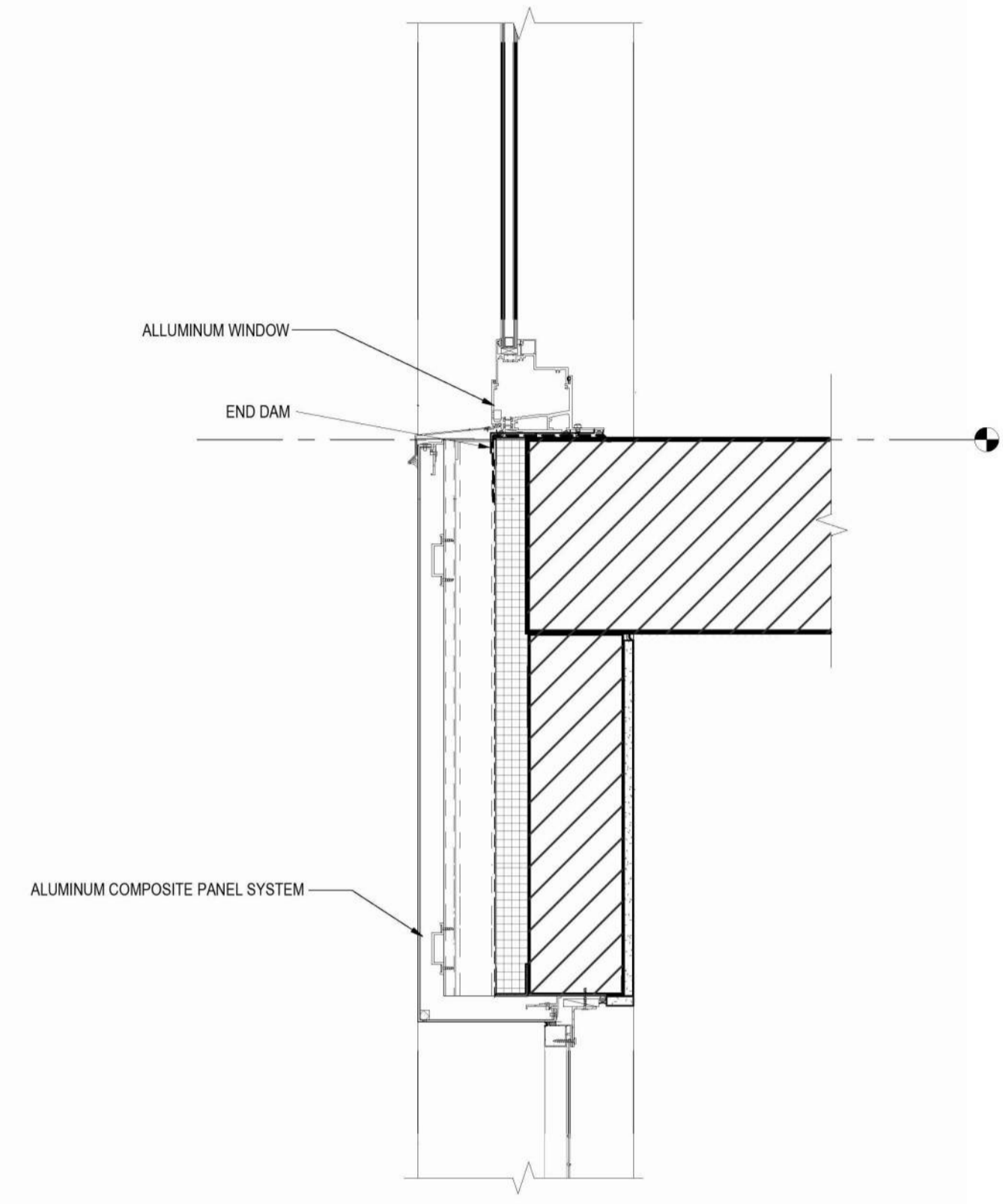




1 SECTION DETAIL @ PARAPET



2 SECTION DETAIL @ BALCONY



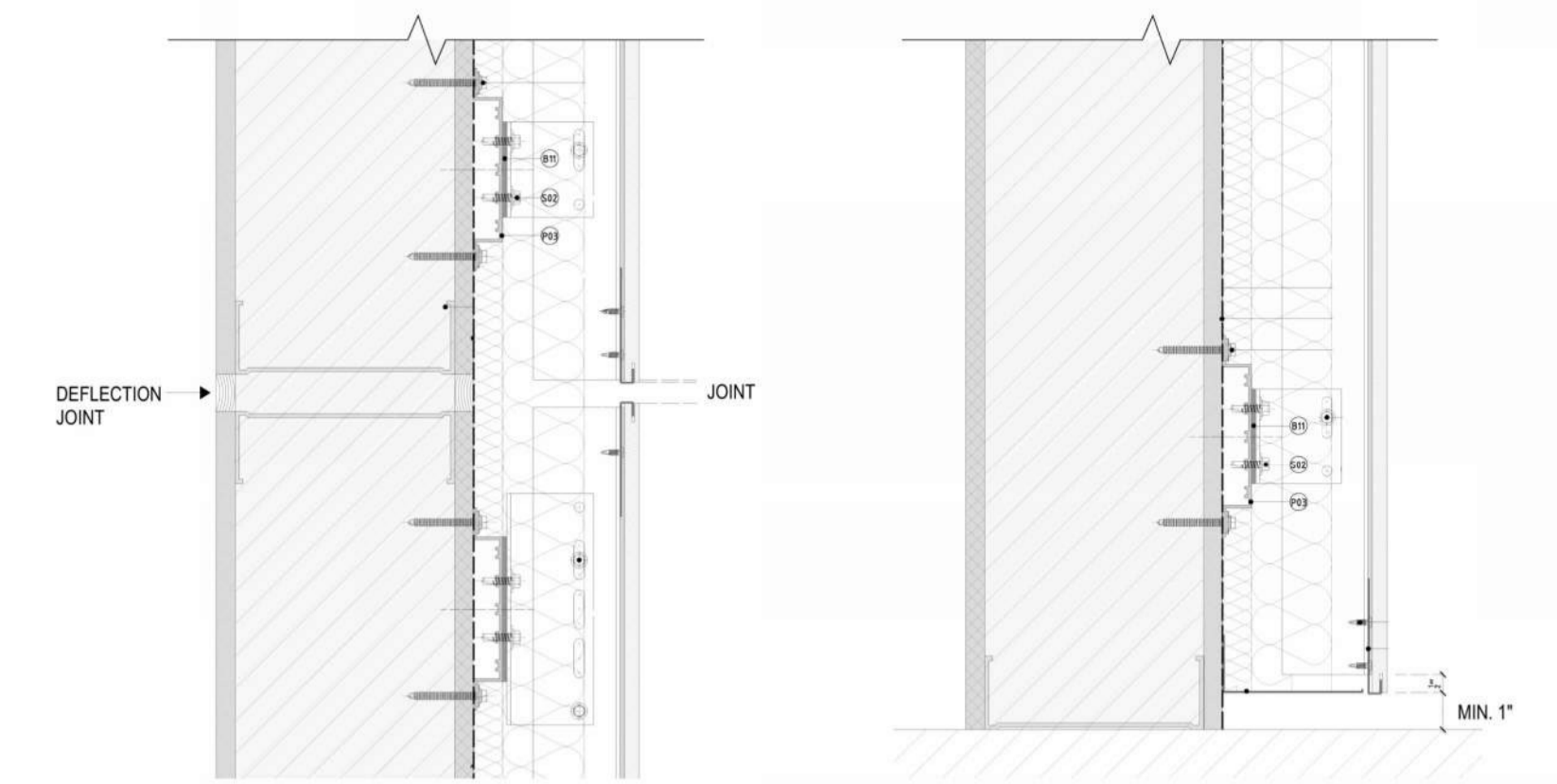
3 SECTION DETAIL @ ALUM WALL PANEL



MAIN ENTRANCE - ENLARGED ELEVATION



MAIN ENTRANCE - PERSPECTIVE



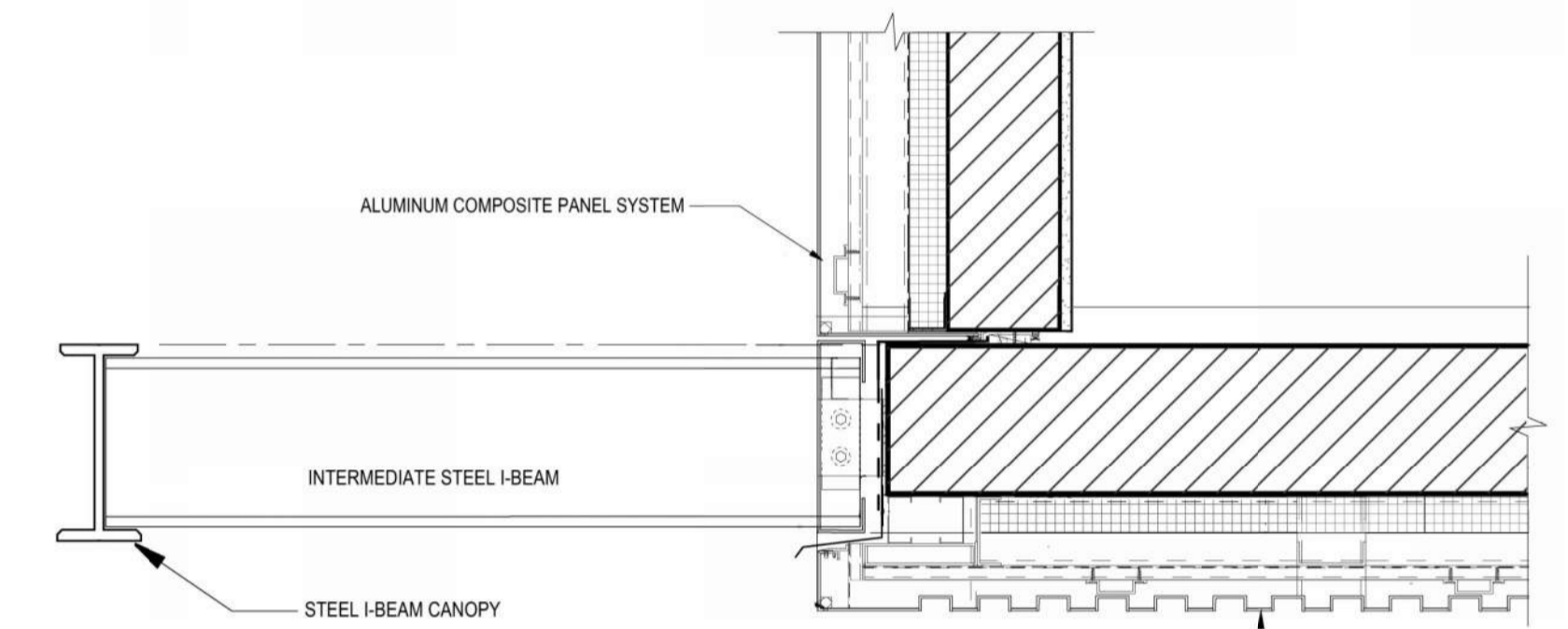
DETAIL - PORCELAIN TILE WALL



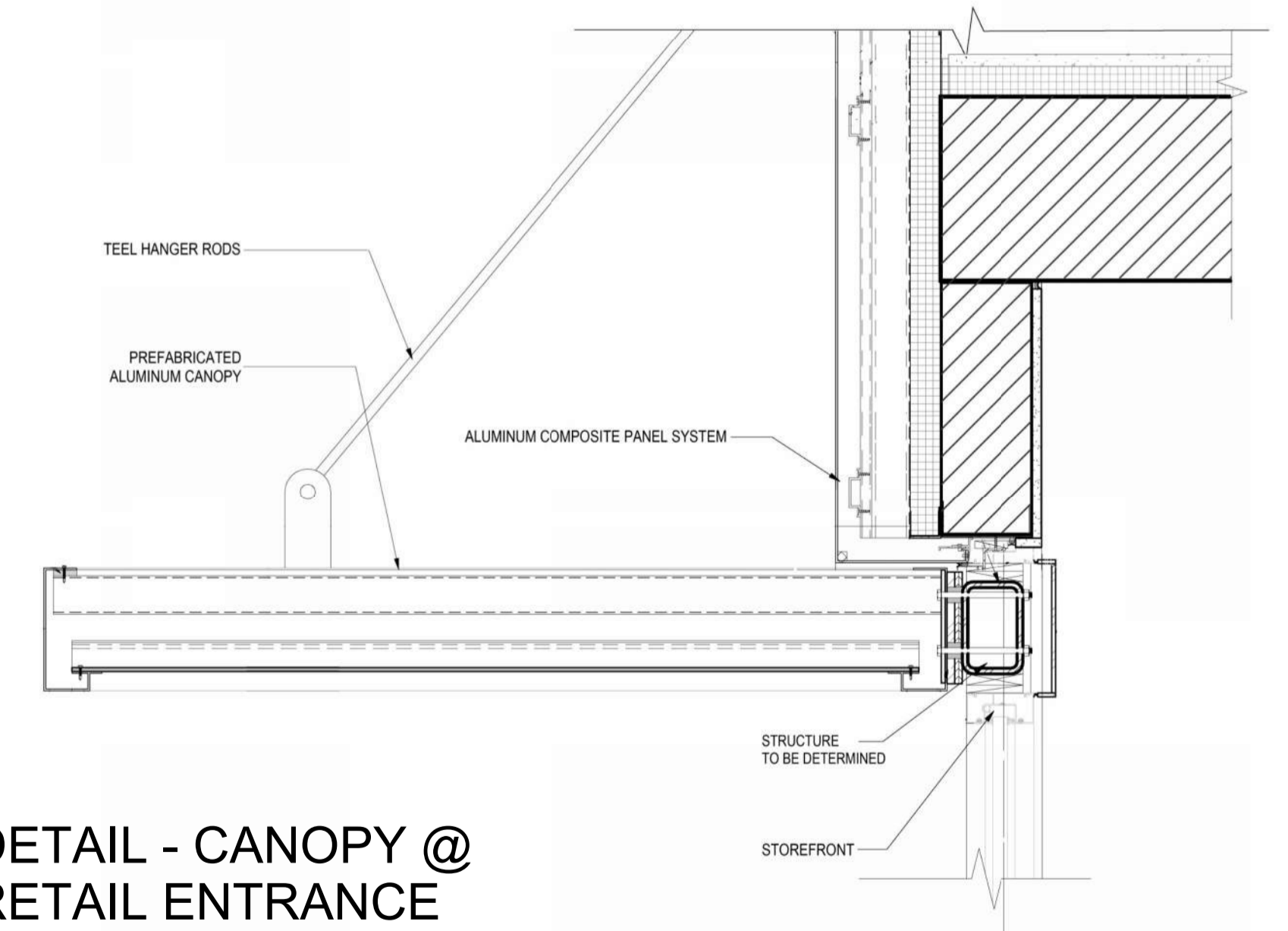
RETAIL ENTRANCE - ENLARGED ELEVATION



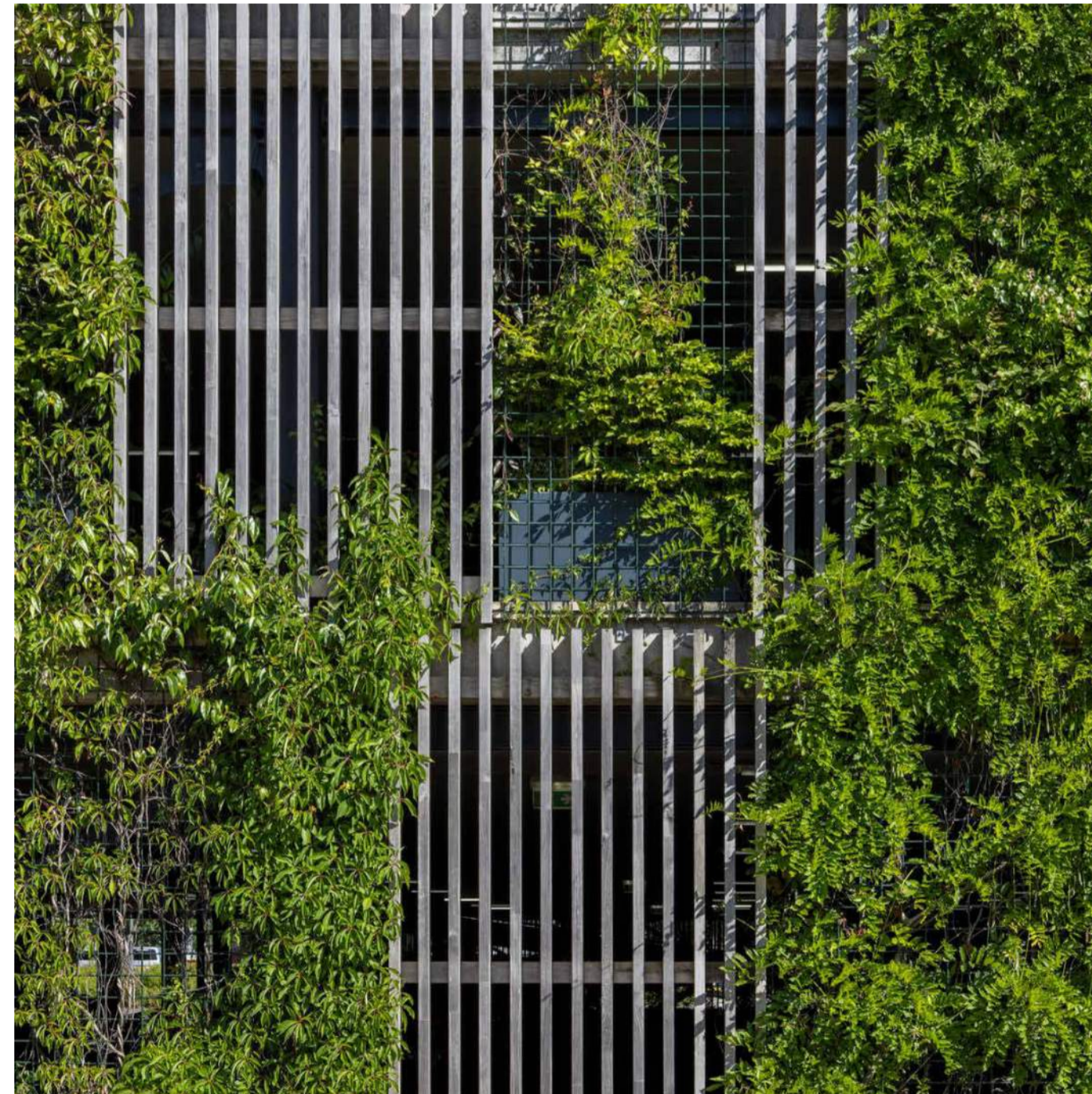
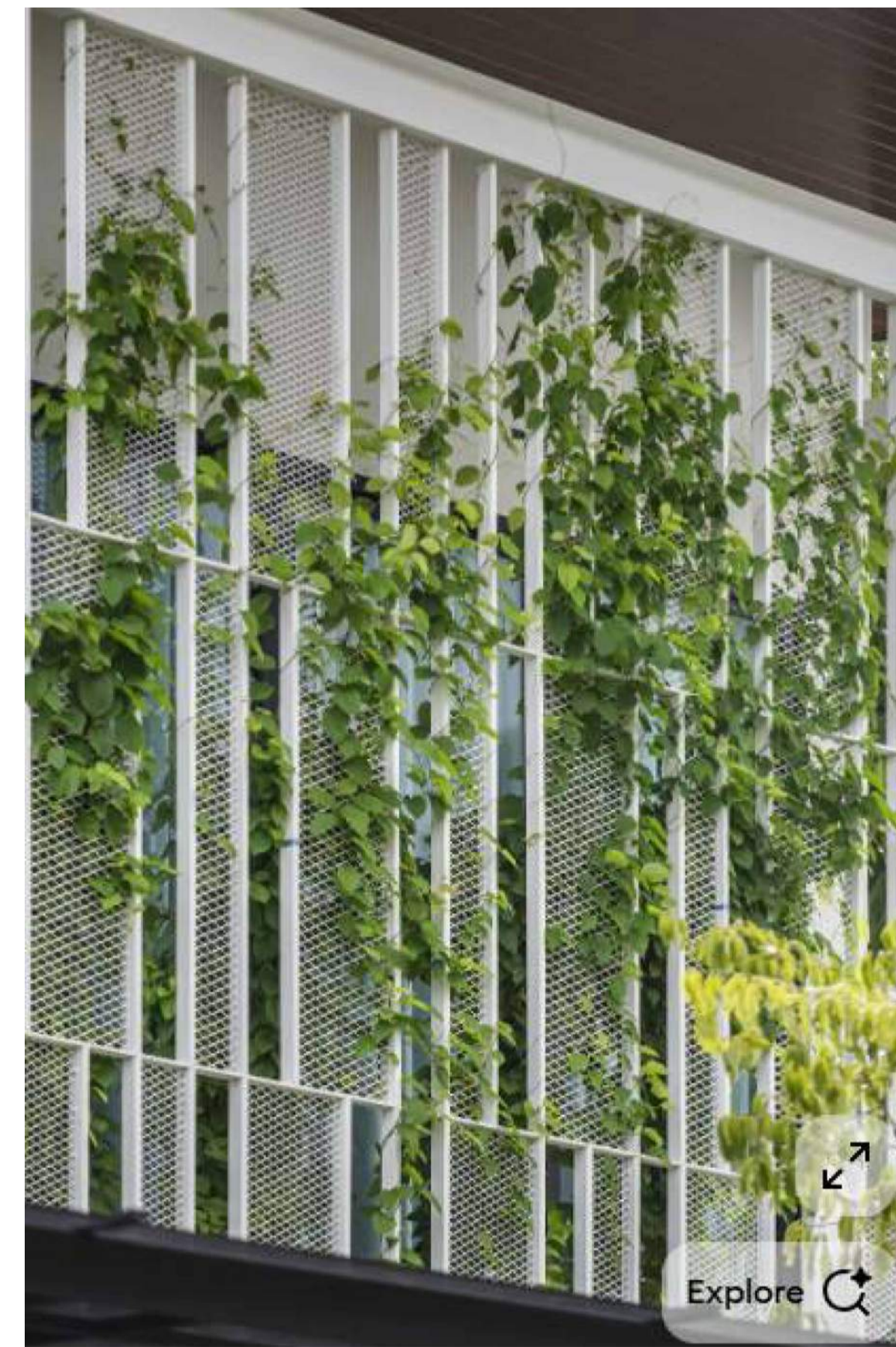
RETAIL ENTRANCE - PERSPECTIVE

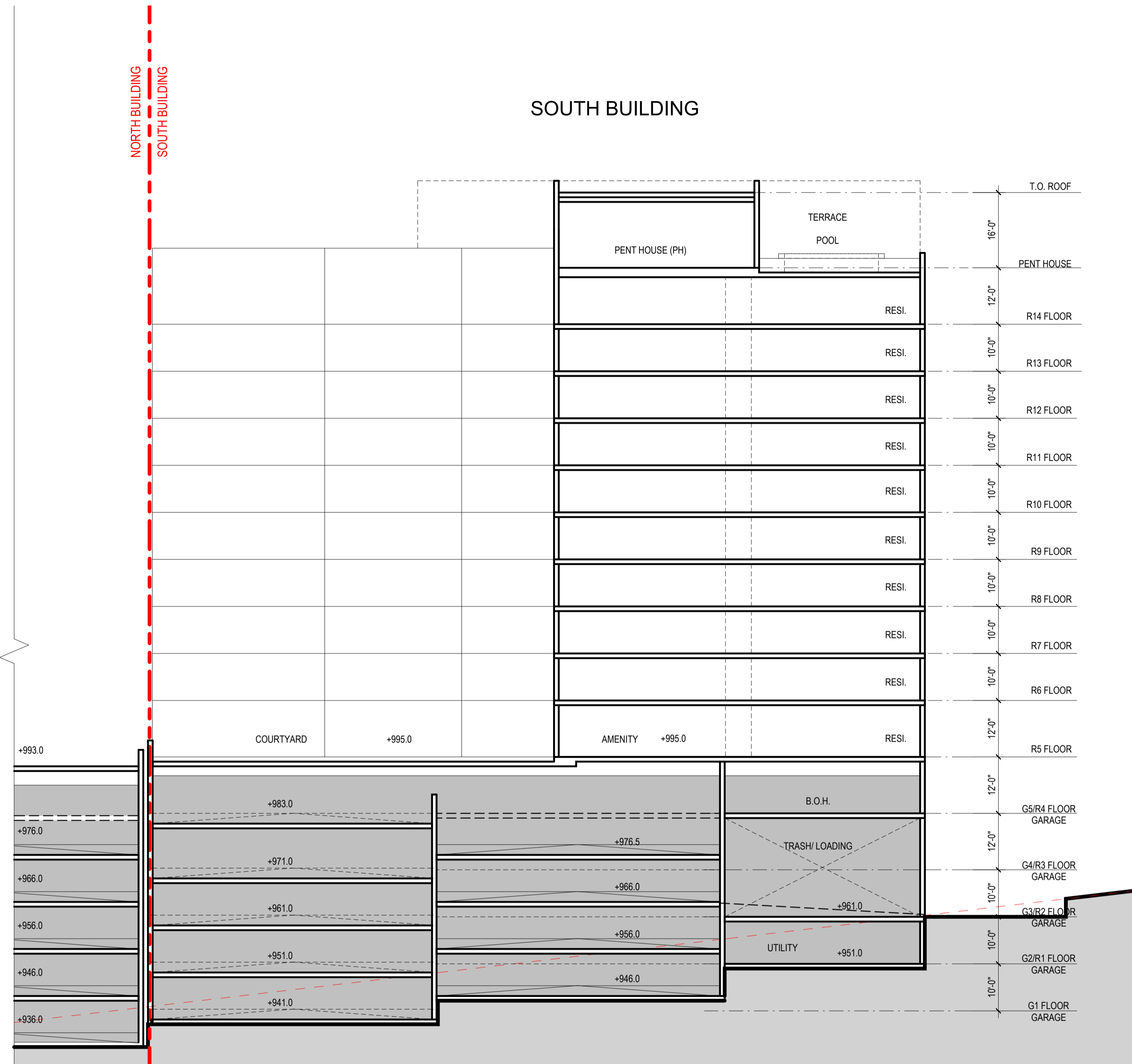


DETAIL - CANOPY @ MAIN ENTRANCE

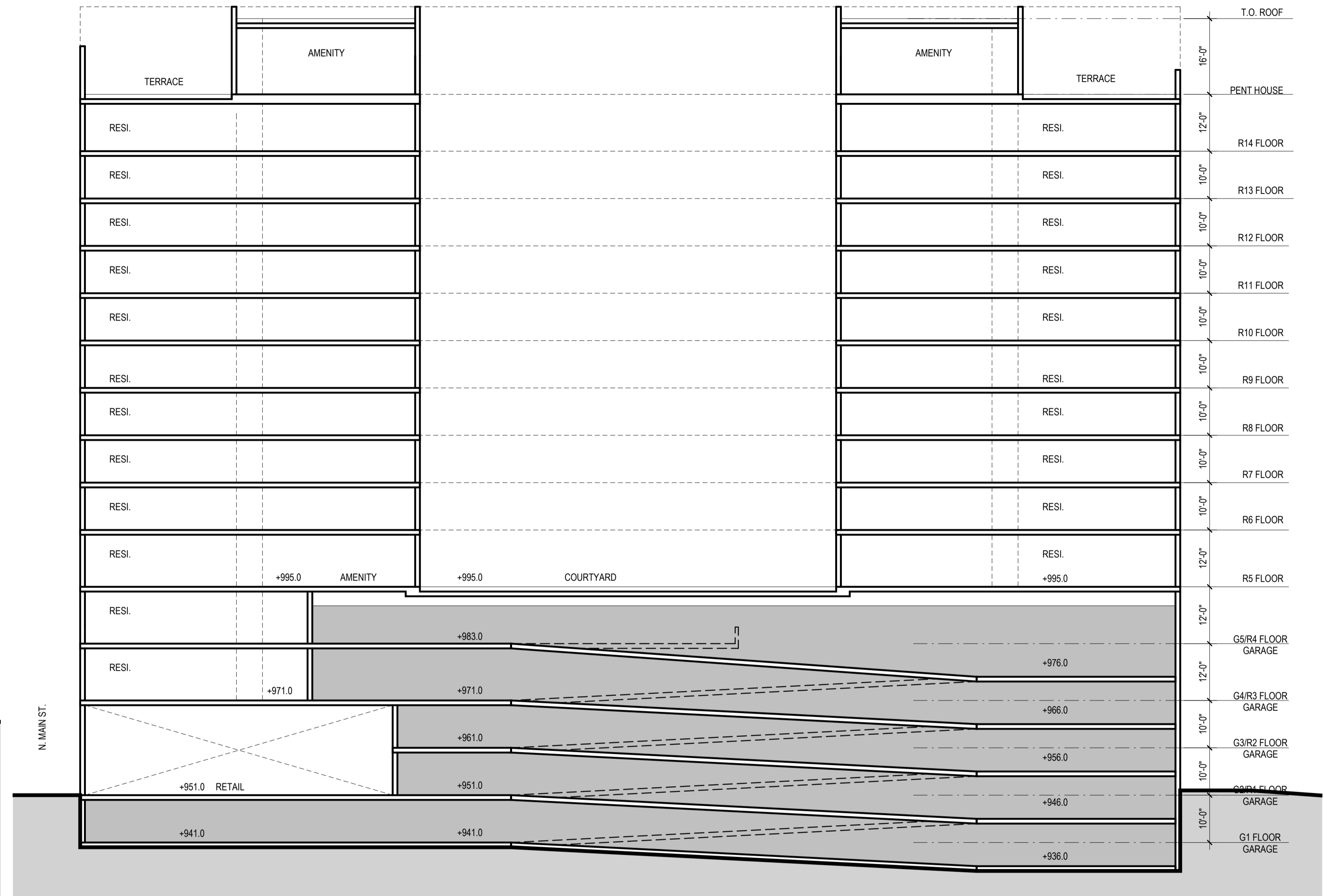


DETAIL - CANOPY @ RETAIL ENTRANCE

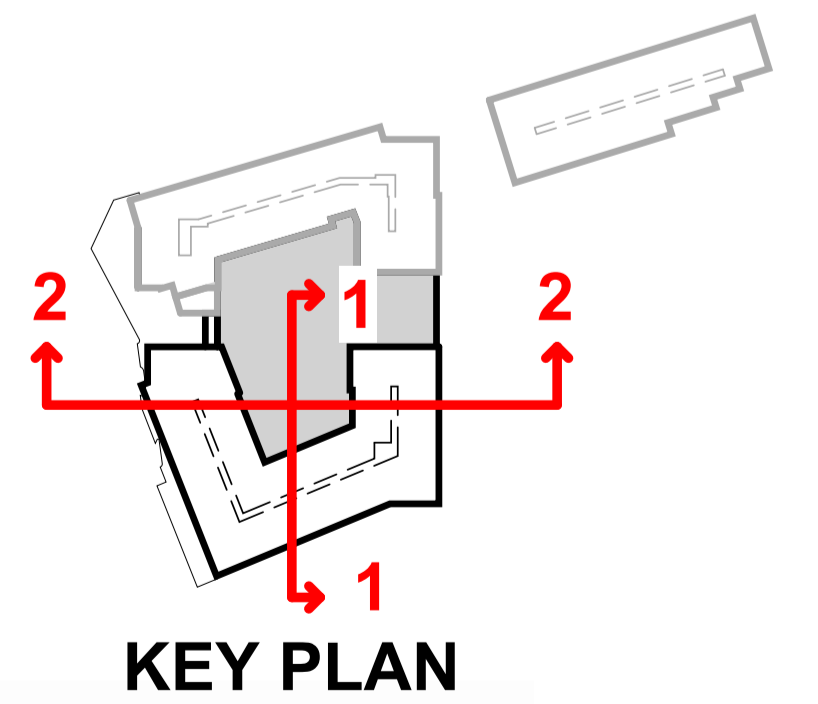




BUILDING SECTION 1



BUILDING SECTION 2



KEY PLAN



BIJOU PROPERTIES

BUILDING SECTIONS

426 N MAIN ST. DRB ARCHITECTURAL REVIEW

MAR 02, 2026
LHL005A

A-41

0 4 8 16 32
SCALE: 1/16" = 1'-0" (@ 22"X34")

Kimley»Horn

JDG JOHNSTON DESIGN GROUP



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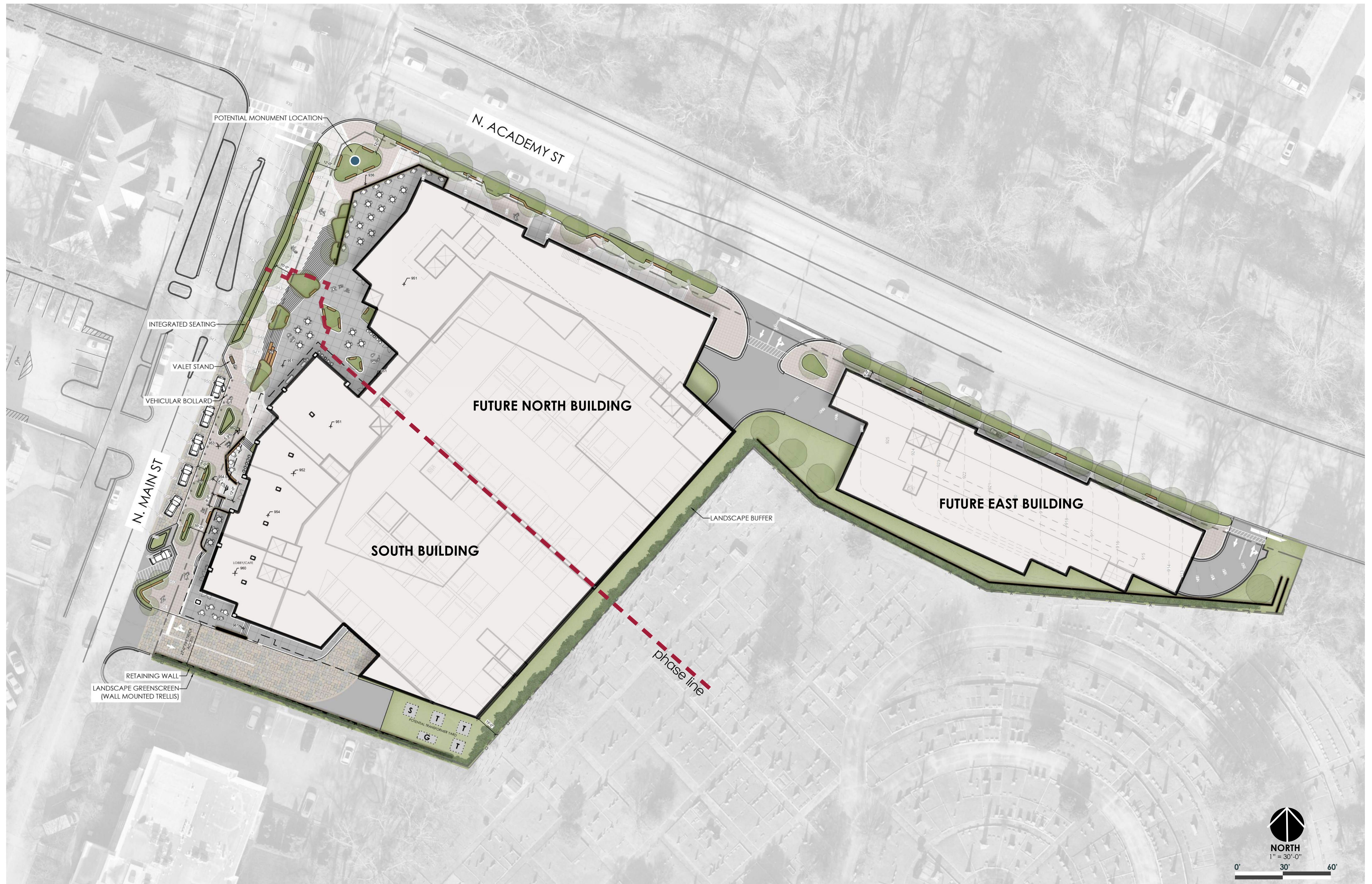


phase one site plan

426 N. MAIN ST. - GREENVILLE, SC

Kimley»Horn

Expect More. Experience Better.

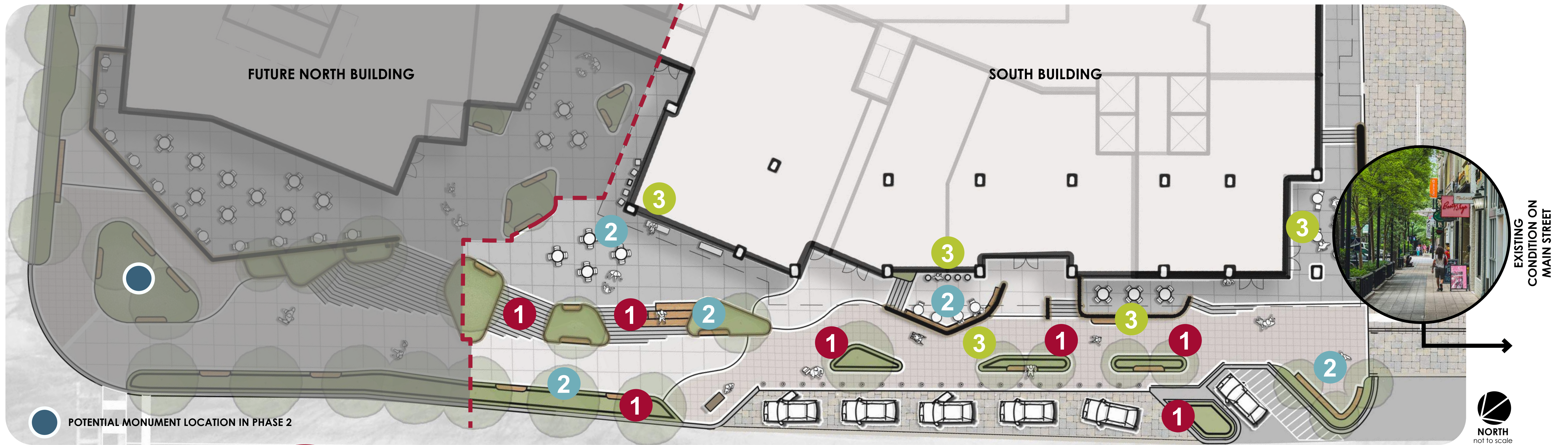


concept plan

426 N. MAIN ST. - GREENVILLE, SC

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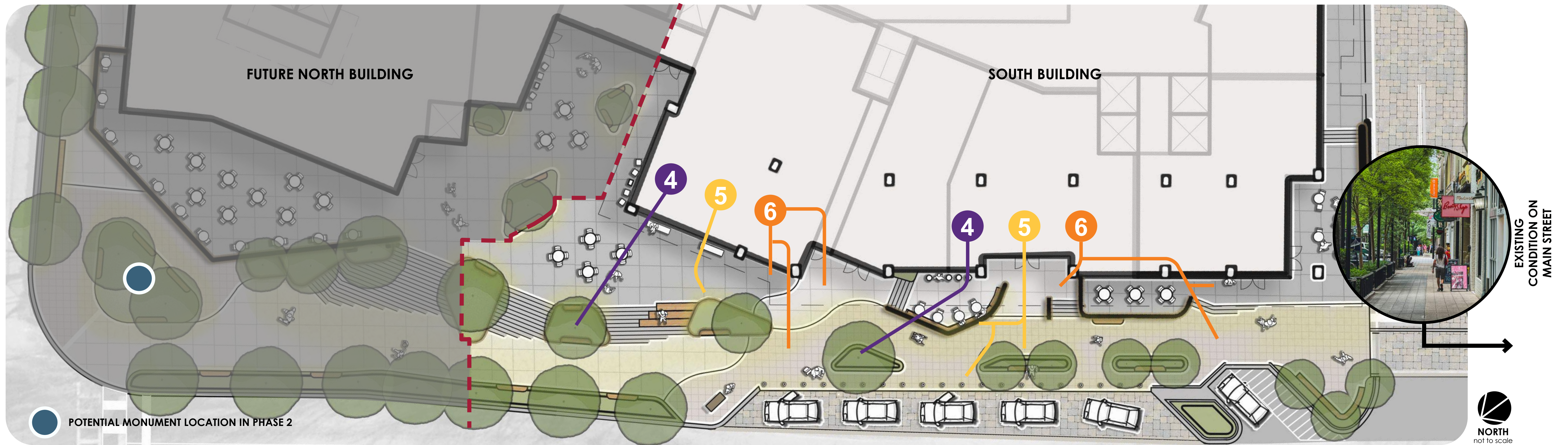


design intent imagery

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Expect More. Experience Better.



4

canopy trees

LIVE OAK AMERICAN ELM AMERICAN HORNBEAM

understory trees

CAROLINA SILVERBELL CAROLINA CHERRY CRAPE MYRTLE

shrubs and groundcovers

WALTER'S VIBURNUM LITTLE BLUESTEM WHORLED TICKSEED

planting

5

vehicular bollards

pedestrian scale

lighting

existing Halprin light

6

hardscape



**Planning Staff Report to
Design Review Board
March 9, 2026**
for the March 19, 2026 Public Hearing

Docket Number: 26-090
Applicant: Stephen Glover, Saje General Contractors
Property Owner: Cap Camperdown, LLC
Property Location: 2 East Broad Street
Tax Map Number: 0061000304107
Zoning: MXS-D, Mixed Use – Downtown Design Review Boundary
Proposal: **Appeal of Administrator’s Decision**

Applicable Sections of the City of Greenville Code of Ordinances:

Div. 19-6.2.8D Appeal of Administrative Decision
Div. 19-6.2.9 Major Urban Certificate of Appropriateness

Background

Modifications to the existing glazing of a building appendage were submitted to staff for review. The appendage is part of the existing CAMP restaurant building and is currently used as a valet office, proposed for conversion into a wine tasting room.

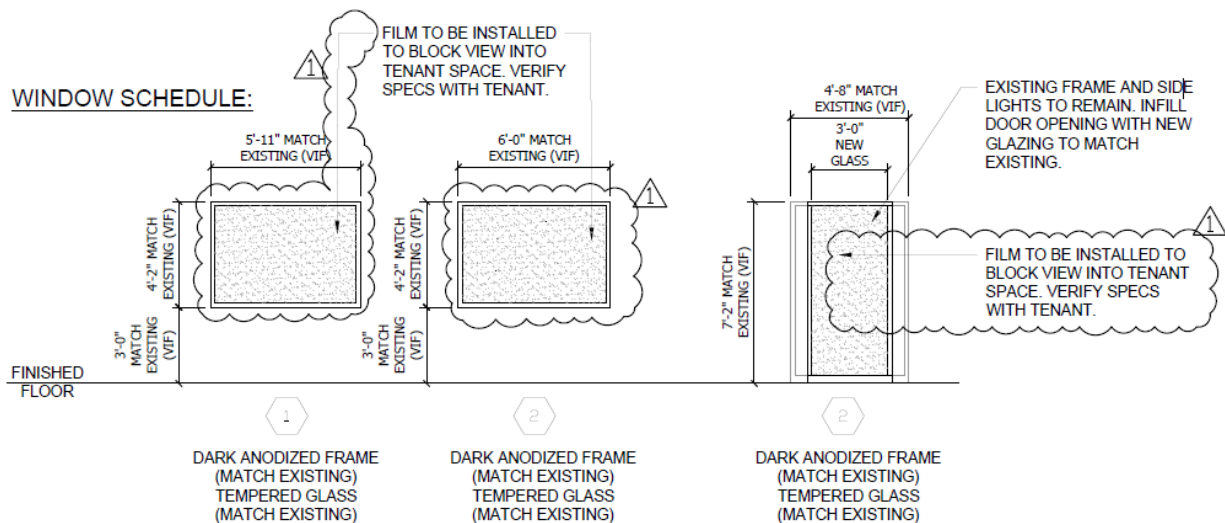
The building is situated within the central plaza of the Camperdown Development. All exterior modifications within the development are subject to the Downtown Design Guidelines, per a 2019 development agreement between the City of Greenville and the property owners.



Summary

On January 27th, 2026, planning staff denied a request via CA 25-1141 to apply internal blackout film to the windows at 2 East Broad Street to fully block view of the interior of the space.

The proposed blackout film conflicted with PRI.4 of the Downtown Design Guidelines and Section 19-2.11.13.g of the Development Code, which states the following: “Ground story windows and doors obscured by interior security gates and window displays located less than 5 feet from the window opening may count toward transparent area, provided **no more than 25% of the total transparent area is covered for any individual window** or door opening counting toward transparent area.”.



CA 25-1141 (Denied by staff)

An appeal to the administrator’s decision was submitted on February 2nd, 2026. The applicant now proposes replacement of the existing sliding valet windows facing Broad Street and replacement of the existing sliding windows on the South Main Street side of the building facing the Camperdown Plaza seating area. The proposed replacement glazing is Guardian Crystal Gray Tinted Glass, identical to the existing glazing on the CAMP restaurant.



Existing Windows to be replaced



Proposed Glazing (identical match proposed)

The proposed glass has visible light transmittance of 64 percent and external reflectance of 7 percent, in conformance with the Development Code minimum of 60% visible light transmittance and maximum of 20 percent external reflectance. **Staff notes that there are no records of a Certificate of Appropriateness or permit approval of this existing glass.**

In addition to compliance with the Development Code requirements, all exterior modifications to properties located within the Downtown Design Review Boundary must conform with the Downtown Design Guidelines. The proposed glazing conflicts with PRI 4. "Activated Ground Floor" of the Downtown Design Guidelines, per planning staff's interpretation of the guidelines:



Bold and creative window displays create a fun experience for people walking by and attract customers.



Ground floor transparency invites pedestrians into downtown businesses and offices.

The above images are excerpts from the current Greenville Downtown Design Guidelines.

PRI 4. ACTIVATED GROUND FLOOR

THE GROUND FLOOR OF A BUILDING IS AT THE SAME ELEVATION AS THE SURROUNDING STREETSCAPE. ACTIVATION OF THAT SPACE MEANS THAT THE USE HAPPENING INSIDE THE BUILDING IS INTENSE AND VISIBLE FROM THE SIDEWALK ZONE. THESE GUIDELINES ADDRESS THE ALLOWABLE USES FOR THE GROUND FLOOR AND THE CHARACTER OF THE VIEWS BETWEEN THE GROUND FLOOR USE AND THE SIDEWALK ZONE.

INTENT

-Connected: Urban areas thrive when there is active pedestrian activity. Ground floor areas that are exclusive, opaque or separated discourage pedestrian use and consequently disconnect areas of the city.

-Human Scaled: Urban buildings are intended to be experienced by people walking along sidewalks and public places; ground levels must be designed primarily to attract and appeal to the pedestrian user.

-Resilient: What may today be an area infrequently traveled by pedestrians may be a thriving and vital pedestrian corridor in our future. Careful consideration of the dimensions and design of the ground floor is essential to maintaining this flexibility.

4.1 Maximize the transparency of the ground floor to the street level to allow views of the use and activity within the building.

4.2 Use of darkly tinted and/or reflective glass is prohibited.

4.3 Locate publicly accessible commercial spaces, not private spaces, along the ground floor to facilitate a safer and more vibrant environment for pedestrians.

4.4 Maintain the simplicity of access to commercial and retail areas to avoid unnecessary or circuitous travel.

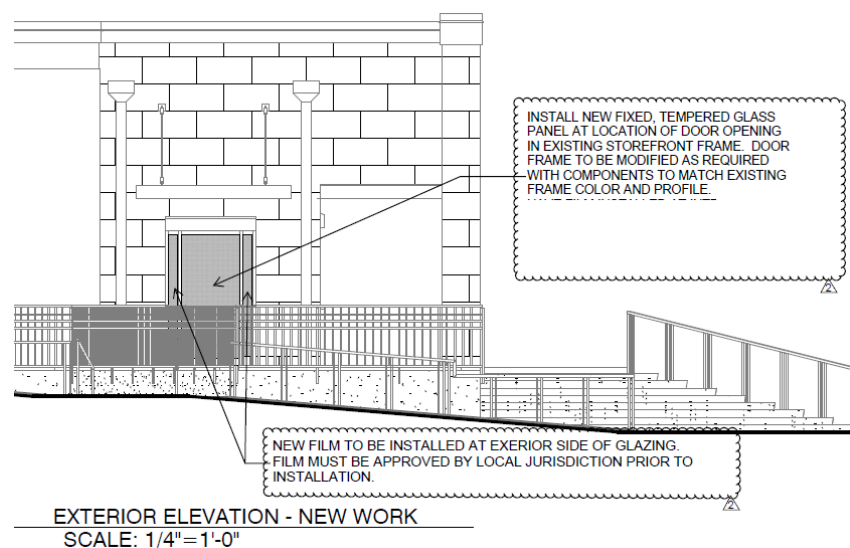
4.5 Provide ground floor design elements that promote pedestrian activity; for example, windows, retail displays, art, landscaping, canopy covering, etc.

4.6 Ensure that landscaping does not create a visual barrier between the building's interior and pedestrians.

4.7 Use security systems that do not require the use of security bars or grilles.

4.8 Corner buildings have at least two façades visibly exposed to the street and should be designed to respond to their more prominent locations.

A separate minor CA was submitted to staff on February 9th, 2026 to replace the storefront door system facing Falls Street with a new fixed clear window. Planning staff approved the application and associated building permit on March 3rd, 2026. The applicant made note of intention to apply exterior film signage to this window, which will require a separate minor Certificate of Appropriateness and sign permit. The window signage application has not been submitted at this time.



Staff Findings:

Staff offers the following summary of findings regarding the appeal to the administrator's decision:

Although the proposed glazing is allowable under the requirements of the Development Code, a Certificate of Appropriateness is reviewed in terms of the Downtown Design Guidelines in addition to the Development Code to ensure that exterior modifications contribute to a vibrant and active downtown.

The applicant notes the consistency with the existing glazing on the Camp restaurant space. However, the existing glazing does not meet the current Downtown Design Guidelines.

PRI 4. of the Downtown Design Guidelines, "Activated Ground Floor", states that ground levels must be designed primarily to attract and appeal to the pedestrian user. The use happening inside of the building should be visible from the sidewalk.

The proposed glazing does not conform with the intent of PRI 4 and is in conflict with the following guidelines:

PRI 4.1 Maximize the transparency of the ground floor to the street level to allow views of the use and activity within the building.

PRI 4.2 Use of darkly tinted and/or reflective glass is prohibited.



APPLICATION FOR APPEAL OF ADMINISTRATOR'S DECISION OR INTERPRETATION

Contact Planning & Development (864) 467-4476 or planning@greenvillesc.gov

APPLICANT/OWNER INFORMATION

*Indicates Required Field

APPLICANT

PROPERTY OWNER

*Name:	Stephen Glover	Cap Camperdown LLC
*Title:	[REDACTED]	
*Address:	[REDACTED]	[REDACTED]
*State:	[REDACTED]	[REDACTED]
*Zip:	[REDACTED]	[REDACTED]
*Phone:	[REDACTED]	[REDACTED]
*Email:	[REDACTED]	[REDACTED]

PROPERTY INFORMATION

Street Address: 2 E Broad St, Greenville, SC 29609

Tax Parcel #: 0061000304107

Zoning Designation: MXS-D

Pursuant to S.C. Code Ann. § 6-29-1145, I hereby attest that the tract or parcel of land subject to this application IS NOT restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity.

*Initial: SG

If the planning office has actual notice that a restrictive covenant is contrary to, conflicts with, or prohibits the requested activity, the office must not issue the permit unless the office receives confirmation from the applicant that the restrictive covenant has been released by action of the appropriate authority, property holders, or by court order.

REQUEST

Applicable Code Section: 19-2.11.13, PRI 4.1, and PRI 4.2

Description of Request:

We request approval to replace existing sliding valet windows at the Front (Broad Street) and Right (South Main Street) elevations with fixed storefront windows using manufacturer's standard tinted glazing that matches the existing storefront glazing used throughout the rest of the CAMP Modern Eatery building. The proposed glazing maintains ground-floor transparency consistent with the existing building condition and does not introduce darkly tinted or reflective glass. The structure was originally constructed as a valet office and was not intended to function as a primary activated storefront within the Camperdown plaza. The proposed work replaces dated and inconsistent glazing with materials consistent with the rest of the building, resulting in a more cohesive frontage that improves the appearance and functionality of the space within the downtown environment. The applicant respectfully requests that the Design Review Board reverse the administrative decision and approve the revised scope, which matches the existing storefront condition of the building and complies with applicable Downtown Design Guidelines and Greenville Development Code transparency requirements.

INSTRUCTIONS

1. The application and fee, **made payable to the City of Greenville**, must be received by the planning and development office no later than 2:00 pm within ten (10) business days of the date of the written decision or interpretation.
2. You must attach a statement addressing the reasons that you believe the administrator erred in his determination or interpretation of the City Code regarding the subject property.
3. You must attach any other information relevant to the disputed item, and if applicable, a scaled drawing of the property that reflects, at a minimum, the following:
 - Property lines, existing buildings, and other relevant site improvements;
 - The nature (and dimensions) of the disputed item;
 - Existing buildings and other relevant site improvements on adjacent properties; and
 - Topographic, natural features, etc.
4. You must attach the required application fee:
 - For appeal to the Board of Zoning Appeals: \$250.00 for persons having rights in contract in the subject land; \$50.00 for those adjacent to the subject land.
 - For appeal to the Design Review Board: \$150.00 for signs and single-family residential; \$300.00 for all other.
 - For appeal to the Planning Commission: \$250.00.
5. The administrator will review the application for “completeness” pursuant to section **19-6.2.1(B)(3), Completeness Determination**, prior to placing the application on a public hearing agenda. If the application is determined to be “incomplete,” the administrator will contact the applicant to request that the applicant resolve the deficiencies.
6. You must post the subject property at least 15 days (but not more than 18 days) prior to the scheduled hearing date. Signs will be provided to you by the City after application is determined to be complete.
7. The appellant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

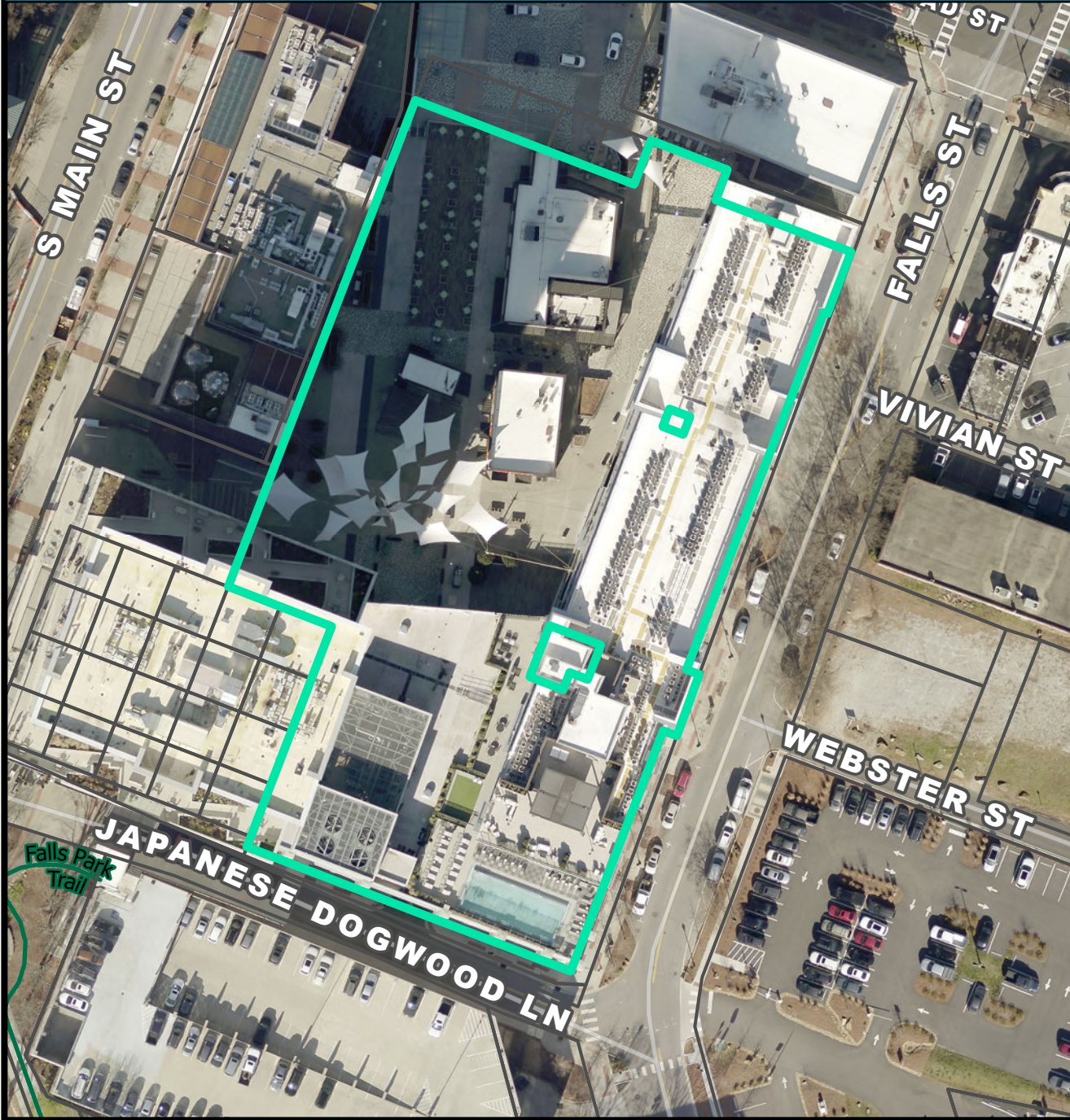
APPLICANT:  _____ DATE: 2/2/2026

PROPERTY OWNER: _____ DATE: 2/2/26

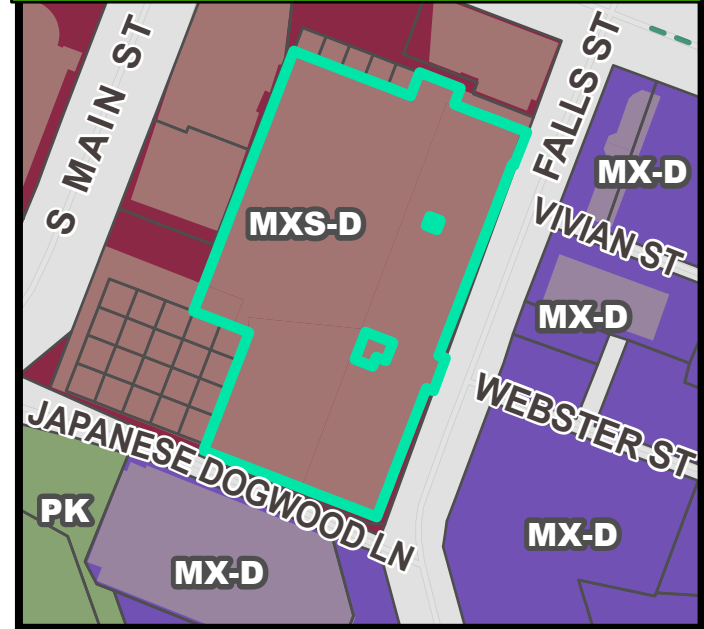
CBRE
as agent for CAP
Camperdown,LLC

APPEAL 26-090 • 2 EAST BROAD STREET

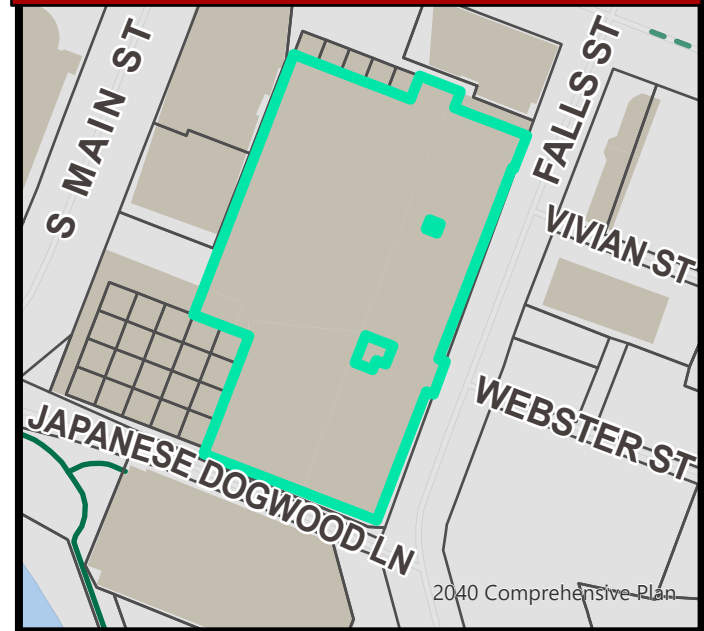
AERIAL VIEW



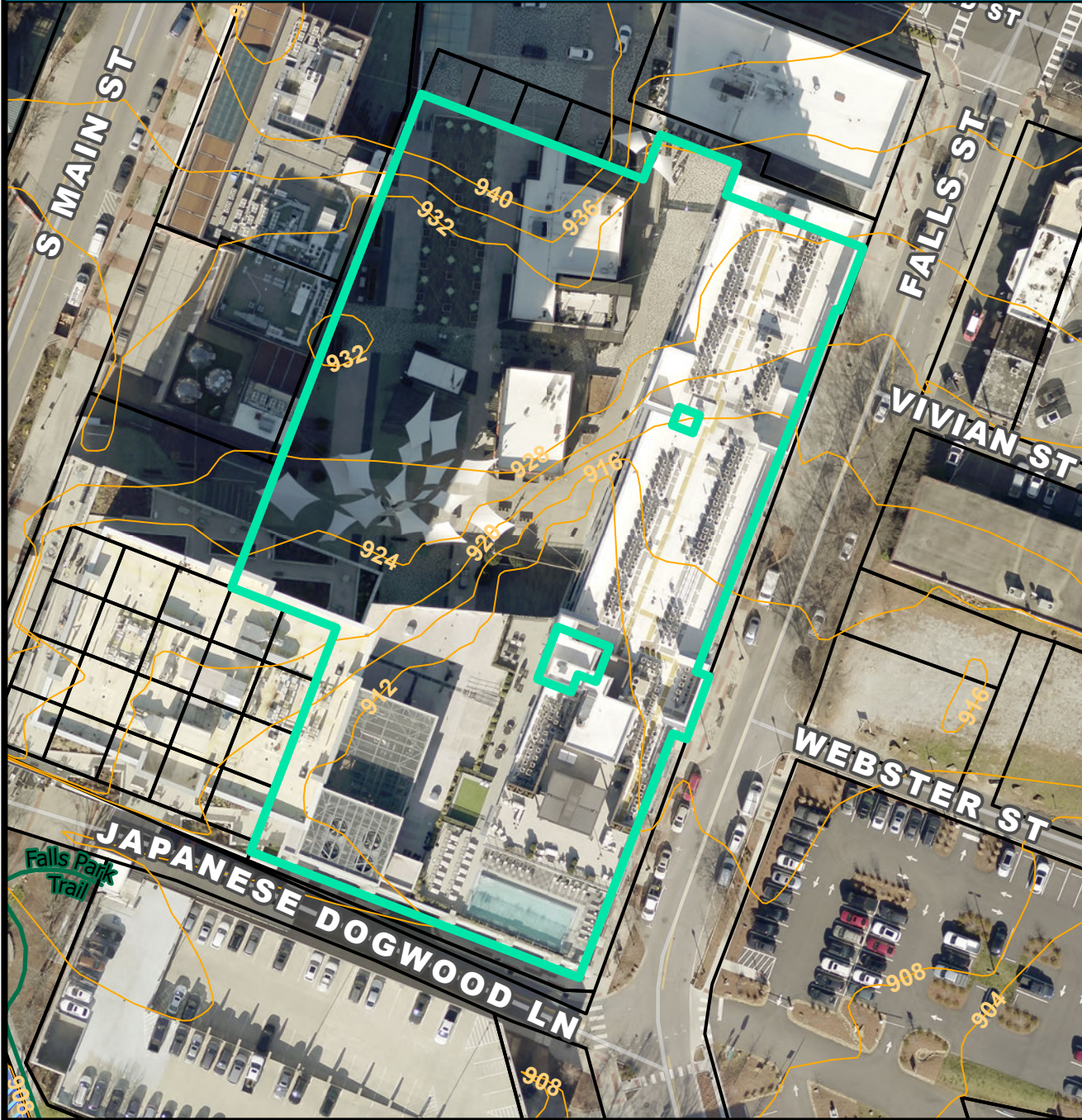
CURRENT ZONING



FUTURE LAND USE



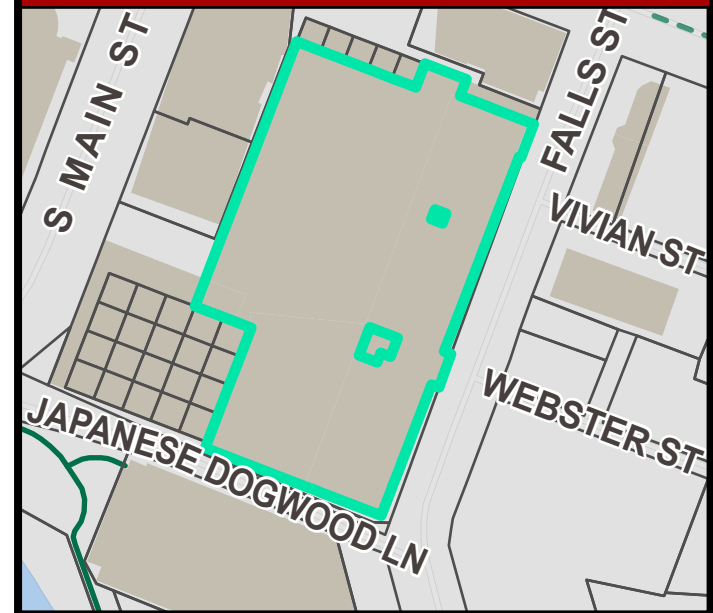
NATURAL / ENVIRONMENTAL FEATURES



SPECIAL EMPHASIS NEIGHBORHOODS



PRESERVATION OVERLAYS



Request to Replace Sliding
Glass Windows to Match
CAMP Restaurant Glazing

elliott da

C
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C
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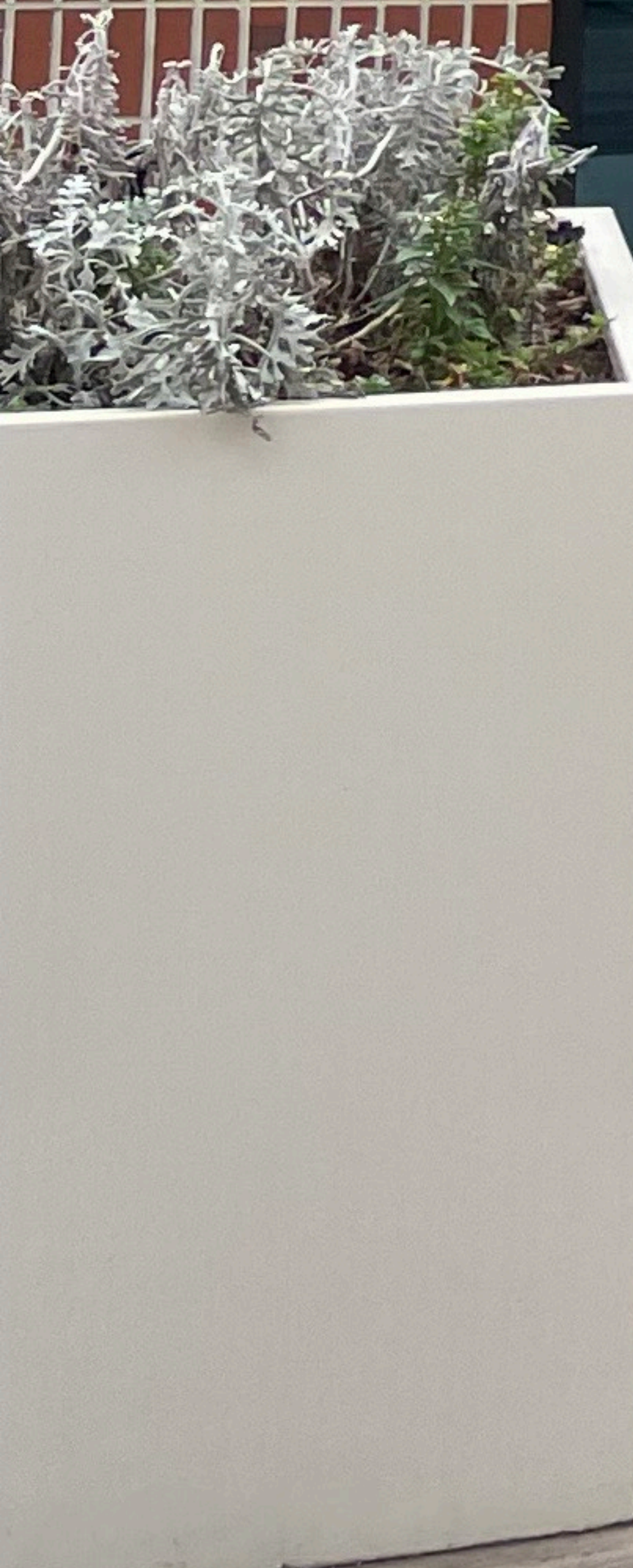
CAMP

AT PEOPLE

YS



CAMP





Guardian® Tinted Glass

Guardian CrystalGray

Light gray glass for expanded choice

CrystalGray tinted float glass offers a more muted glass color than common gray and blue float glass. Five color combinations reduce reflectivity and glare and lower the solar heat gain coefficient by 20 percent compared with coated clear glass. CrystalGray glass can help projects qualify for LEED® credits.



Product Information

Substrate Base Glass/Thickness	Guardian CrystalGray/6 mm
Applications	Partitions / Windows / Furniture / Balustrades / Facades / Fittings
Manufacturing options	Heat Strengthened / Heat Soaked / Annealed / Tempered / Laminated
Recommended Coating Positions	Not applicable
Maximum Size	<130"x204" (3302x5182mm)
Edge Deletion	No
Glass type	Tinted Float Glass
Glass functions	Aesthetics
Fabrication options	Can be used Monolithic Can be in an Insulating Glass Unit
Appearance	Light Gray



Monolithic

Visible Light			Ultraviolet	Solar Energy						Thermal Properties		Light to Solar Gain (LSG)	
Transmittance	Reflectance		Trans UV(tuv %)	Transmittance	Reflectance		Absorptance	Solar Heat Gain Coefficient (SHGC)	Shading Coefficient (sc)	U-Value			
Visible (tv %)	pv % out	pv % in		General Color Rendering Index (Ra)	Solar (te %)	pe % out	pe % in			Solar (ae %)	Winter Night (Btu/hr-ft²-F)		Summer Day (Btu/hr-ft²-F)
Monolithic: 6 Guardian® Tinted Glass ,CrystalGray®													
64	7	6	95.0	32	55	6	6	40	0.66	0.76	1.025	0.929	0.96

The performance values shown are nominal and subject to variations due to manufacturing tolerances. Spectra-photometric values according to NFRC2010 / US Standard.

www.guardianglass.com

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1-855-58-GLASS (45277)
2300 Harmon Road, Auburn Hills, Michigan 48326

Published Date: 27-Jan-2026

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DESIGN AND PERFORMANCE VERSATILITY WITH UNMATCHED FABRICATION FLEXIBILITY

Photography: © Bob Perzel



TRIFAB® VERSAGLAZE® 450, 451 & 451T (THERMAL) FRAMING SYSTEMS & TRIFAB® 451UT (ULTRA THERMAL) FRAMING SYSTEM

Trifab® VersaGlaze® is built on the proven and successful Trifab® platform – with all the versatility its name implies. There are enough framing system choices, fabrication methods, design options and performance levels to please the most discerning building owner, architect and installer. The 4.5" depth Trifab® VersaGlaze® Framing System family is available with non-thermal, thermal and ultra-thermal performance levels. The ultra-thermal Trifab® 451UT Framing System, is designed for the most demanding thermal performance and employs actual Isolock® thermal break.

AESTHETICS

Trifab® VersaGlaze® Framing Systems offer designers a choice of front-, center-, back- or multi-plane glass applications. Structural silicone glazing (SSG) and weatherseal glazing options further expand designers' choice, allowing for a greater range of possibilities for specific project requirements and architectural styles. All systems have a 4-1/2" frame depth; Trifab® VersaGlaze® 450 has 1-3/4" sightlines, while Trifab® VersaGlaze® 451/451T and Trifab® 451UT have 2" sightlines.

With seamless incorporation of Kawneer entrances or windows, including GLASSvent® visually frameless ventilators, Trifab® framing can be used on almost any project. These framing systems can also be packaged with Kawneer curtain walls and overhead glazing, thereby providing a full range of proven, and tested, quality products for the owner, architect and installer from a single-source supplier.

ECONOMY

Trifab® VersaGlaze® 450/451/451T/451UT Framing Systems offer a variety of fabrication choices to suit your project:

- **Screw Spline** – for economical continuous runs utilizing two-piece vertical members that provide the option to pre-assemble units for efficient handling and installation. (available for all Trifab systems)
- **Shear Block** – for punched openings or continuous runs using tubular verticals with shear blocks to connect horizontal members. (available for 450/451/451T systems)
- **Stick** – for fast, easy field fabrication. Continuous sill and head receptors are installed with horizontals connected to tubular verticals with shear blocks. (available for 450/451/451T systems)
- **Pre-glazed** – The combination of screw spline construction with pre-glazing in the shop accelerates installation and reduces field labor time while minimizing disruption to the surrounding area or existing tenants. Making it an exceptional choice for new or retrofit applications, particularly in urban areas or where space is limited. (available for 451/451T/451UT framing)

Photography: © Ben Gancsos



All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

FOR THE FINISHING TOUCH

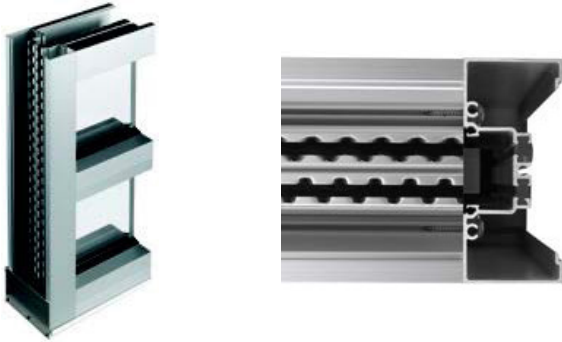
Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

PERFORMANCE

Kawneer's Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.

U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project.

(See the Kawneer Architectural Manual or Kawneer.com for additional information.)

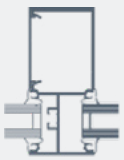
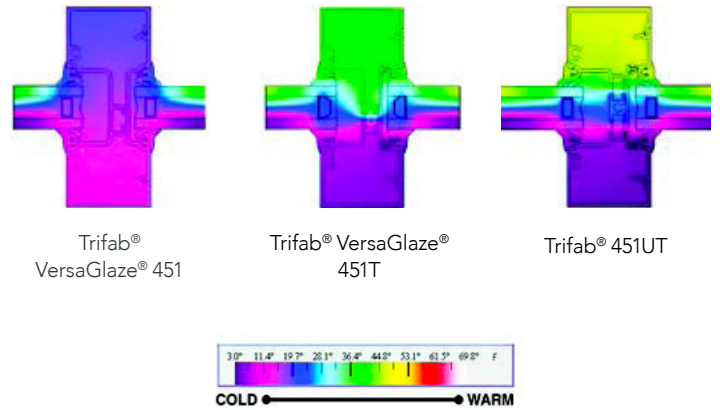


Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

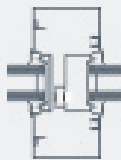
PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425

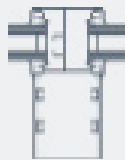
Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



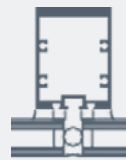
Front



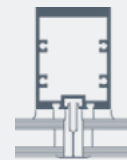
Center



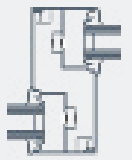
Back



SSG



Weatherseal



Multi-Plane

HIGH-PERFORMING PAINTS THAT LET YOU DESIGN IN VIBRANT LIVING COLOR

PERMAFLUOR™ ARCHITECTURAL FINISHES



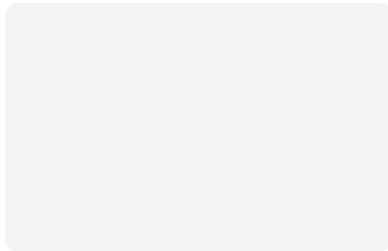
ANTIQUE BRONZE - UC100027



BLACK - UC109846



BLACK MAGIC - UC135973



BONE WHITE - UC109880



BRIGHT WHITE - UC55026



CHARCOAL - UC109852



CLASSIC BRONZE - UC109850



DOVE GRAY - UC109848



MEDIUM BRONZE - UC109862



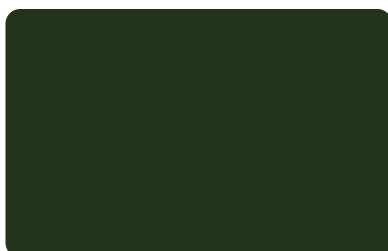
SANDSTONE - UC109856



SERENGETI GRASS - UC139981



ZINC GRAY - UC127266



HARTFORD GREEN - UC109881

There's a painted finish as expressive and enduring as the buildings you design. Permafluor™ Architectural Coatings combine beauty and successful performance as only a 70% fluoropolymer-based coating can.

Permafluor™ colors add life to your architectural expressions. Thirteen standard colors and a limitless pallet of custom colors can satisfy your creative needs. The standard colors are always in stock at Kawneer paint facilities for fast turnaround while the Permafluor™ custom colors can be formulated to meet your needs.

This is a paint that endures along with your architectural statement. Permafluor™ is formulated to maintain integrity for years. Outstanding durability translates to substantial maintenance savings over the life of the building.

Thousands of buildings throughout the world are a testament to the lasting beauty and performance of Kawneer standard Permafluor™ Architectural Coatings.

KAWNEER #22 STOCK PERMAFLUOR™ ARCHITECTURAL COATINGS

The 13 standard Permafluor™ colors shown on this chart are Kawneer #22 stock coatings. They are stocked at Kawneer paint facilities for fast turnaround of painted projects.

The following specifications are required for the proper application and end-use results of Permafluor™. Performance properties represent minimum results when Permafluor™ is applied according to specifications.

SPECIFICATIONS THAT MEET AAMA 2605 REQUIREMENTS

Permafluor™ coating will meet or exceed test requirements of AAMA 2605, Voluntary Specification, Performance Requirements and Test Procedures for Superior Performing Organic Coatings on Aluminum Extrusions and Panels.

The following are guidelines for specifying and applying Permafluor™ coatings:

Pretreatment – The aluminum shall be thoroughly cleaned using a multi-stage cleaning process to remove organic and inorganic surface soils and residual oxides. Apply a chemical conversion coating to which organic coatings will firmly adhere.

Primer – The cleaned and treated substrate shall be primed to a thickness of 0.2 – 0.3 mils using approved factory application methods.

Paint – The Permafluor™ paint system shall contain 70% PVDF (Hylar 5000® or Kynar 500®) resin and durable ceramic pigments. It shall be factory applied and oven baked for a topcoat film thickness of 1.0 mil minimum. Clear topcoat, if required, shall be applied at 0.4 – 0.8 mils.

PERFORMANCE TABLE

Criteria	Performance
AAMA 2605	Meets or exceeds
Substrate	Aluminum only
Pretreatment	Multi-stage cleaning and conversion coating
Dry Film Thickness (ASTM D7091)	1.2 mils
Specular Gloss (ASTM D523)	Low and medium
Dry Film Hardness (ASTM D3363)	F min.
Impact Resistance	1/10" deformation No loss of adhesion
Abrasion Resistance (ASTM D968)	Coefficient of 40 minimum
Salt Spray (ASTM G85 Annex A5)	Hours: 2,000 Scribe or cut edges: Rating 7 Field: Rating 8
Humidity Resistance (ASTM D2247 or ASTM D4585)	Hours: 4,000 Few No. 8 blisters max.
10 Years South Florida	Color change: 5ΔE (Hunter) units max. Chalk resistance: Rating 8 max.
10% Muriatic Acid Spot Test	15 min. No blistering or visual change
Mortar (Alkali) Resistance	24-hour spot test, no visual change
72-Hour Detergent Immersion (@ 100°F)	No loss of adhesion
Boiling Water Adhesion	No removal of film after 20 min. exposure

Hylar 5000® is a registered trademark of Solvay Solexis, Inc., Kynar 500® is a registered trademark of Arkema Inc.

Note: These color samples are as close as possible to actual colors offered within the limitations of printing techniques. Final color specification will be as per approved color samples. Permafluor™ finishes are formulated for Kawneer Company, Inc.

Permafluor™ : Form Number 14-2195.C













January 27, 2026

RE: Certificate Of Appropriateness # 25-1141
2 E Broad St; TMS # 006100-03-04107

To Whom It May Concern:

Planning staff has **denied** a Certificate of Appropriateness for 2 East Broad Street - commercial upfit. The denial is based on the information and documents submitted with your application and the application's non-compliance with *Design Guidelines for the Downtown*.

The proposed window treatment to block views of the interior space is not in conformance with the below downtown design guidelines:

Downtown Design Guidelines

4.1 Maximize the transparency of the ground floor to the street level to allow views of the use and activity within the building.

4.2 Use of darkly tinted and/or reflective glass is prohibited.

Additionally, the proposed window treatment is not in conformance with Greenville Development Code Division 19-2.11.13. Transparency.

If you believe the zoning office erred in its decision you have the right to appeal to the Design Review Board pursuant to South Carolina Code 1976, 6-29-890 within ten business days of receiving this notice of action.

Failure to comply with the approved Certificate of Appropriateness, including any terms, conditions or limitations placed on it, is a violation of the City of Greenville Code of Ordinances, subject to enforcement actions against the responsible person, as provided in Sec. 19-6.4 of the City Code.

Sincerely,

Alyson Smith
Senior Development Planner



APPLICATION FOR **URBAN DESIGN CERTIFICATE OF APPROPRIATENESS**

Contact Planning & Development (864) 467-4476 or planning@greenvillesc.gov

APPLICANT/OWNER INFORMATION

*Indicates Required Field

APPLICANT

PROPERTY OWNER

*Name:	Stephen Glover	Cap Camperdown LLC
*Title:	Owner/Founder, Saje General Contractors	NA
*Address:	2123 Old Spartanburg Rd ST 116	935 S. Main Street ST 201
*State:	SC	SC
*Zip:	29650	29601
*Phone:	864-561-6512	864-271-3894
*Email:	stephen@sajegc.com	info@capllc.com

PROPERTY INFORMATION

*STREET ADDRESS 2 E Broad St, Greenville, SC 29609

*TAX MAP #(S) 0061000304107

*ZONING CLASSIFICATION MXS-D

*PRESERVATION DISTRICT/SPECIAL DESIGNATION:

Downtown Review District West End Overlay Pettigru East Park Overbrook
 Hampton-Pinckney Heritage Colonel Elias Earle Local Landmark National Register

*Pursuant to S.C. Code Ann. § 6-29-1145, I hereby attest that the tract or parcel of land subject to this application IS NOT restricted by any recorded covenant that is contrary to, conflicts with, or prohibits the requested activity. Initial: SG

*ARE THERE EXISTING STRUCTURES ON THE PROPERTY? Yes No

DESCRIPTION OF REQUEST

*ORIGINAL APPLICATION # (N/A if new application) _____

To include: scope of project and response to specific guidelines and special conditions.

Replace existing sliding storefront windows and swing door with fixed storefront windows of same aluminum finish. Blackout film to be applied to inside face of clear glazing to block view of interior of space.

INSTRUCTIONS

1. All applications and fees (made payable to the City of Greenville) for Certificate of Appropriateness must be received by the planning and development office prior to review. Applications requiring review by the Design Review Board or Historic Review Board must be submitted no later than 2:00 pm of the date reflected on the posted calendar.

A. DESIGN REVIEW BOARD	\$300.00, <i>site plan review</i>
	\$300.00, <i>architectural review</i>
B. SIGNS	\$150.00
C. MINOR APPLICATION (STAFF REVIEW)	\$100.00
D. MODIFICATION TO AN APPROVED PROJECT	
Major (requires review by DRB)	½ Original Fee
Minor (requires review by staff)	\$50.00
E. INFORMAL REVIEW	\$50.00

2. Staff will review the application per Section 19-6.2.1(b)(3) for completeness and per Section 19-6.2.6-6.2.9 to determine the applicable fee structure and reviewing body.

3. **Public Notice Requirements (not applicable for minor applications).** Certificate of Appropriateness applications require public notice. The applicant is responsible for sign posting to the subject property at least 15 days (but no more than 18 days) prior to the scheduled design review board meeting date. Staff will provide the applicant with instructions, sign, and an affidavit of substantial compliance upon receipt of the application fee. The signed affidavit will be required with attached photos of the posted notice prior to review.

4. You must attach a complete digital set of scaled drawings of the property. A printed set of drawings is NOT required. Although construction drawings are not required, applicants should be able to provide construction drawings at the request of the DRB or HRB. Additional information may be requested at any time to fully understand the proposal. **Projects may require a two-phase DRB review process (Site Plan Review followed by Architectural Review), dependent on the scale of the proposed plans. Staff will notify the applicant upon receipt of the application if a two-phase review is required.**

5. Unless expressly determined by the administrator, all applications must contain the following:

SITE PLAN REVIEW

- a. Site Plan Drawings (indicating footprint of existing buildings, proposed building, proposed exterior elements, demolition of existing site features, floor plan, conceptual landscape plan with materials notated, conceptual lighting, conceptual furnishing package, proposed exterior equipment, etc.).
- b. Massing Studies and Images (images shall be high resolution and should depict adjacent building, proposed building massing from various viewpoints, initial architectural details, photos of surroundings to review context, etc.).
- c. Model (digital model that includes the surrounding context with massing only, no texture or articulation is required). ***The contextual model for the Design Review boundary can be downloaded here: <https://greenvillesc.gov/364/Access-GIS-Data>, and is provided as a .skp file.***

ARCHITECTURAL REVIEW

- a. Elevation Drawings of all Exterior Sides (indicate proposed materials, existing grade and proposed grade, proposed mechanical equipment, outdoor lighting fixtures, location of signage, removal of existing building elements, addition to existing building, a streetscape elevation of building adjacent to and across the street from the site, including the proposed building).
- b. Sections (include vertical dimensions in feet, building sections where significant changes occur in building volume, wall section for review of material relationships).
- c. Detail Drawings (include material and methods of each type of construction affecting the exterior appearance of the structure, samples, brochures and photographs of all exterior finishes, windows, fixtures, lighting and

signage).

- d. Renderings (include perspective drawings, including views from pedestrian and public realm).
- e. Model (digital model that includes the surrounding context and should include accurate scale, architectural detail to the extent that it describes the design intent, proposed textures and proposed sign location).
- f. Comparative Images (images of existing conditions and proposed modifications for all alterations to existing structures with proposed changes highlighted)
- g. Labeled Physical Samples of exterior finishes must be provided at the Public Meeting to the DRB.


For more detail on these submittal requirements, please refer to the [Greenville Downtown Design Guidelines](#), adopted May 2017.

Please verify that all required information is reflected on the plan(s).

6. **Please read carefully:** The applicant and property owner affirm that all information submitted with this application; including any/all supplemental information is true and correct to the best of their knowledge and they have provided full disclosure of the relevant facts.

In addition, the applicant affirms that the applicant or someone acting on the applicant's behalf has made a reasonable effort to determine whether a deed or other document places one or more restrictions on the property that preclude or impede the intended use and has found no record of such a restriction.

If the planning office by separate inquiry determines that such a restriction exists, it shall notify the applicant. If the applicant does not withdraw or modify the application in a timely manner, or act to have the restriction terminated or waived, then the planning office will indicate in its report to the planning commission that granting the requested change would not likely result in the benefit the applicant seeks.

*Signatures	
Applicant	
Date	12/02/2025
Property Owner/Authorized Agent	
Date	
Public Hearing information	
Public Hearing signs	

GOLDEN STRIP GLASS, INC.

CLEARLY THE CHOICE... REFLECTING EXCELLENCE

PROPOSAL TRANSMITTAL SHEET

TO:	FROM:
Stephen Glover	Chad Kelling
COMPANY:	DATE:
Saje	11/14/2025
RE:	TOTAL NO. OF PAGES INCLUDING COVER:
Camp	1

NOTES /COMMENTS:

We are pleased to offer you this proposal to provide material and labor for installation at the above project. The proposal is based on information submitted to us per your approval. Specifically,

- **Demo and Replace 87 SQFT of Existing Storefront**
 - **Kawneer 451T Thermally Broken 2" x 4 1/2" Front Set Storefront**
 - **Classic Bronze Painted Finish**
 - **Glazing is 1" CrystalGrey Insulated Tempered**
 - **3M Blackout Film**
 - **(1) 56" x 86" and (2) 72" x 56" Fixed Windows. No additional horizontal or vertical mullions.**

Material is guaranteed to be as specified above. The above work shall be performed in accordance with industry standards and completed in a workmanlike manner for the Sum of:

Base Bid: _____ **\$7,410.00**
Film: _____ **\$1,260.00**

Items NOT INCLUDED in this Proposal:

1. Payment and Performance Bonds 2. Final Cleaning of Glass 3. Any items not stated above

Any alteration or deviation from the above specifications involving extra costs will be executed only by written order and will become an extra charge over and above the proposal. All agreements are contingent upon strikes, accidents, or delays beyond our control. Proposal may be withdrawn if not accepted within 30 days. **Approval required prior to material order.**

343 MILLER RD.
MAULDIN, SC 29662
PHONE 864-297-9989 FAX 864-627-9410
EMAIL CHAD@GOLDENSTRIPGLASS.COM

Project Name: Camp

11/14/2025 11:17 AM

Frame Set Name: Submittal

Frame Name: A

Panels: 1

Rows: 1

Metal Group: GSG M451T FG/SS/OG 1/2 Flash

D/S: 1

Frame Type: Standard

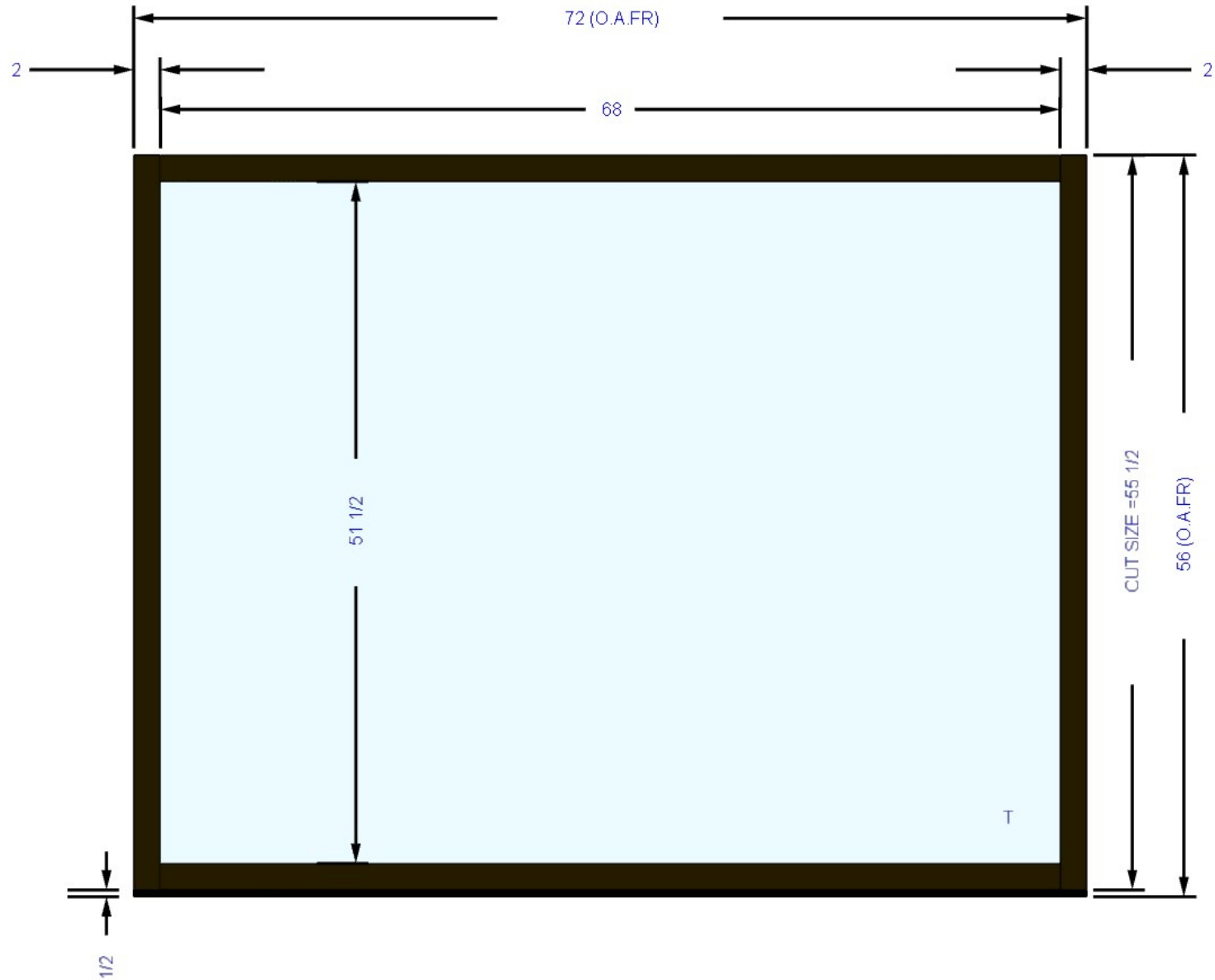
Frame Width: 72

Frame Height: 56

Required: 2

Back Member Color: #22 CLASSIC BRONZE : FLUROPON

Face Member Color: #22 CLASSIC BRONZE : FLUROPON



Project Name: Camp

11/14/2025 11:17 AM

Frame Set Name: Submittal

Frame Name: B

Panels: 1

Rows: 1

Metal Group: GSG M451T FG/SS/OG 1/2 Flash

D/S: 1

Frame Type: Standard

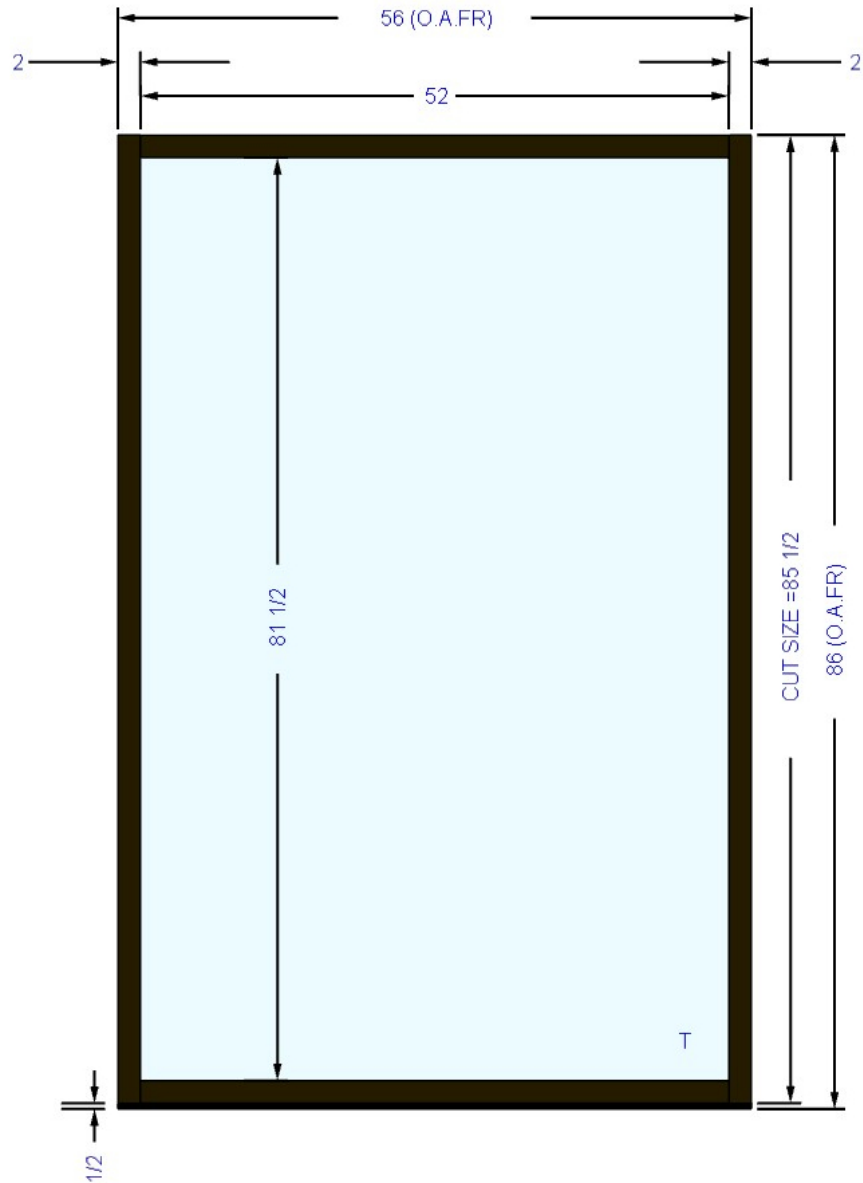
Frame Width: 56

Frame Height: 86

Required: 1

Back Member Color: #22 CLASSIC BRONZE : FLUROPON

Face Member Color: #22 CLASSIC BRONZE : FLUROPON



DESIGN AND PERFORMANCE VERSATILITY WITH UNMATCHED FABRICATION FLEXIBILITY

Photography: © Bob Perzel



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Photography: © Ben Gancsos



All systems can be flush glazed from either the inside or outside. The weatherseal option provides an alternative to SSG vertical mullions for Trifab® VersaGlaze® 450/451/451T. This ABS/ASA rigid polymer extrusion allows complete inside glazing and creates a flush glass appearance on the building exterior without the added labor of scaffolding or swing stages. Additionally, high-performance flashing options are engineered to eliminate perimeter sill fasteners and associated blind seals.

FOR THE FINISHING TOUCH

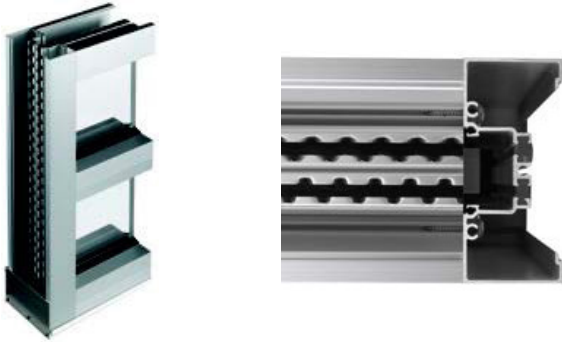
Architectural Class I anodized aluminum and painted finishes in fluoropolymer (AAMA 2605) and solvent-free powder coatings (AAMA 2604) offer a variety of color choices.

PERFORMANCE

Kawneer's Isolock® thermal break technology creates a composite section, prevents dry shrinkage and is available on Trifab® VersaGlaze® 451T. For even greater thermal performance, a dual Isolock® thermal break is used on Trifab® 451UT.

U-factor, CRF values and STC ratings for Trifab® framing systems vary depending upon the glass plane application. Project-specific U-factors can be determined for each individual project.

(See the Kawneer Architectural Manual or Kawneer.com for additional information.)

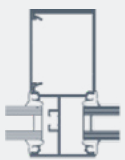
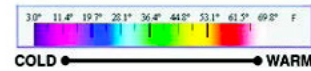
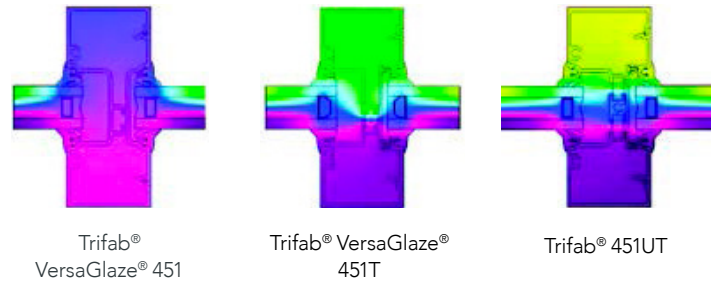


Trifab® 451UT uses a dual Isolock® thermal break (right) and features a new high performance sill design, which incorporates a screw-applied end dam (left), ensuring positive engagement and tight joints between the sill flashing and end dam.

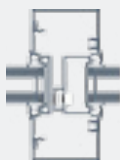
PERFORMANCE TEST STANDARDS

Air Infiltration	ASTM E283
Water	AAMA 501, ASTM E331
Structural	ASTM E330
Thermal	AAMA 1503
Thermal Break	AAMA 505, AAMA TIR-A8
Acoustical	AAMA 1801, ASTM E1425

Thermal simulations showing temperature variations from exterior/cold side to interior/warm side.



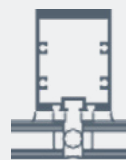
Front



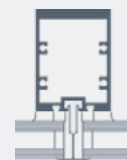
Center



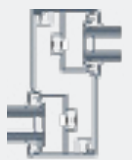
Back



SSG



Weatherseal



Multi-Plane

HIGH-PERFORMING PAINTS THAT LET YOU DESIGN IN VIBRANT LIVING COLOR

PERMAFLUOR™ ARCHITECTURAL FINISHES



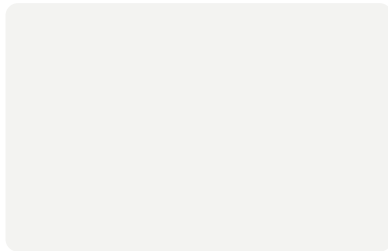
ANTIQUE BRONZE - UC100027



BLACK - UC109846



BLACK MAGIC - UC135973



BONE WHITE - UC109880



BRIGHT WHITE - UC55026



CHARCOAL - UC109852



CLASSIC BRONZE - UC109850



DOVE GRAY - UC109848



MEDIUM BRONZE - UC109862



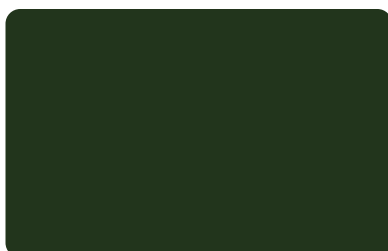
SANDSTONE - UC109856



SERENGETI GRASS - UC139981



ZINC GRAY - UC127266



HARTFORD GREEN - UC109881

There's a painted finish as expressive and enduring as the buildings you design. Permafluor™ Architectural Coatings combine beauty and successful performance as only a 70% fluoropolymer-based coating can.

Permafluor™ colors add life to your architectural expressions. Thirteen standard colors and a limitless pallet of custom colors can satisfy your creative needs. The standard colors are always in stock at Kawneer paint facilities for fast turnaround while the Permafluor™ custom colors can be formulated to meet your needs.

This is a paint that endures along with your architectural statement. Permafluor™ is formulated to maintain integrity for years. Outstanding durability translates to substantial maintenance savings over the life of the building.

Thousands of buildings throughout the world are a testament to the lasting beauty and performance of Kawneer standard Permafluor™ Architectural Coatings.

KAWNEER #22 STOCK PERMAFLUOR™ ARCHITECTURAL COATINGS

The 13 standard Permafluor™ colors shown on this chart are Kawneer #22 stock coatings. They are stocked at Kawneer paint facilities for fast turnaround of painted projects.

The following specifications are required for the proper application and end-use results of Permafluor™. Performance properties represent minimum results when Permafluor™ is applied according to specifications.

SPECIFICATIONS THAT MEET AAMA 2605 REQUIREMENTS

Permafluor™ coating will meet or exceed test requirements of AAMA 2605, Voluntary Specification, Performance Requirements and Test Procedures for Superior Performing Organic Coatings on Aluminum Extrusions and Panels.

The following are guidelines for specifying and applying Permafluor™ coatings:

Pretreatment – The aluminum shall be thoroughly cleaned using a multi-stage cleaning process to remove organic and inorganic surface soils and residual oxides. Apply a chemical conversion coating to which organic coatings will firmly adhere.

Primer – The cleaned and treated substrate shall be primed to a thickness of 0.2 – 0.3 mils using approved factory application methods.

Paint – The Permafluor™ paint system shall contain 70% PVDF (Hylar 5000® or Kynar 500®) resin and durable ceramic pigments. It shall be factory applied and oven baked for a topcoat film thickness of 1.0 mil minimum. Clear topcoat, if required, shall be applied at 0.4 – 0.8 mils.

PERFORMANCE TABLE

Criteria	Performance
AAMA 2605	Meets or exceeds
Substrate	Aluminum only
Pretreatment	Multi-stage cleaning and conversion coating
Dry Film Thickness (ASTM D7091)	1.2 mils
Specular Gloss (ASTM D523)	Low and medium
Dry Film Hardness (ASTM D3363)	F min.
Impact Resistance	1/10" deformation No loss of adhesion
Abrasion Resistance (ASTM D968)	Coefficient of 40 minimum
Salt Spray (ASTM G85 Annex A5)	Hours: 2,000 Scribe or cut edges: Rating 7 Field: Rating 8
Humidity Resistance(ASTM D2247 or ASTM D4585)	Hours: 4,000 Few No. 8 blisters max.
10 Years South Florida	Color change: 5ΔE (Hunter) units max. Chalk resistance: Rating 8 max.
10% Muriatic Acid Spot Test	15 min. No blistering or visual change
Mortar (Alkali) Resistance	24-hour spot test, no visual change
72-Hour Detergent Immersion (@ 100°F)	No loss of adhesion
Boiling Water Adhesion	No removal of film after 20 min. exposure

Hylar 5000® is a registered trademark of Solvay Solexis, Inc., Kynar 500® is a registered trademark of Arkema Inc.

Note: These color samples are as close as possible to actual colors offered within the limitations of printing techniques. Final color specification will be as per approved color samples. Permafluor™ finishes are formulated for Kawneer Company, Inc.

Permafluor™ : Form Number 14-2195.C

Designed by/for:

Date: 11/11/2025

ARCHITECTURAL GUIDE SPECIFICATION SECTION 088000 GLAZING

Note to Specifiers:

The specifications below are suggested as desirable inclusions in glass and glazing specifications (section 088000), but are not intended to be complete. An appropriate and qualified Architect or Engineer must verify suitability of a particular product for use in a particular application as well as review final specifications. Oldcastle BuildingEnvelope® assumes no responsibility or liability for the information included or not included in these specifications.

APPROVED GLASS FABRICATOR

Oldcastle BuildingEnvelope®

GLAZING PRODUCTS

Glass Standards

1. Annealed float glass shall comply with ASTM C1036, Type I, Class 1 (clear), Class 2 (tinted), Quality-Q3.
2. Heat-strengthened float glass shall comply with ASTM C1048, Type I, Class 1 (clear), Class 2 (tinted), Quality Q3, Kind HS.
3. Tempered float glass shall comply with ASTM C1048, Type I, Class 1 (clear), Class 2 (tinted), Quality Q3, Kind FT.
4. Laminated glass to comply with ASTM C1172.
5. Glass shall be annealed, heat-strengthened or tempered as required by codes, or as required to meet thermal stress and wind loads.

www.obe.com/systemselect



Contact Oldcastle BuildingEnvelope® at 866-OLDCASTLE (653-2278) for samples or additional information. SystemSelect® calculates center of glass data using the Lawrence Berkeley National Laboratory (LBNL) Berkeley Lab WINDOW Calc Engine (CalcEngine) with thermal performance per NFRC 100, 200 & 500. Glass data is from following sources: 1. LBNL International Glazing Database (IGDB); 2. Vendor supplied data; 3. LBNL Optics 6; 4. Based on vendor testing, clear acid-etched glass performance data is estimated using regular clear glass of equivalent thickness. Framing system values and glass spacer values determined per LBNL THERM 7.4. Thermal values are in both Imperial (IP) and Metric (SI) units.

Sealed Insulating Glass (IG)

Vision Glass (Vertical)

1. IG units consist of glass lites separated by a dehydrated airspace that is hermetically dual sealed with a primary seal of polyisobutylene (PIB) or Thermoplastic Spacer (TPS) and a secondary seal of silicone or an organic sealant depending on the application.
2. USA - Insulating glass units are certified through the Insulating Glass Certification Council (IGCC) to ASTM E2190. Canada - Insulating Glass units are certified through the Insulating Glass Manufacturers Alliance (IGMA) to either the IGMAC certification program to CAN/CGSB-12.8, or through the IGMA program to ASTM E2190.

IG VISION UNIT PERFORMANCE CHARACTERISTICS

1. Exterior Lite: 6mm (1/4") Guardian CrystalGray®
2. Cavity: 1/2" (Air Fill)
3. Interior Lite: 6mm (1/4") Guardian Clear
4. Performance Characteristics

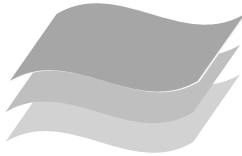
<u>Thermal</u>		<u>Optical</u>	
Winter U-factor (Btu/h·ft ² ·F):	0.47	Visible Light Transmittance:	57%
Winter U-factor (W/m ² ·K):	2.69	Visible Light Reflectance (outside):	10%
Solar Heat Gain Coefficient:	0.55	Visible Light Reflectance (inside):	13%
Shading Coefficient:	0.64	Total Solar Transmittance:	45%
Light to Solar Gain:	1.03	Total Solar Reflectance (outside):	8%
		Ultraviolet Transmittance:	27%

3M™ Blackout Film F506

Technical Data Sheet

Description

3M™ Blackout Film F506 is a high performance paint replacement film intended for application to a wide range of exterior surfaces.



Film Layer: Single layer PVC film

Adhesive Layer

Release Liner

Physical Properties

Film type	Single layer PVC film
Color	Black
Surface appearance	Textured
Nominal thickness	450 µm (incl. adhesive)
Adhesive type	Pressure sensitive Acrylic adhesive (suitable for wet application)
Liner type	Kraft paper
Typical substrates	Automotive paint
Tensile Strength	> 1500 N/cm ²
Elongation	> 250 %

Product Information

Ease of application	★ ★ ★
Weathering durability	★ ★
Shear resistance	★
Resistance to shrinkage (applied)	★
Conformability	★

(maximum 3 stars)

Shelf life

6 months in original packaging. Store in dry, dark conditions at +15°C to +25°C and a maximum of 50% relative humidity. Avoid direct sunlight.



Limitation of End Use

3M specifically does not recommend or warrant any use other than described in local instructions, but please contact us to discuss your needs to recommend other products.

Additional Information

To request additional product information see address below.

IMPORTANT NOTICE:

All statements, technical information and recommendations contained in this document are based upon tests or experience that 3M believes are reliable. However, many factors beyond 3M's control can affect the use and performance of a 3M product in a particular application, including the conditions under which the product is used and the time and environmental conditions in which the product is expected to perform. Since these factors are uniquely within the user's knowledge and control, it is essential that the user evaluates the 3M product to determine whether it is fit for a particular purpose and suitable for the user's method or application.

Values presented have been determined by standard test methods and are average values not meant to be used for specification purposes.

All questions of warranty and liability relating to this 3M product are governed by the terms of the respective sale subject, where applicable, to the prevailing law.

3M is a trademark of 3M Company.

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Solution Division
Molengraaffsingel 29
2629 JD Delft

3M Belgium bvba / sprl
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Hermeslaan 7
1831 Diegem

3M Deutschland GmbH
Automotive & Aerospace
Solution Division
Carl-Schurz-Str.1
41453 Neuss

Supersedes:
03.2020

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CAMP

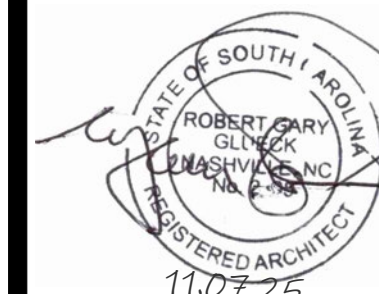
Modern American Eatery

2 East Broad Street, Greenville, SC 29601

North Carolina Office
3797 Loop Road
Nashville, NC 27856

252-452-3000
glueckarchitecture@netzero.net

EXPIRATION DATE: 06.30.27
#: 2495



CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT JOB SITE.

TEAM MEMBERS:

TENANT:
TABLE 301 RESTAURANT GROUP
207 SOUTH MAIN STREET
GREENVILLE, SC 29601
CONTACT: BRIAN & EMILY CROSSAN
PH: 864-617-4383
EMAIL: bcrossan@table301.com

PROJECT CONTACT:
LHDESIGN HUBB, LLC
PO BOX 6860
MYRTLE BEACH, SC 29572
CONTACT: LAURA HUBBARD
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EMAIL: laura@lhdesignpm.com

ARCHITECT:
GARY GLUECK ARCHITECTURE PLANNING
3797 LOOP ROAD
NASHVILLE, NC 27856
CONTACT: GARY R. GLUECK
PH: 252-459-5900

GENERAL CONTRACTOR
SAJE GENERAL CONTRACTORS
GREENVILLE, SC
CONTACT: STEPHEN GLOVER
PH: 864-561-6512
EMAIL: stephen@sajegc.com

PROJECT NOTES:

- SCOPE OF WORK INCLUDES RENOVATION OF EXISTING BUILDING FOR ALL ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING WORK AS SHOWN ON DRAWINGS.
- CONTRACTOR SHALL FURNISH, APPLY, INSTALL, CONNECT, ERECT, USE, CLEAN AND CONDITION MANUFACTURED ARTICLES, MATERIALS, & EQUIPMENT AS DIRECTED BY THE MANUFACTURER U.N.O.
- CONTRACTOR TO CLEAN CONSTRUCTION AT COMPLETION OF PROJECT.
- ALL WORK TO BE EXECUTED IN ACCORDANCE WITH ALL APPLICABLE CODES.
- ALL DIMENSIONS AND SIZES OF EXISTING CONSTRUCTION INDICATED ON DRAWINGS SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
- CONTRADICTIONS BETWEEN ACTUAL FIELD CONDITIONS AND CONDITIONS SHOWN SHALL BE REPORTED TO THE ARCHITECT AND IF NECESSARY FURTHER DETAILS WILL BE PROVIDED.
- IF THE CONTRACTOR ENCOUNTERS PROBLEMS IN PERFORMANCE OF THE WORK INDICATED, HE SHALL BRING SUCH PROBLEMS TO THE ATTENTION OF ARCHITECT FOR THE PROPER ACTION BEFORE WORK CONTINUES. THE CONTRACTOR SHALL NOTIFY THE A/E OF ANY ITEMS NOT SHOWN OR INDICATED IN THE CONSTRUCTION DOCUMENTS THAT, IN HIS OPINION, REQUIRE REPAIR OR MODIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL SHORING, BRACING AND FALSE WORK REQUIRED FOR THE RENOVATION AND CONSTRUCTION WORK. THE CONTRACTOR SHALL SUBMIT FOR ARCHITECT'S REVIEW A LAYOUT OF SHORING INDICATING PLACEMENT AND LOAD CAPACITIES OF SHORING ELEMENTS.
- DURING CONSTRUCTION ALL MATERIALS SHALL BE CAREFULLY HANDLED TO PROTECT ALL EXISTING FACILITIES.
- DO NOT CUT, CORE, OR HAMMER THRU OR INTO ANY EXISTING FRAMING UNLESS SPECIFICALLY NOTED ON THE STRUCTURAL DRAWINGS OR NOTED IN WRITING FROM THE ARCHITECT/ENGINEER.
- VERIFY LOCATION OF ALL OPENINGS, EMBEDDED ITEMS & CONCRETE CONFIGURATIONS WITH DRAWINGS AND SPECIFICATIONS FROM ALL OTHER DISCIPLINES. LOCATE AND SHOW ALL THESE ITEMS ON APPROVED SHOP DRAWINGS.
- IT IS NOT TO BE IMPLIED IN ANY WAY WHATSOEVER THAT THE ENGINEER OR ARCHITECT IS RESPONSIBLE FOR THE METHODS AND MEANS OF ANY ASPECT OF THIS PROJECT.
- EXISTING PIPES, ELECTRICAL BOXES, DUCTWORK, FAN UNITS, GARAGE DOOR TRACKS AND MOTORS, HANDRAIL ETC. TO BE RELOCATED AND MODIFIED AS NECESSARY TO ACCOMMODATE COLUMN, BEAM OR SLAB MODIFICATIONS/ADDITIONS.
- THE CONTRACTOR AND SUBCONTRACTOR ASSUME FULL LIABILITY FOR THE STRUCTURAL INTEGRITY OF THE INDICATED STRUCTURAL ROOF AND/OR FLOOR SYSTEMS WHEN SHOP DRAWINGS ARE NOT SUBMITTED OR FOLLOWED.
- DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS.
- THE STRUCTURE IS DESIGNED TO FUNCTION AS A UNIT UPON COMPLETION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING THAT MAY BE REQUIRED AS THE RESULT OF THE CONTRACTOR'S MEANS AND METHODS AND/OR SEQUENCES.
- THE CONTRACTOR'S CONSTRUCTION AND/OR ERECTION SEQUENCES SHALL RECOGNIZE AND CONSIDER THE EFFECTS OF THERMAL MOVEMENTS OF STRUCTURAL ELEMENTS DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR IS RESPONSIBLE FOR LIMITING THE AMOUNT OF CONSTRUCTION LOADS IMPOSED ON THE STRUCTURAL FRAMING. CONSTRUCTION LOADS SHOULD NOT EXCEED THE DESIGN CAPACITY OF THE FRAMING AT THE TIME THE CONSTRUCTION LOADS ARE IMPOSED.
- THE EXTENT OF THE RENOVATION WORK MAY NOT BE LIMITED TO THE DETAILS OR LOCATIONS SHOWN. IF ADDITIONAL RENOVATION WORK BECOMES REQUIRED AS THE CONSTRUCTION PROCEEDS, ADDITIONAL DETAILS WILL BE DEVELOPED AND PROVIDED.
- AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A104-2017 EDITION OR APPROVED EQUAL SHALL BE USED FOR THE CONTRACT FOR CONSTRUCTION.
- CONTRACTOR SHALL FURNISH BUILDING PERMITS AND FEES.
- REMOVE EXISTING CONSTRUCTION, BOTH ABOVE AND BELOW GRADE TO EXTENT INDICATED OR AS OTHERWISE REQUIRED TO PERMIT CONSTRUCTION.
- DISPOSE OF WASTE MATERIALS, INCLUDING TRASH, DEBRIS, AND EXCESS TOPSOIL OFF OWNER'S PROPERTY UNLESS DIRECTED OTHERWISE.

INDEX OF DRAWINGS:

SHEET	DESCRIPTION
CS	COVER SHEET
LS	LIFE SAFETY PLAN AND NOTES
A1	FLOOR PLANS AND SCHEDULES
A2	REFLECTED CEILING PLANS AND FINISH PLAN
A3	EXTERIOR ELEVATIONS

PARCEL ID / TAX MAP:

0061000304107

PROJECT DESCRIPTION:

INTERIOR ALTERATIONS TO EXPAND EXISTING RESTAURANT INTO 358 SQ. FT. VACANT ADJACENT TENANT SPACE. NO WORK IN EXISTING RESTAURANT SPACE. RESTAURANT TO REMAIN OPEN AND OPERATING DURING CONSTRUCTION. SCOPE WITHIN 358 SQ. FT. SPACE: REPLACE EXTERIOR WINDOWS AND DOOR WITH NEW STOREFRONT WINDOWS, MODIFY LOCATION OF EXISTING RESTROOM PARTITION WALL AND DOOR, NEW FINISHES, NEW CUSTOM CABINETS AND SHELVING, AND NEW FURNITURE AND FIXTURES.

DEFERRED SUBMITTALS

- SPRINKLER SHOP DRAWINGS FOR ALTERATIONS TO EXISTING SYSTEM
- FIRE ALARM SHOP DRAWINGS FOR ALTERATIONS TO EXISTING SYSTEM

CODE SUMMARY

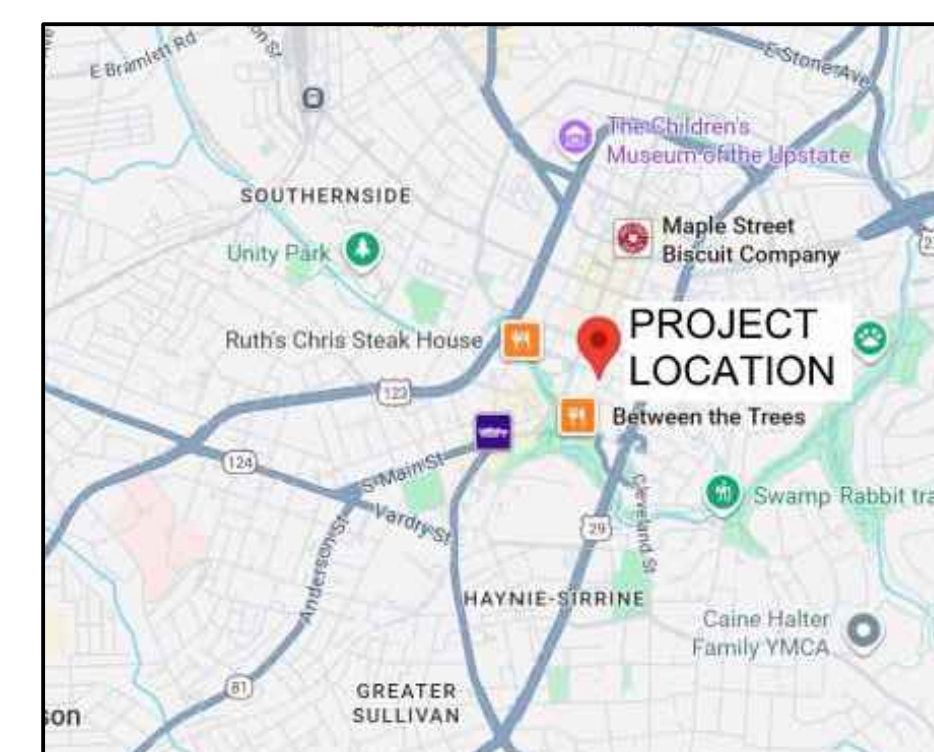
EXISTING OCCUPANCY (AREA IN SCOPE OF WORK)	BUSINESS (B) - VACANT PREVIOUSLY OCCUPIED BY VALET PARKING OFFICE
PROPOSED OCCUPANCY	ASSEMBLY (A-2) COMBINE WITH EXISTING TENANT SPACE (A-2 USE)
CONSTRUCTION TYPE	V-B
SPRINKLER SYSTEM	YES, EXISTING TO REMAIN
FIRE ALARM	YES, EXISTING TO REMAIN
GROSS AREA - EXISTING	3,548 SF 1ST FLOOR + 722 SF (ROOF BAR) = 4,270 SF
GROSS AREA - ADDITION	358 SF
TOTAL GROSS AREA	4,270 (EXISTING) + 358 (NEW) = 4,628 SF
ALLOWABLE AREA V-B, FULLY SPRINKLERED	A-2 = 24,000 SF TABLE 508.2
ALLOWABLE BUILDING HT	60'-0" TABLE 504.3
ACTUAL BUILDING HT	APPROX. 18'-00" (EXISTING, NO CHANGE)
ALLOWABLE # OF STORIES	2 TABLE 504.4
ACTUAL # OF STORIES	2 (EXISTING, NO CHANGE)
LEVEL OF ALTERATIONS	LEVEL 2

GENERAL BUILDING HEIGHTS AND AREAS IBC CHAPTER 5:

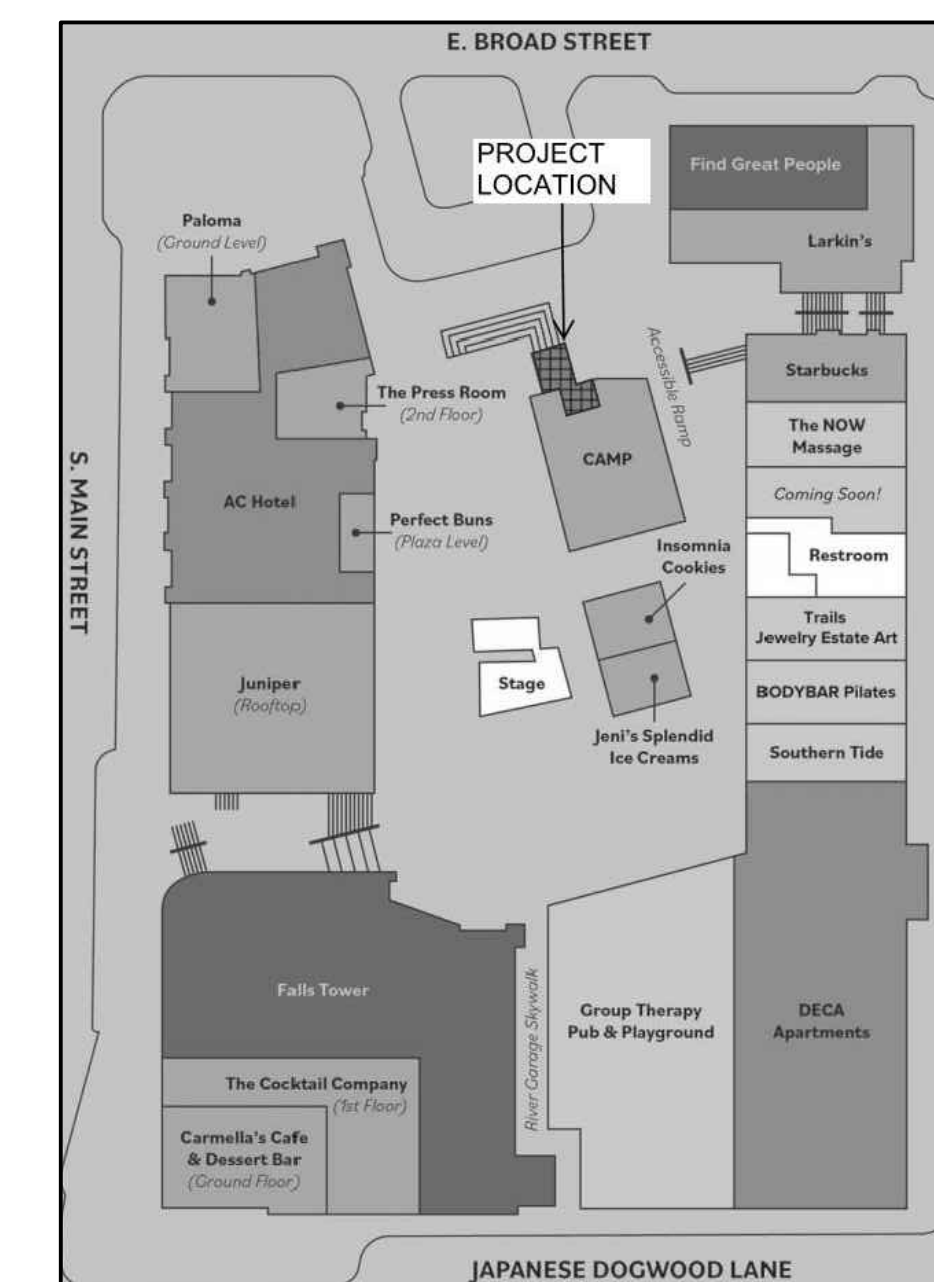
PROJECT IS IN COMPLIANCE WITH ALL APPLICABLE HEIGHT AND AREA REQUIREMENTS

TABLE 508.4 REQUIRED SEPARATION OF OCCUPANCIES (HOURS):
0 HOURS
TWO EXISTING TENANT SPACES TO BE COMBINED TO CREATE A SINGLE TENANT SPACE WITH A-2 OCCUPANCY
*FULLY SPRINKLERED BUILDING

** SEE SHEET LS FOR OCCUPANT COUNT, ADDITIONAL CODE REVIEW INFORMATION, AND EGRESS PLAN



1 LOCATION MAP
SCALE: NTS



2 SITE MAP / KEY PLAN
SCALE: NTS

CODE AUTHORITY

CODE JURISDICTION	CITY OF GREENVILLE, SC 206 S. MAIN ST. GREENVILLE, SC 29601 (864) 232-2273
BUILDING CODE	2021 INTERNATIONAL BUILDING CODE **
BUILDING CODE	2021 INTERNATIONAL EXISTING BUILDING CODE**
PLUMBING CODE	2021 INTERNATIONAL PLUMBING CODE**
MECHANICAL CODE	2021 INTERNATIONAL MECHANICAL CODE**
ELECTRICAL CODE	2020 NATIONAL ELECTRICAL CODE W/ MODIFICATIONS
FIRE CODE	2021 INTERNATIONAL FIRE CODE**
ENERGY CONSERVATION CODE	2009 INTERNATIONAL ENERGY CONSERVATION CODE**
ACCESSIBILITY CODE	ICC / ANSI A117.1 - 2017 STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

**INCLUDES ALL SC AMENDMENTS TO INTERNATIONAL BUILDING CODES

BUILDING ALTERATIONS FOR THE:
CAMP Modern American Eatery
CAMPERDOWN PLAZA - FLOOR 1
2 EAST BROAD STREET
GREENVILLE, SC 29601

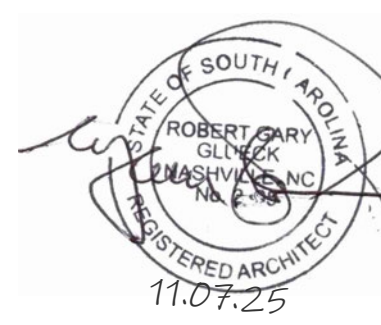
PROJECT HISTORY

NO.	DATE	DESC.
	10/06/2025	FOR CONSTRUCTION
Δ	11/07/2025	FOR CONSTRUCTION

DRAWN BY: CADD
CHECKED BY: RGG
DATE: OCTOBER 6, 2025
LHDP# 25-021
SHEET TITLE

COVER SHEET

PROJECT SHEET NO.
4396 CS



CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT JOB SITE.

BUILDING ALTERATIONS FOR THE
CAMP Modern American Eatery
 CAMPERDOWN PLAZA - FLOOR 1
 2 EAST BROAD STREET
 GREENVILLE, SC 29601

PROJECT HISTORY

NO.	DATE	DESC.
	10/06/2025	FOR CONSTRUCTION
	11/07/2025	FOR CONSTRUCTION

DRAWN BY: CADD
CHECKED BY: RGG
DATE: OCTOBER 6, 2025
LHDP# 25-021
SHEET TITLE
LIFE SAFETY PLAN AND NOTES

OCCUPANT LOAD CALCS

SECTION 1004 OCCUPANT LOAD, TABLE 1004.5

USE GROUP	AREA	FACTOR	# OCCUPANTS
RESTAURANT 1ST FLOOR	3,906 SQ. FT. TOTAL AREA:		
EXISTING RESTAURANT (A-2)	3,548 SF	POSTED	= 100 OCCUPANTS
NEW RESTAURANT (A-2)	358 SF	POSTED	= 10 OCCUPANTS
EXISTING ROOF TOP BAR:	722 SQ. FT. TOTAL AREA:		
ASSEMBLY (A-2)	475 SF	/ 15	= 30 OCCUPANTS (CUSTOMERS)
BACK BAR / PREP AREA	247 SF	/ 300	= 2 OCCUPANTS (STAFF)
TOTAL NUMBER OF OCCUPANTS:			= 142 OCCUPANTS

GENERAL NOTE REGARDING AREAS OF CONSTRUCTION:

- AREAS IN SCOPE OF WORK ARE CURRENTLY UNOCCUPIED AND WILL REMAIN UNOCCUPIED BY TENANT DURING CONSTRUCTION.
- CAMP RESTAURANT WILL REMAIN OCCUPIED AND USED BY TENANT DURING CONSTRUCTION. GC WILL PROVIDE CONSTRUCTION BARRIERS AS NEEDED AND WILL ENSURE THAT ALL LIFE SAFETY SYSTEMS, RESTROOMS, AND CLEAR PATHS OF TRAVEL AND EGRESS ARE MAINTAINED DURING CONSTRUCTION.

EXITS REQUIRED

A-2 USE GROUP, FULLY SPRINKLERED BUILDING:

LEVEL	NUMBER OF EXITS REQUIRED	NUMBER OF EXITS PROVIDED
LOWER LEVEL (1ST FLOOR):	2	3
UPPER LEVEL (ROOF BAR):	1	1

EXIT WIDTH REQUIRED: 110 OCCUPANTS X .2" = 22"
EXIT WIDTH PROVIDED: 120"

EXIT WIDTH REQUIRED: 32 OCCUPANTS X .3" (STAIRS) = 9.6"
EXIT WIDTH PROVIDED: 60"

EXIT ACCESS TRAVEL DISTANCE:

TABLE 1017.2 EXIT ACCESS TRAVEL DISTANCE:

OCCUPANCY	MAX. TRAVEL DISTANCE ALLOWED
A-2	250'

MAX. TRAVEL DISTANCE 1ST FLOOR = 62'-5" (SEE LIFE SAFETY PLAN)

INTERIOR FINISHES IBC CHAPTER 8:

TABLE 803.13 INTERIOR WALL AND CEILING REQUIREMENTS:

GROUP	SPRINKLERED INTERIOR STAIRWAYS AND PASSAGEWAYS	CORRIDORS AND EXIT ACCESS STAIRWAYS	ROOMS AND ENCLOSED SPACES
A-2	B	B	C

INTERIOR FINISHES TO COMPLY WITH IBC 2021 CHAPTER 8

PLUMBING SYSTEMS IBC CHAPTER 29:

**ALL PLUMBING FIXTURES ARE EXISTING TO REMAIN
**OCCUPANT COUNT TOTAL: 70 OCCUPANTS / 2 = 35 MALES, 35 FEMALES

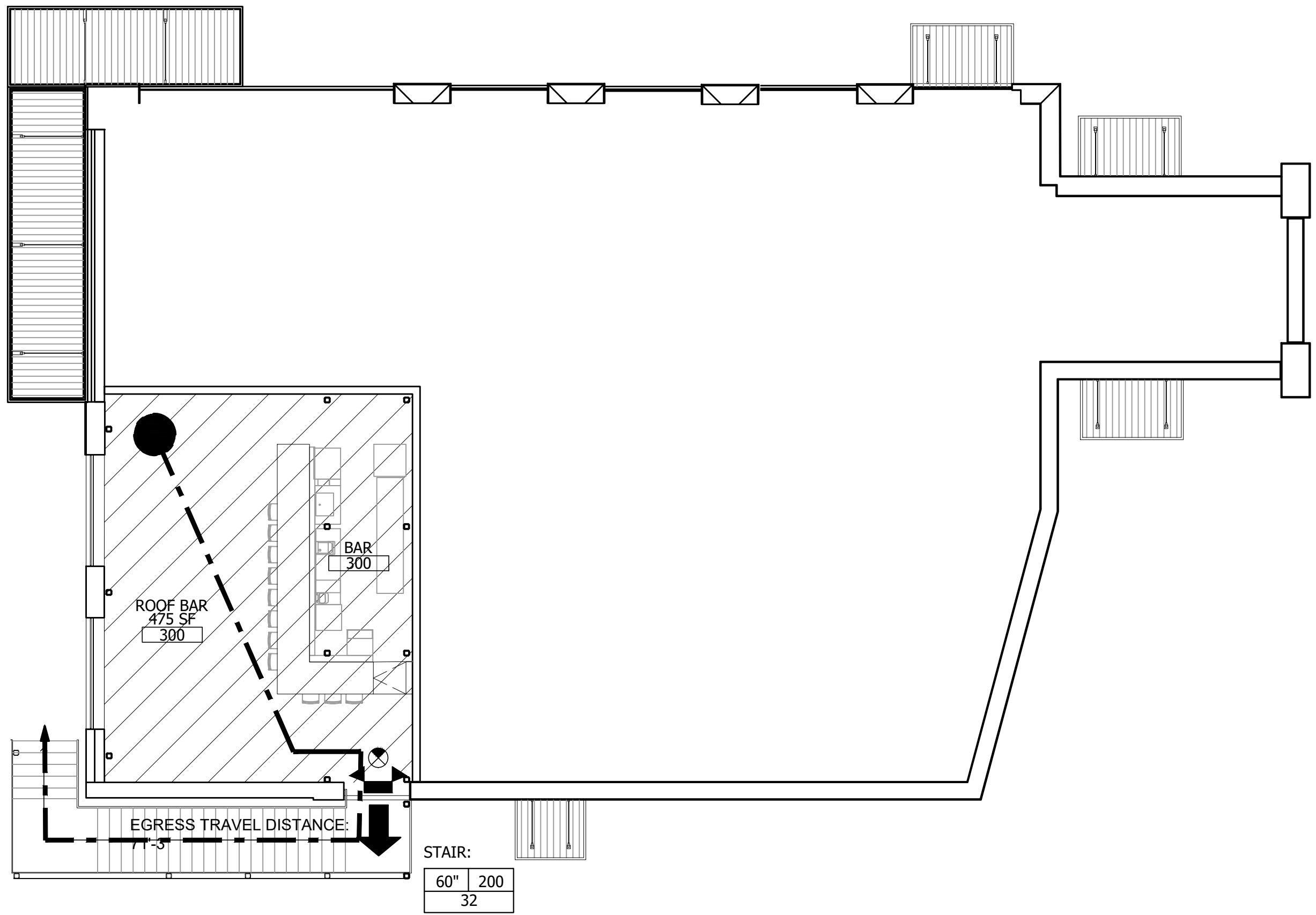
OCCUPANCY	LOAD	WATER CLOSETS		URINALS	LAVATORIES	
		MALE	FEMALE	MALE	MALE	FEMALE
A-2	142 (71 M, 71 F)	1	1	0	1	1
		*1 PER 75, FOR 1ST 75			*1 PER 200, FOR 1ST 200	

REQUIRED FIXTURES: 1 MALE WC, 1 FEMALE WC, 0 URINALS, 1 MALE LAV, 1 FEMALE LAV
PROVIDED FIXTURES: 1 MALE WC, 1 FEMALE WC, 0 URINALS, 1 MALE LAV, 1 FEMALE LAV

ADDITIONAL FIXTURES PROVIDED:
STAFF, UNISEX RESTROOM IN KITCHEN IS EXISTING TO REMAIN
NEW UNISEX RESTROOM IN ADDITION IS EXISTING TO REMAIN

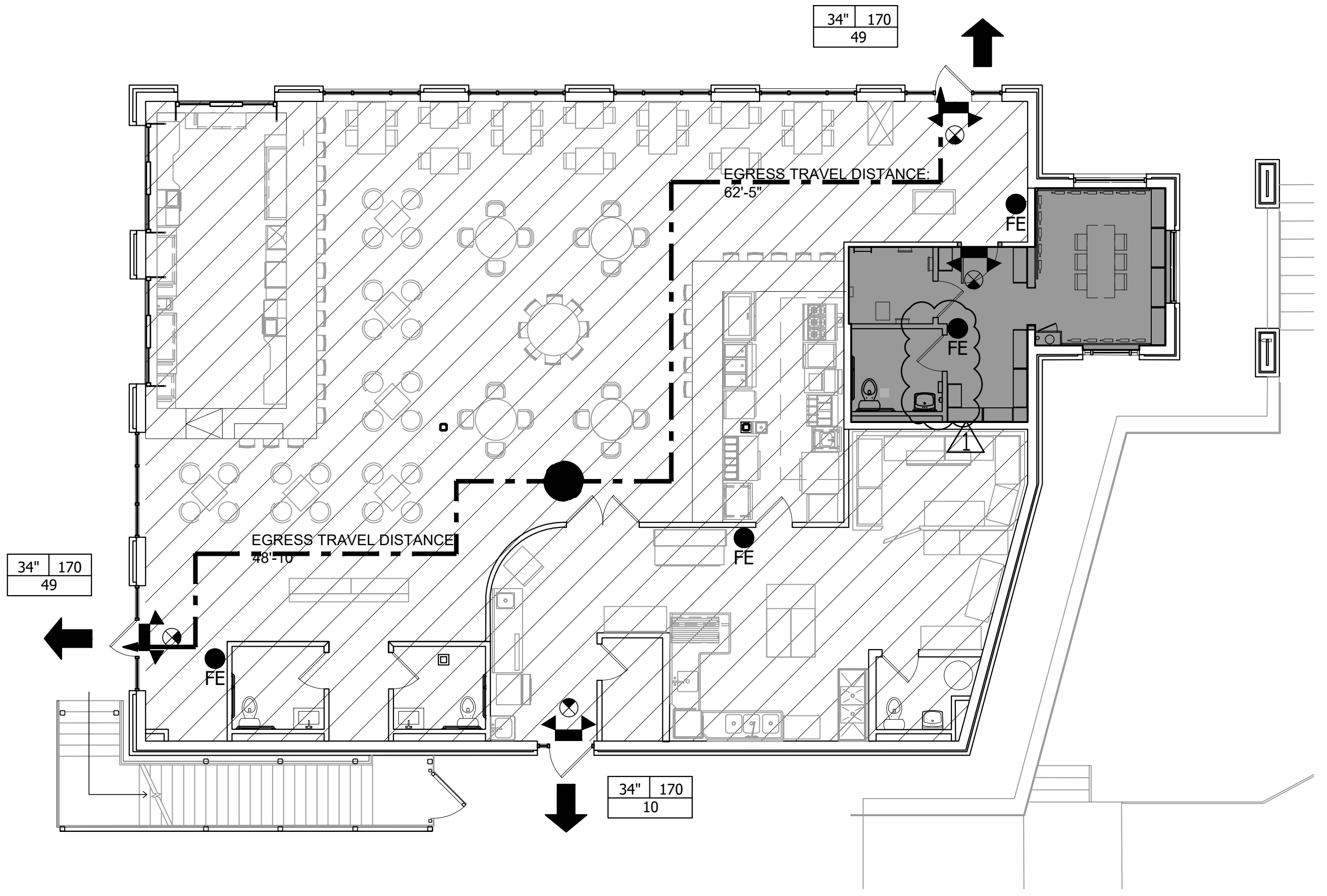
DRINKING FOUNTAINS REQUIRED: 1 PER 100 OCCUPANTS (1 HI, 1 LO PER ACCESSIBILITY REQUIREMENTS)
DRINKING FOUNTAINS PROVIDED: 0 REQUIRED, PER IPC-SC, 140.4 SUBSTITUTION - WHERE A RESTAURANT PROVIDES WATER IN A CONTAINER FREE OF CHARGE SHALL NOT BE REQUIRED TO HAVE A DRINKING FOUNTAIN

SERVICE SINKS REQUIRED: 1 SERVICE SINKS PROVIDED: 1 (EXISTING)



BUILDING EGRESS PLAN - ROOF LEVEL

SCALE: 1/8" = 1'-0"



BUILDING EGRESS PLAN - 1ST FLOOR

SCALE: 1/8" = 1'-0"

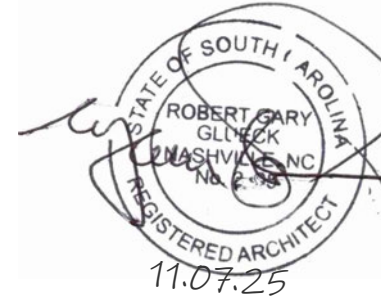
LEGEND - LIFE SAFETY PLAN:

- DOOR WIDTH IN INCHES: $\frac{\#}{\#}$ ALLOWABLE # OF OCC. PER IBC (.15" PER OCCUPANT)
- REQUIRED # OF OCC.
- EGRESS EXIT: \dashrightarrow
- EXIT LIGHT: \otimes
- EMERGENCY LIGHT: \leftarrow
- FIRE EXTINGUISHER: \bullet FE
- TEMP. CONSTRUCTION BARRIER: ---|---|---
- SEPARATION LINE OF OCCUPIED AND UNOCCUPIED TENANT SPACES DURING CONSTRUCTION: ---|---|---

- OCCUPANT LOAD:
- AREA OF WORK: \blacksquare
 - OCCUPIED TENANT SPACE ASSEMBLY (A-2) USE GROUP: hatched square

GENERAL NOTES:

- THE EGRESS CAPACITY OF A 36" DOOR HAS BEEN CALCULATED USING 34" CLEAR WIDTH. 34"/0.15" = 226 OCCUPANTS



CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT JOB SITE.

BUILDING ALTERATIONS FOR THE
CAMP Modern American Eatery
CAMPERDOWN PLAZA - FLOOR 1
2 EAST BROAD STREET
GREENVILLE, SC 29601

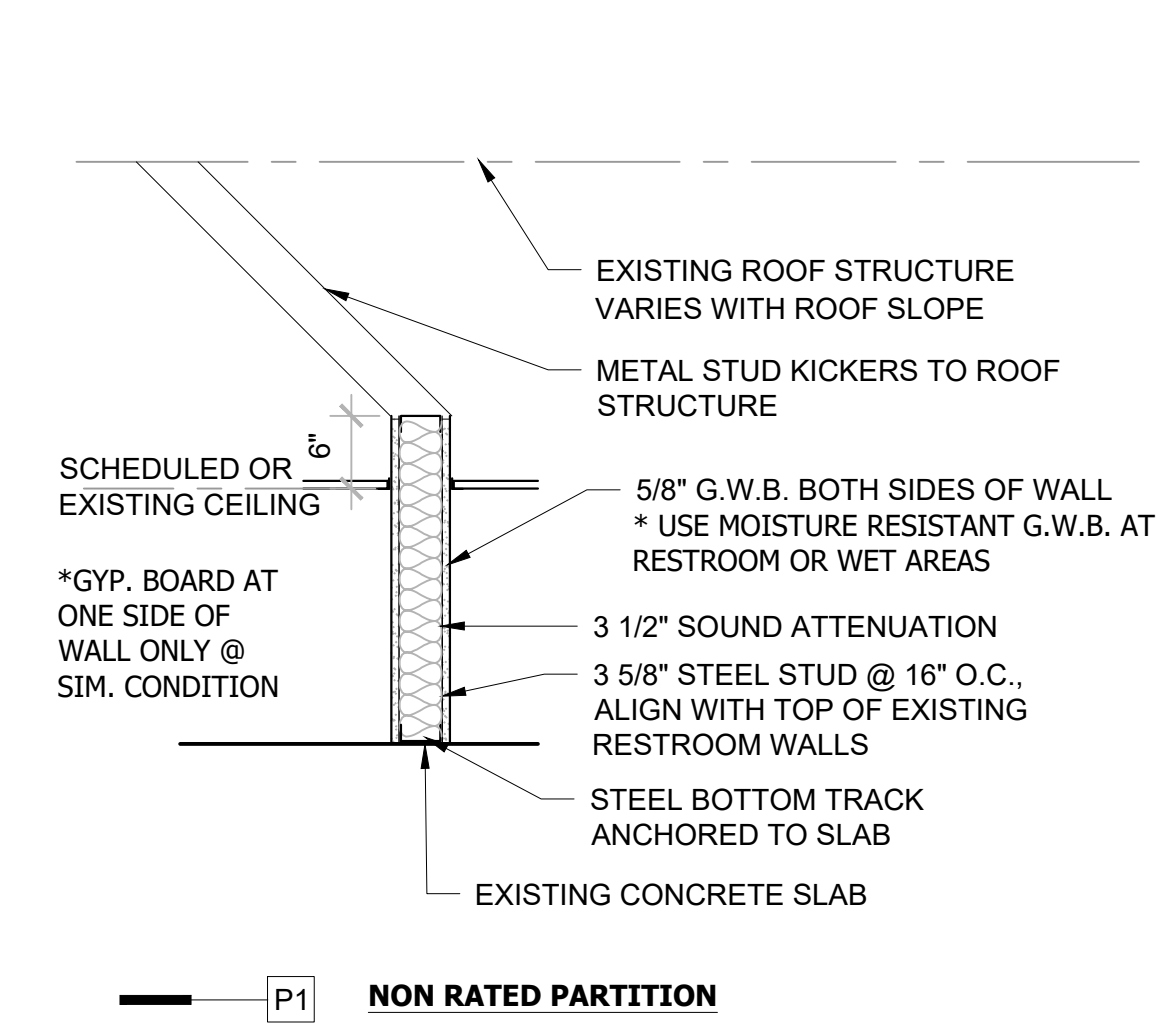
PROJECT HISTORY

NO.	DATE	DESC.
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	11/07/2025	FOR CONSTRUCTION

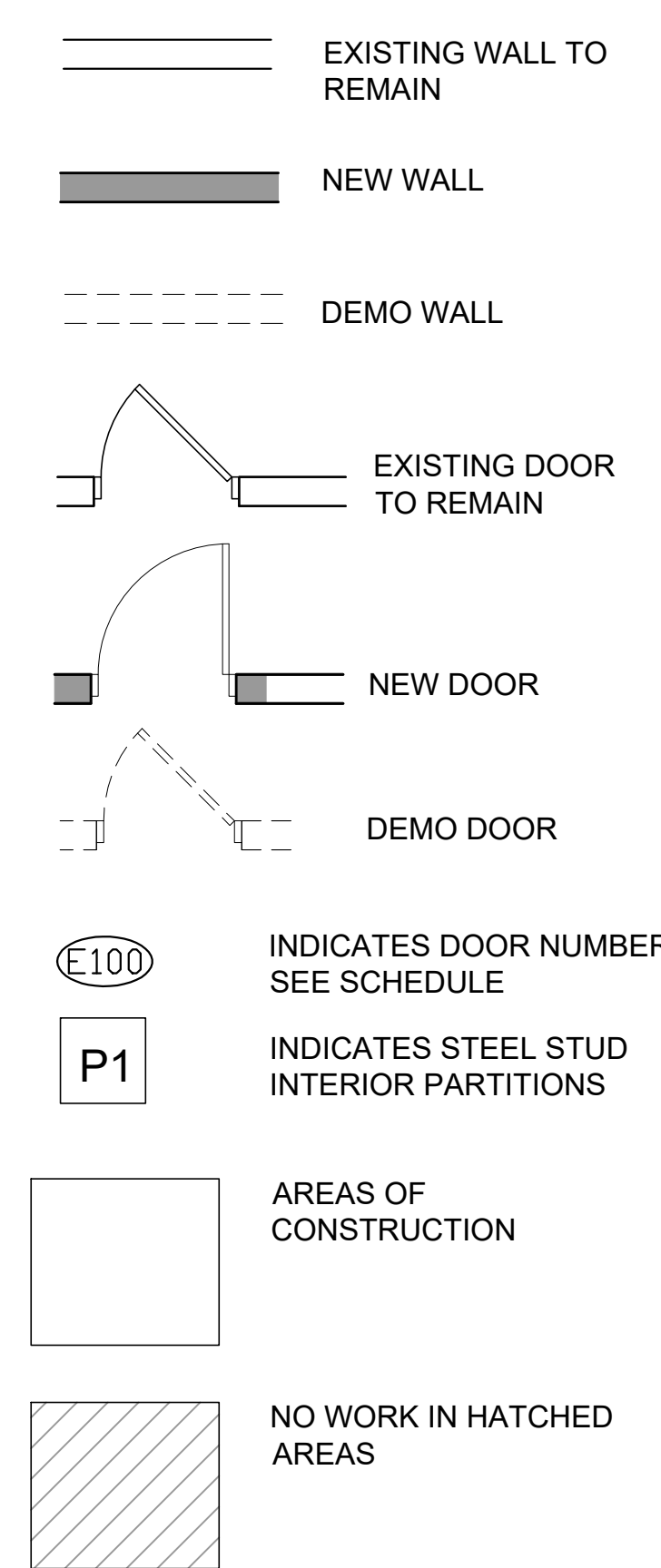
DRAWN BY: CADD
CHECKED BY: RGG
DATE: OCTOBER 6, 2025
LHDP# 25-021
SHEET TITLE

FLOOR PLANS AND SCHEDULES

PARTITION DETAILS:

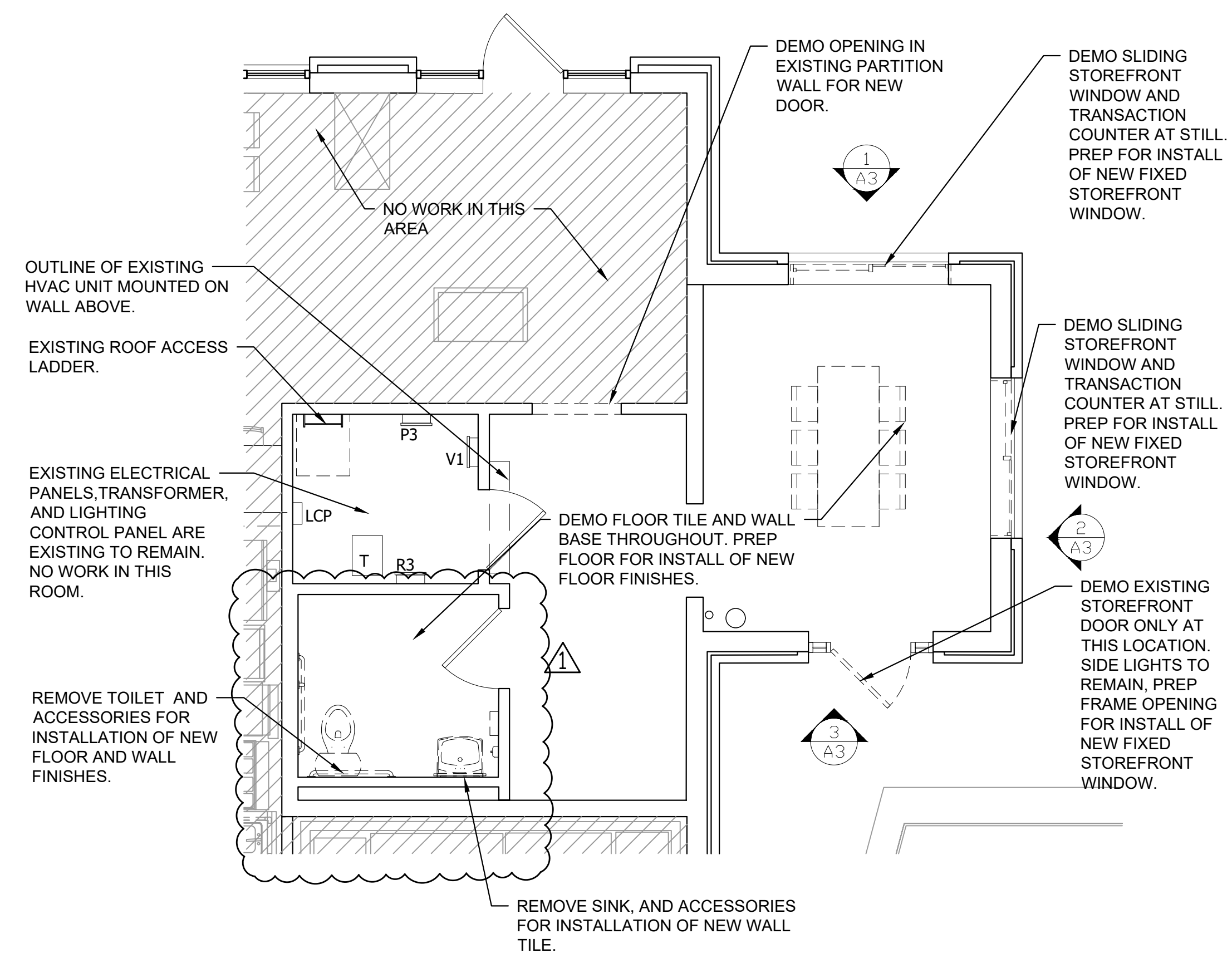


LEGEND - FLOOR PLANS



GENERAL DEMOLITION NOTES

- A. OVERVIEW:
- DEMOLITION WORK IS DEFINED AS INCLUDING REMOVAL OF ALL ITEMS, FINISHES, ETC., AS REQUIRED FOR PROPER COMPLETION OF WORK AS DESCRIBED IN THE CONTRACT DOCUMENTS.
 - UNLESS NOTED OTHERWISE, ALL WORK UNDER GENERAL DEMOLITION NOTES SHALL BE CARRIED OUT THROUGHOUT THE ENTIRE WORK LIMIT.
 - ALL "SALVAGED" ITEMS TO BE REMOVED, TURNED OVER, AND/OR STORED IN A LOCATION DESIGNATED BY OWNER.
 - CONTRACTOR SHALL SCHEDULE ALL WORK, INCLUDING INTERRUPTIONS TO EXISTING UTILITIES WITH THE OWNER PRIOR TO STARTING WORK.
 - REMOVE ALL EXISTING SIGNAGE LOCATED ON WALLS, DOOR FRAMES, DOORS, ETC. AND SALVAGE ITEMS IDENTIFIED BY OWNER FOR REINSTALLATION.
 - CONSTRUCTION AREAS ARE TO BE MAINTAINED IN A BROOM-CLEAN CONDITION.
 - REMOVE EXISTING WALLS AS INDICATED BY DASHED LINES.
 - EXISTING CONDITIONS: FIELD VERIFY EXISTING CONDITIONS PRIOR TO START OF DEMOLITION AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS BEFORE PROCEEDING WITH WORK.
 - PROTECT EXISTING CONSTRUCTION: PREVENT DAMAGE TO EXISTING WORK TO REMAIN. REPAIR DAMAGE CAUSED BY WORK UNDER THIS CONTRACT TO EXISTING CONDITIONS.
 - PROTECT EXISTING EQUIPMENT: CONTRACTOR TO PROTECT EQUIPMENT TO REMAIN. OWNER AND CONTRACTOR TO INSPECT EQUIPMENT PRIOR TO WORK AND IDENTIFY PRE-EXISTING CONDITIONS.
- B. ITEMS TO BE REMOVED:
- GENERAL: WHERE ITEMS ARE IDENTIFIED TO BE REMOVED THIS INCLUDES THE REMOVAL OF ITS WIRING, SUPPORTS, PIPING, CONDUIT, DUCTS, ADHESIVE, SEALANTS ETC UNLESS OTHERWISE NOTED. DEMOLITION TO EXTEND TO LOGICAL JUNCTURES, EVEN IF SUCH LOCATION IS OUTSIDE OF THE LIMITS OF WORK INDICATED ON DRAWINGS.
 - WALLS - WHEN CUTTING OPENING OR REMOVING PORTION OR COMPLETE EXISTING WALL, ASSUME WALL IS STRUCTURAL AND TAKE NECESSARY PRECAUTIONS TO SECURE SAFETY OF BUILDING DURING DEMOLITION. COORDINATE LOCATION AND SIZE OF OPENING WITH CONSTRUCTION DOCUMENTS.
 - WALLS - WHERE WALL IS INDICATED TO BE COMPLETELY REMOVED, REMOVE EVERYTHING IN AND ON WALL E.G. ELECTRICAL, PIPING (CAP), DOOR AND FRAME, ETC COMPLETE FROM FLOOR TO FLOOR STRUCTURE ABOVE UNLESS OTHERWISE INDICATED. TERMINATE BUILDING SYSTEMS OR REROUTE AS NECESSARY TO PROVIDE A COMPLETE OPERATING SYSTEM.



1 PARTIAL FLOOR PLAN - DEMO
SCALE: 1/4" = 1'-0"

GENERAL NOTES - ELECTRIC:

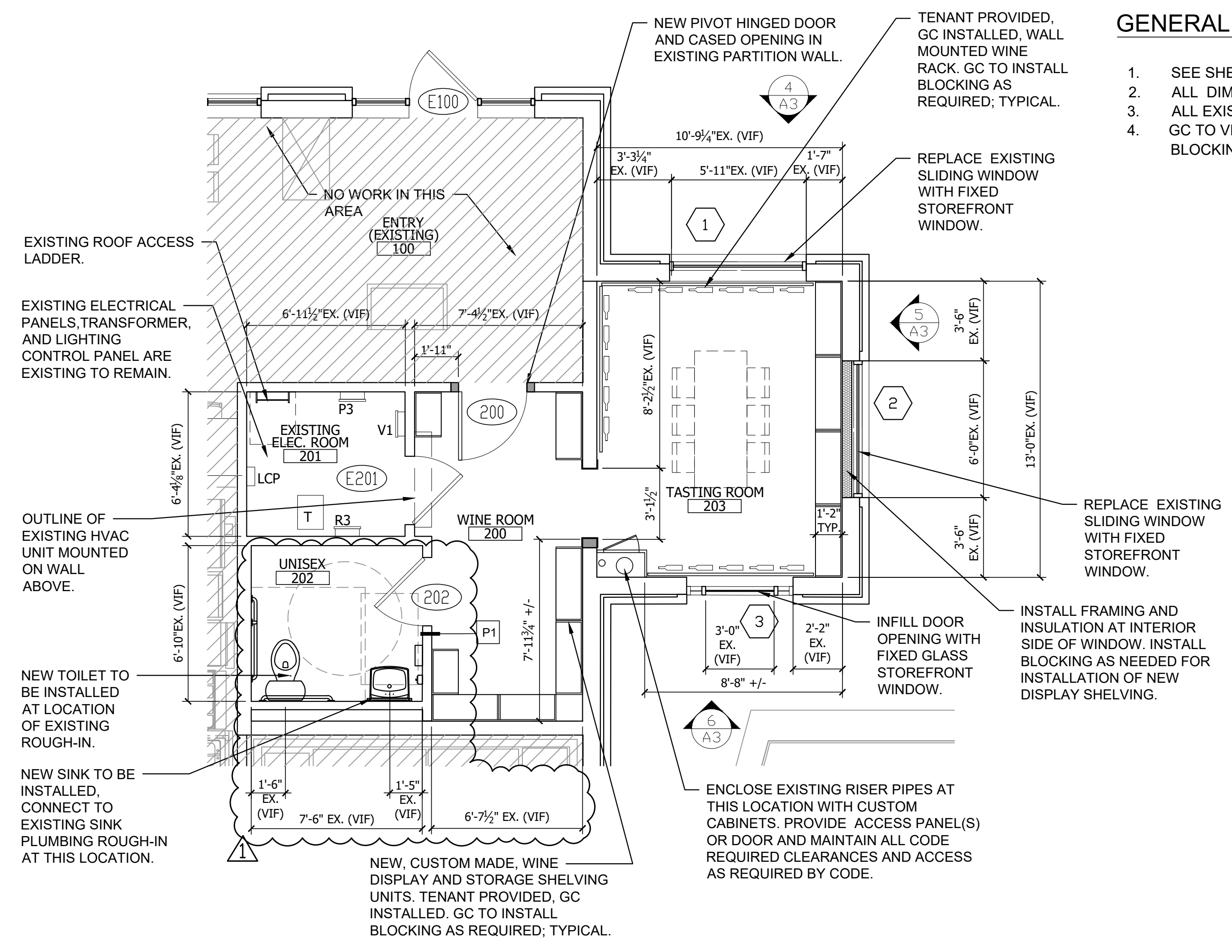
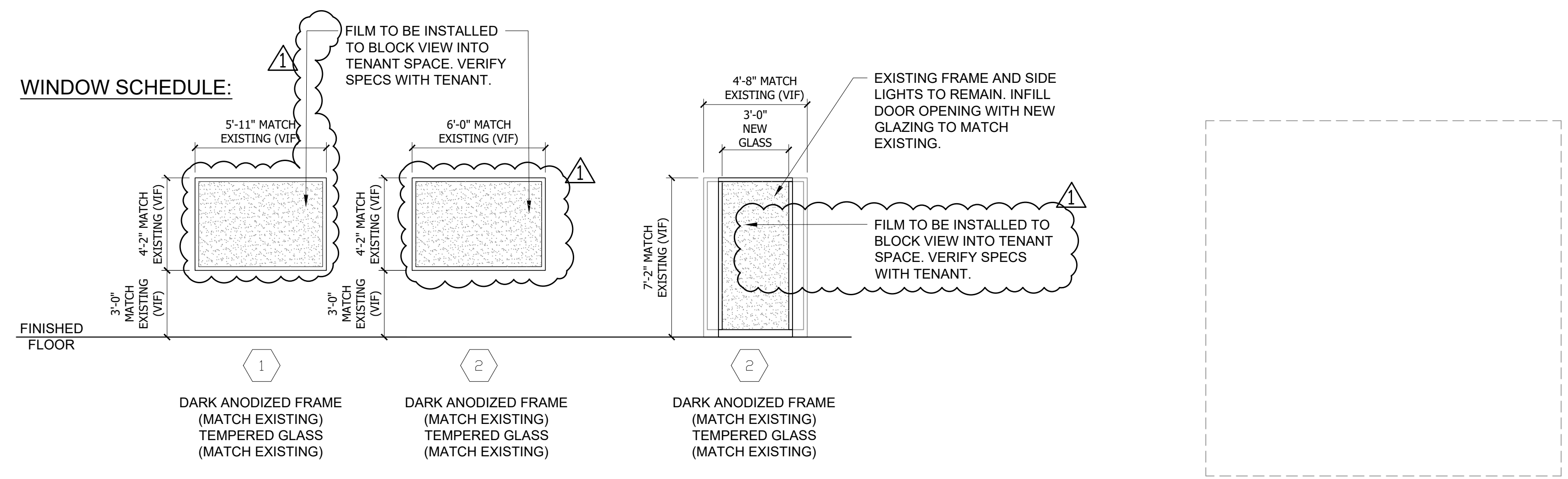
- POWER OUTLETS ARE EXISTING TO REMAIN THROUGHOUT TENANT SPACE.
- FIRE ALARM DEVICES ARE REQUIRED TO BE ADDED TO NEW AREA. ALL DEVICES TO TIE INTO EXISTING CAMP RESTAURANT FIRE ALARM SYSTEM. GC TO COORDINATE FIRE ALARM SHOP DRAWINGS AND PERMIT APPLICATION FOR FIRE ALARM WORK WITH FIRE ALARM CONTRACTOR.

GENERAL NOTES - FLOOR PLAN:

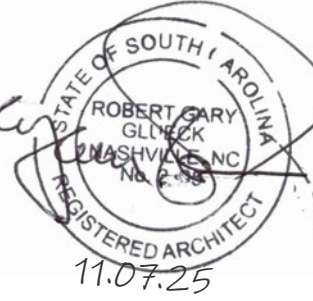
- SEE SHEET A1 FOR DOOR SCHEDULE AND PARTITION DETAILS.
- ALL DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
- ALL EXISTING GYP. BOARD SURFACES ARE TO BE REPAIRED OR REPLACED AS REQUIRED. GC TO VERIFY ALL EQUIPMENT AND FF&E SPECS WITH OWNER, GC TO PROVIDE ALL BLOCKING AND ROUGH-IN FOR ALL OWNER PROVIDED ITEMS.

DOOR & HARDWARE SCHEDULE - NEW DOORS / RELOCATED DOORS													
DOOR / OPENING NUMBER	ROOM NAME	TYPE	DOOR MATERIAL	WIDTH	HEIGHT	DOOR THICKNESS	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	RATING REQUIREMENTS	HARWARE	NOTES
E100	WINE ROOM	A	GLASS	3'-0"	7'-0"	-	GLASS		GYP. BOARD CASED OPENING		-	PUSH / PULL PIVOT HINGES FLOOR STOP AT INTERIOR SIDE OF ROOM #200	NEW DOOR IN EXISTING PARTITION WALL. VERIFY ROUGH-IN AND FINISHED DOOR OPENING CLEARANCES WITH DOOR MANUFACTURER PRIOR TO FRAMING NEW OPENING. GC TO INSTALL BLOCKING AS REQUIRED, SEE DOOR CUTSHEETS.
E201	ELECTRICAL ROOM	EX	WOOD (EX)	3'-0" (EX)	7'-0" (EX)	1 3/4" (EX)	PAINT (NEW, VERIFY WITH TENANT)	EX	WOOD (EX)	PAINT (NEW, VERIFY WITH TENANT)	-	LEVER HANDLE (EX) OVERHEAD CLOSER (EX)	EXISTING DOOR, FRAME AND HARDWARE. GC TO VERIFY THAT ALL ARE IN GOOD WORKING CONDITION AND HAVE A LIKE NEW APPEARANCE.
202	UNISEX (STAFF)	EX	WOOD (EX)	3'-0" (EX)	7'-0" (EX)	1 3/4" (EX)	PAINT (NEW, VERIFY WITH TENANT)	EX	WOOD (EX)	PAINT (NEW, VERIFY WITH TENANT)	-	LEVER HANDLE (EX) OVERHEAD CLOSER (EX)	RELOCATED EXISTING DOOR, FRAME AND HARDWARE. GC TO VERIFY THAT ALL ARE IN GOOD WORKING CONDITION AND HAVE A LIKE NEW APPEARANCE.

TYPICAL NOTES:
1. ALL DOORS WITH "E" BEFORE THE DOOR NUMBER ARE EXISTING.



2 PARTIAL FLOOR PLAN - NEW WORK
SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT JOB SITE.

BUILDING ALTERATIONS FOR THE
CAMP Modern American Eatery
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2 EAST BROAD STREET
GREENVILLE, SC 29601

PROJECT HISTORY

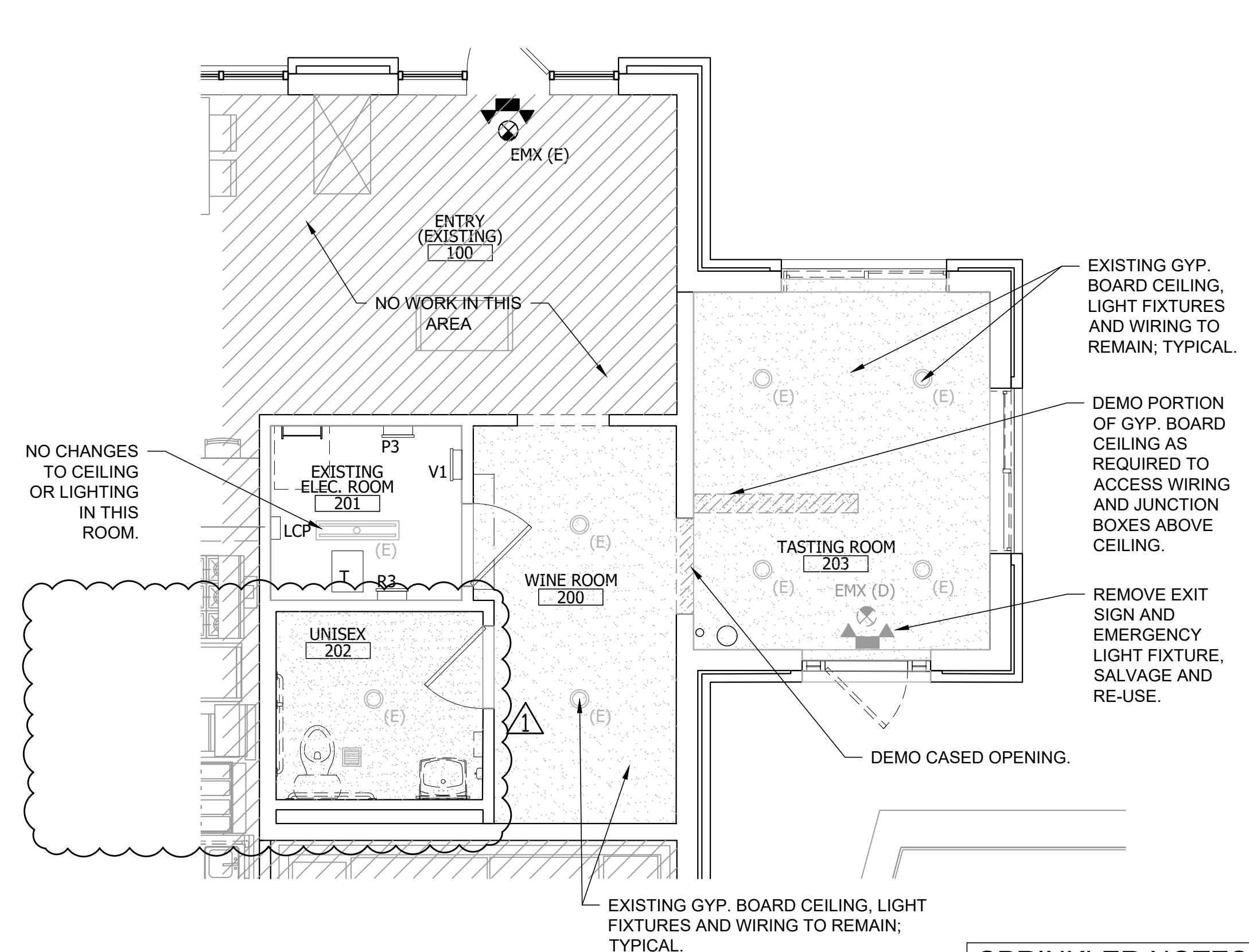
NO.	DATE	DESC.
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	11/07/2025	FOR CONSTRUCTION

DRAWN BY: CADD
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SHEET TITLE

REFLECTED
CEILING PLANS
AND FINISH PLAN

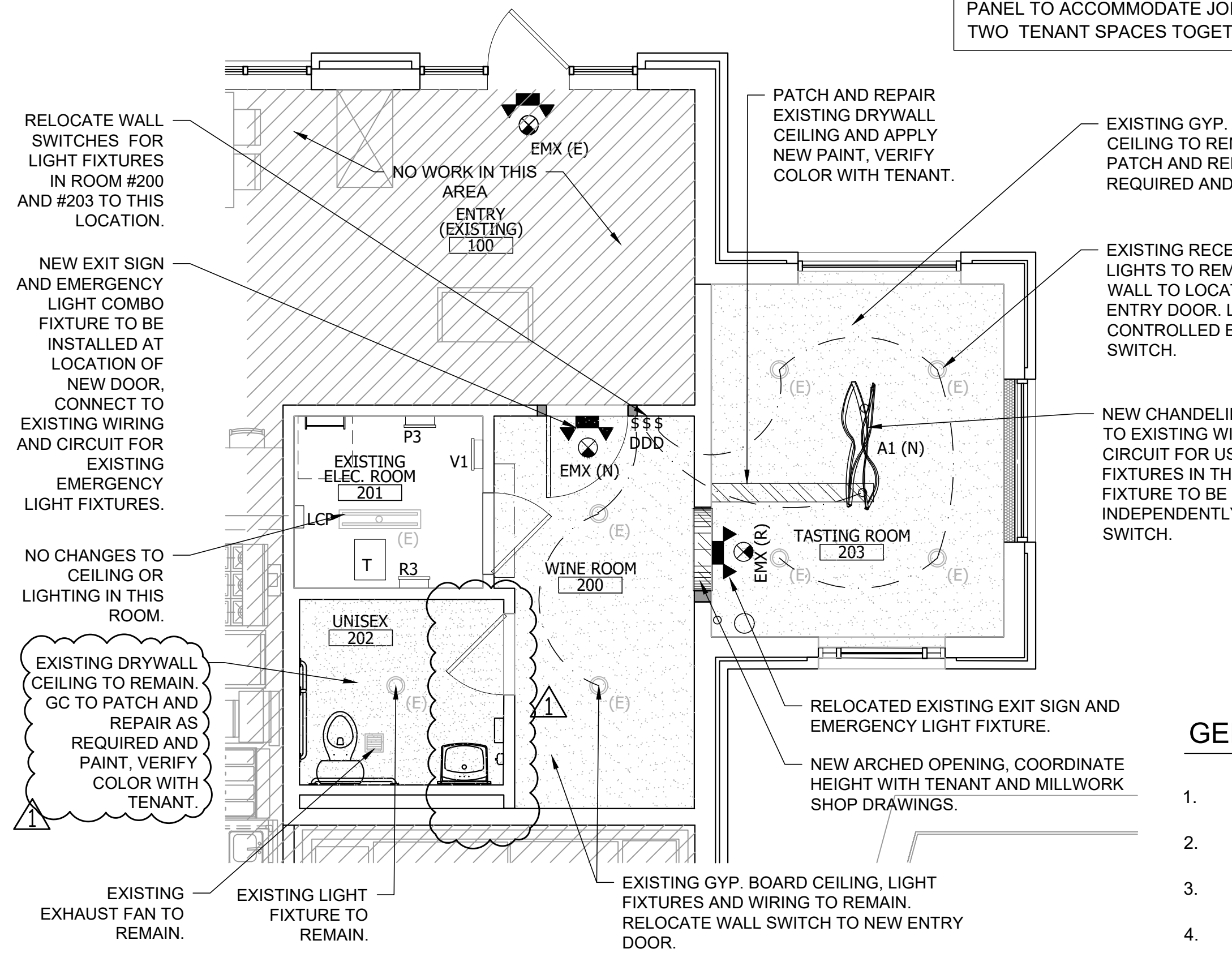
LEGEND - RCP

	DEMO PORTION OF EXISTING DRYWALL CEILING		EXISTING DRYWALL CEILING
	EXPOSED STRUCTURE CEILING (EXISTING CONDITION)		NEW DRYWALL CEILING
	EXISTING HIGH BAY PENDANT MOUNTED LIGHT FIXTURE TO REMAIN		
	PENDANT MOUNTED DECORATIVE LIGHT FIXTURE *TENANT PROVIDED, GC INSTALLED. ELECTRICAL CONTRACTOR TO VERIFY SIZE AND SPECS WITH TENANT PRIOR TO STARTING ROUGH-IN WORK. MOMO LIGHTING MODERN BRASS WAVING CHANDELIER SKU: DD-Y-2383 COLOR: WOOD LIGHT COLOR: WARM LIGHT		
	6" LED DOWN LIGHT (R) = RELOCATED EXISTING FIXTURE (E) = EXISTING		
	EXISTING EXIT SIGN & EMERGENCY LIGHT (E) = EXISTING (R) = RELOCATED (N) = NEW		
	EXISTING EMERGENCY LIGHT (E) = EXISTING (R) = RELOCATED (N) = NEW		



1 REFLECTED CEILING PLAN - DEMO
SCALE: 1/4" = 1'-0"

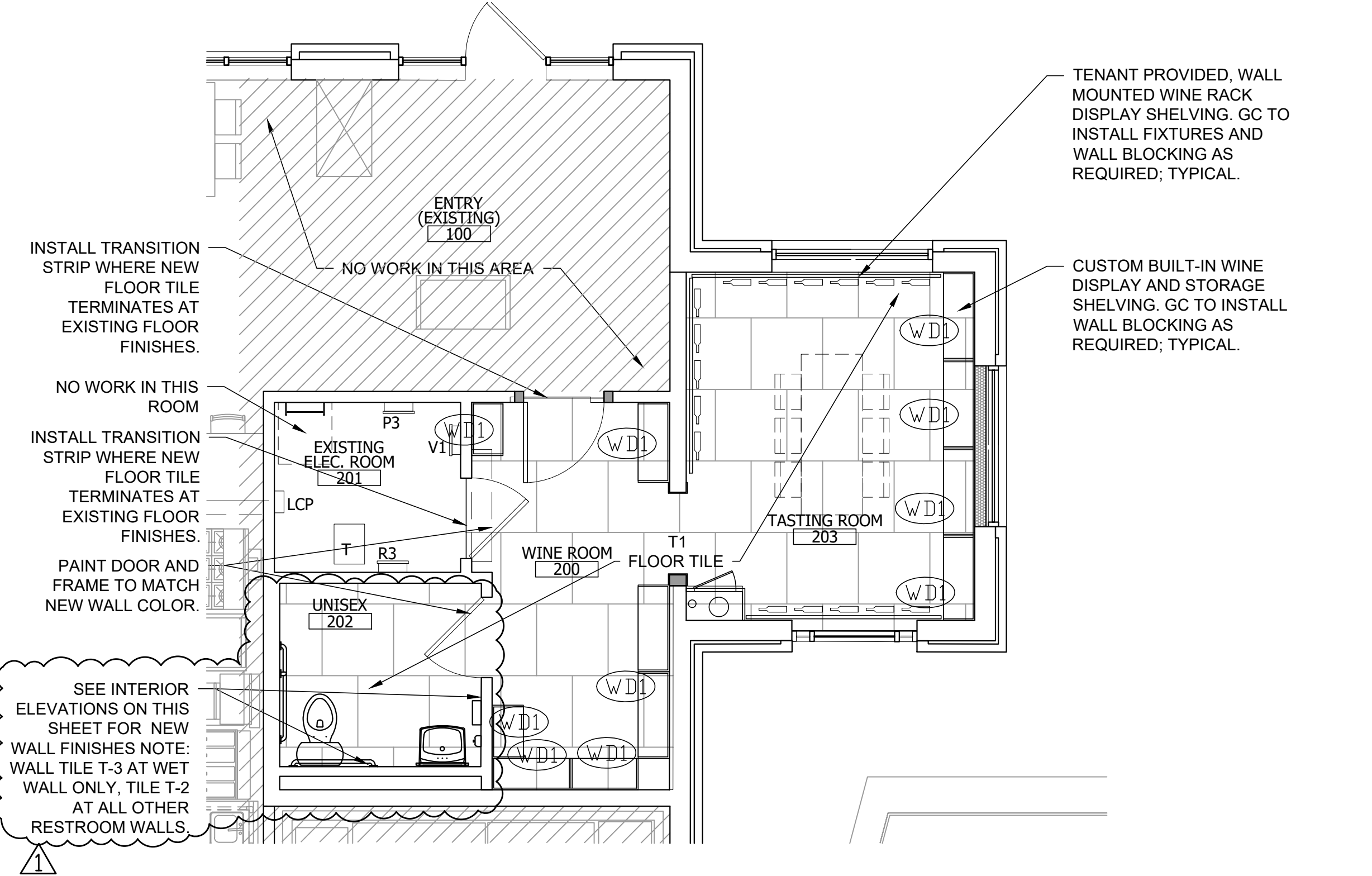
SPRINKLER NOTES:
1. SCOPE OF WORK SHOULD NOT REQUIRE RELOCATION OF ANY EXISTING SPRINKLER HEADS OR INSTALLATION OF ANY NEW SPRINKLER HEADS.
2. CONTRACTOR TO VERIFY THAT ALL SPRINKLER HEADS ARE IN GOOD WORKING CONDITION.
3. IF REQUIRED, SPRINKLER CONTRACTOR TO MAKE ANY ADJUSTMENTS TO PROGRAMMING AT PANEL TO ACCOMMODATE JOINING THE TWO TENANT SPACES TOGETHER.



2 REFLECTED CEILING PLAN - NEW WORK
SCALE: 1/4" = 1'-0"

GENERAL NOTES - REFLECTED CEILING PLAN:

- ALL DIMENSIONS ARE FROM FACE OF FINISHED WALL TO FACE OF FINISHED WALL UNLESS OTHERWISE NOTED.
- ALL EXISTING LIGHT FIXTURES, CIRCUITING AND LIGHTING CONTROLS TO REMAIN UNLESS NOTED.
- SEE SHEET A1 FOR FLOOR PLAN AND SHEET A3 FOR PARTITION DETAILS AND CEILING DETAILS.
- ALL FIRE ALARM DEVICES TO REMAIN. GC ENSURE THAT ALL LIFE SAFETY SYSTEMS ARE FULLY OPERATIONAL AND IN COMPLIANCE WITH CURRENT CODE REQUIREMENTS.
- SPRINKLER SYSTEM TO REMAIN AS-IS. GC TO ENSURE THAT ALL COMPONENTS ARE FULLY OPERATIONAL AND IN COMPLIANCE WITH CURRENT CODE REQUIREMENTS.
- ALL EXISTING POWER OUTLETS AND LOW-VOLTAGE DATA DROPS TO REMAIN.
- ALL NEW FF&E ITEMS ARE OWNER PROVIDED. GC TO VERIFY INSTALL RESPONSIBILITY WITH OWNER.



3 FINISH PLAN AND FIXTURE PLAN
SCALE: 1/4" = 1'-0"

FF&E KEY NOTES:

- 42" GRAB BAR
- 36" GRAB BAR
- TOILET PAPER DISPENSER (EXISTING)
- PAPER TOWEL DISPENSER
- WALL MIRROR
- SOAP DISPENSER
- 18" VERTICAL GRAB BAR

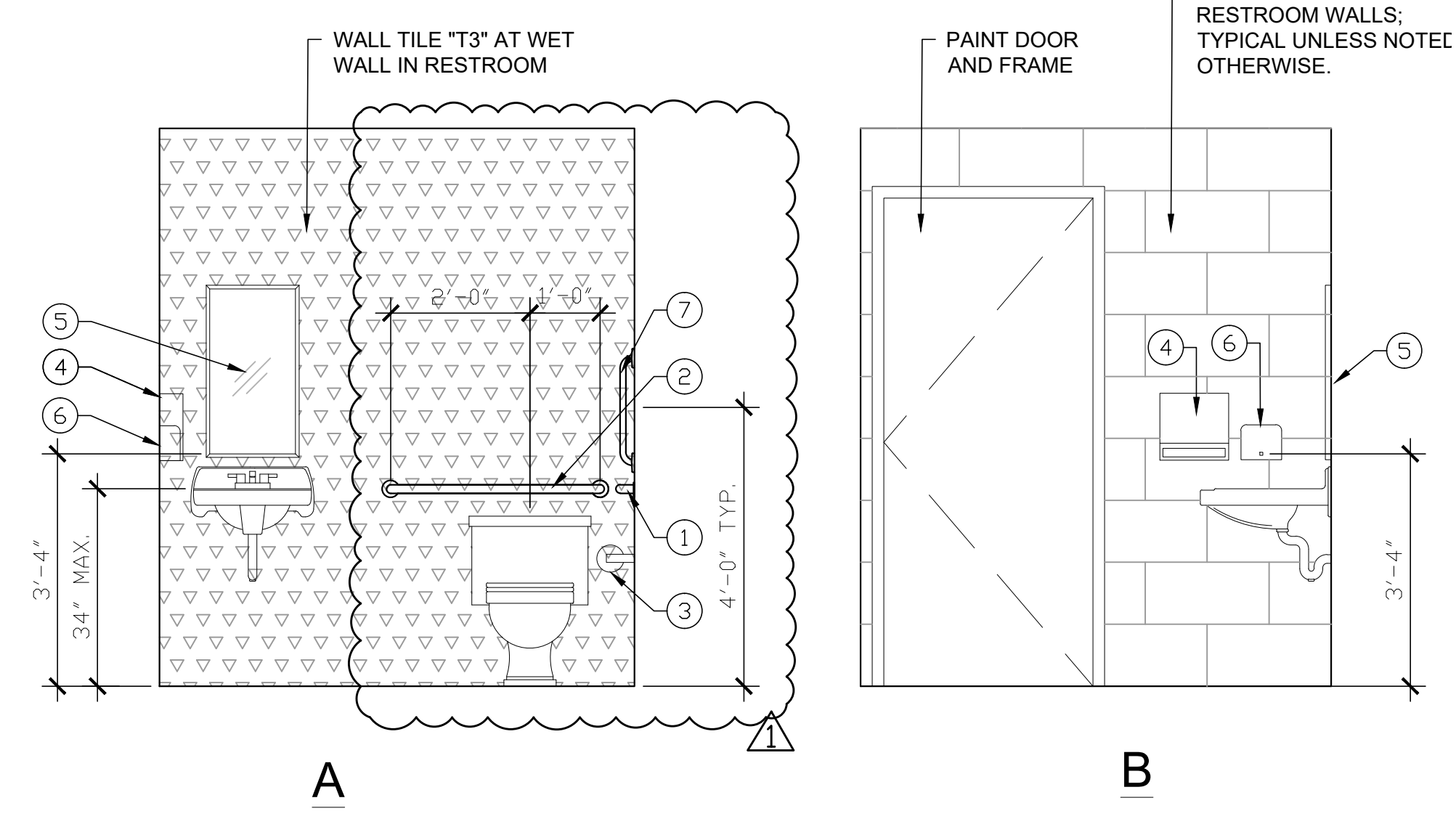
GENERAL NOTES:

- TOILET ROOM ACCESSORIES SHALL BE BOBRICK OR APPROVED EQUAL.
- PROVIDE FRT BLOCKING AS REQUIRED IN WALLS FOR MOUNTING

4 INTERIOR ELEVATIONS - RESTROOM
SCALE: 1/2" = 1'-0"

INTERIOR FINISHES AND FIXTURES

- (WDI)** STAINED WOOD CUSTOM BUILT-IN SHELVING UNITS: REFER TO SHOP DRAWINGS GC PROVIDED AND INSTALLED. GC TO INSTALL WALL BLOCKING AS REQUIRED.
- (T1)** FLOOR TILE: 32" X 32", LUZON DECOR MATTE PORCELAIN TILE. VERIFY GROUT COLOR WITH TENANT GC PROVIDED AND INSTALLED. GC TO ENSURE THAT SLAB IS SMOOTH, LEVEL AND PREPARED PER MANUFACTURER'S INSTRUCTIONS PRIOR TO INSTALLATION.
- (T2)** WALL TILE: 12" X 24", MAXIMO TILE, ONYX NOIR POLISHED PORCELAIN TILE. VERIFY GROUT COLOR WITH TENANT. GC PROVIDED AND INSTALLED. GC TO ENSURE THAT WALL SURFACE IS SMOOTH, LEVEL AND PREPARED PER MANUFACTURER'S INSTRUCTIONS PRIOR TO INSTALLATION.
- (T3)** WALL TILE: 12" X 13" X 1/3", VIVIANO, DIAMOND BRASS POLISHED MOSAIC, VERIFY GROUT COLOR WITH TENANT. GC PROVIDED AND INSTALLED. GC TO ENSURE THAT WALL SURFACE IS SMOOTH, LEVEL AND PREPARED PER MANUFACTURER'S INSTRUCTIONS PRIOR TO INSTALLATION.



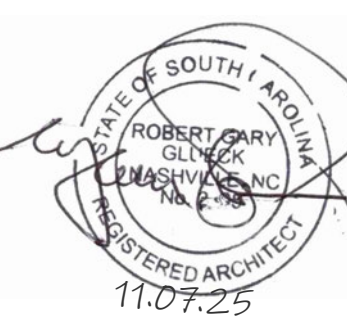


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EXPIRATION DATE: 06.30.27
#: 2495



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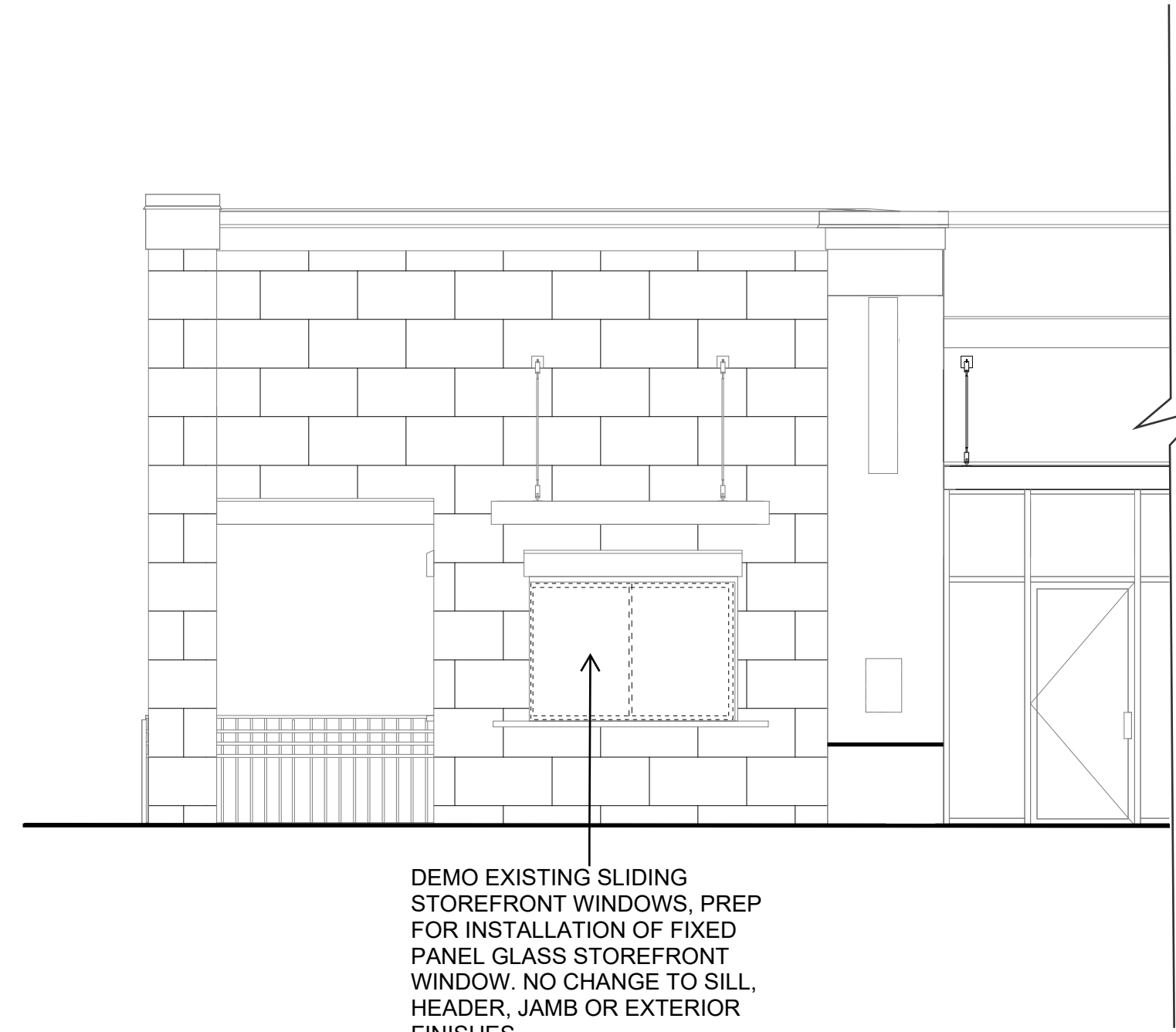
PROJECT HISTORY

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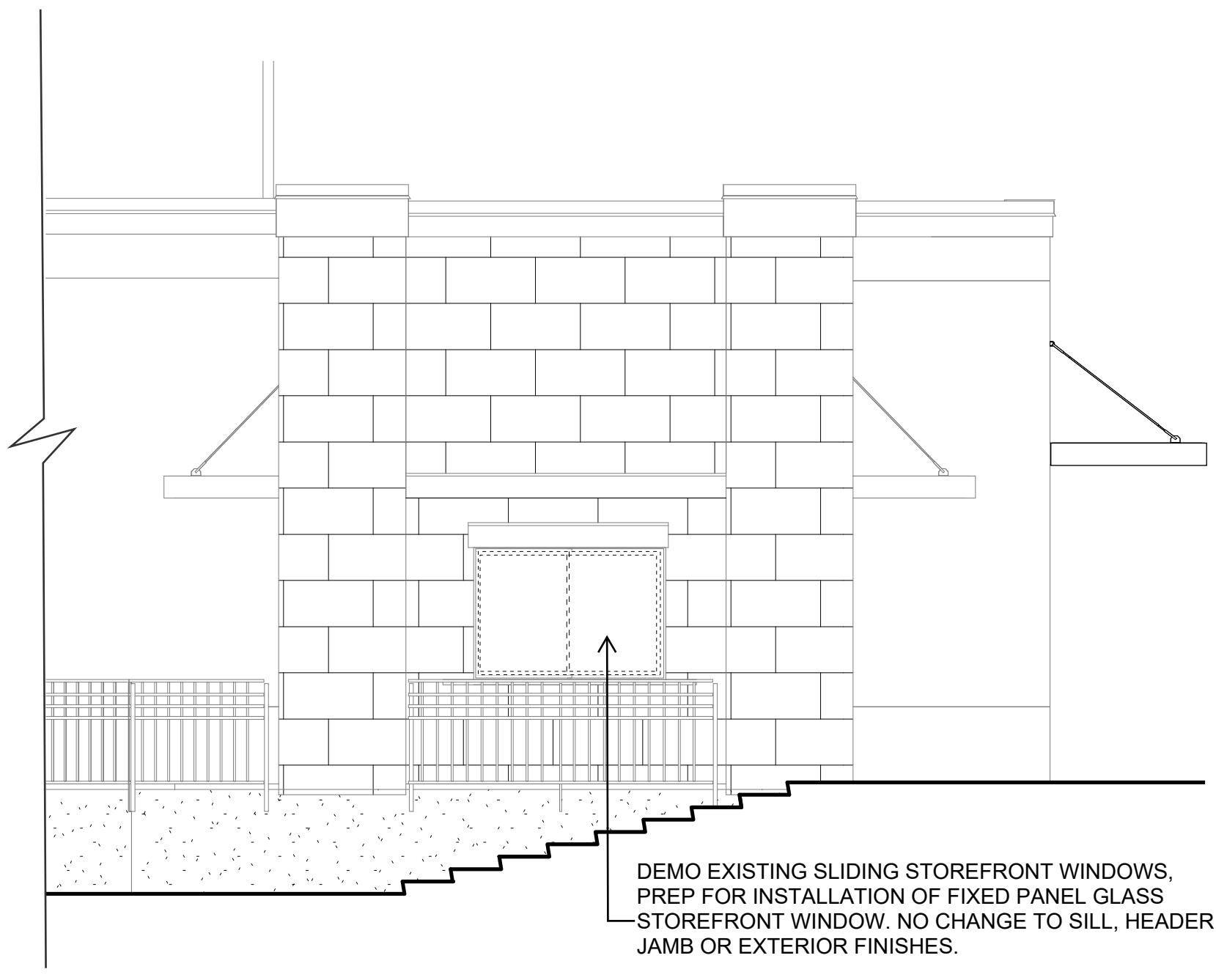
SHEET TITLE
EXTERIOR ELEVATIONS

PROJECT SHEET NO.
4396 A3



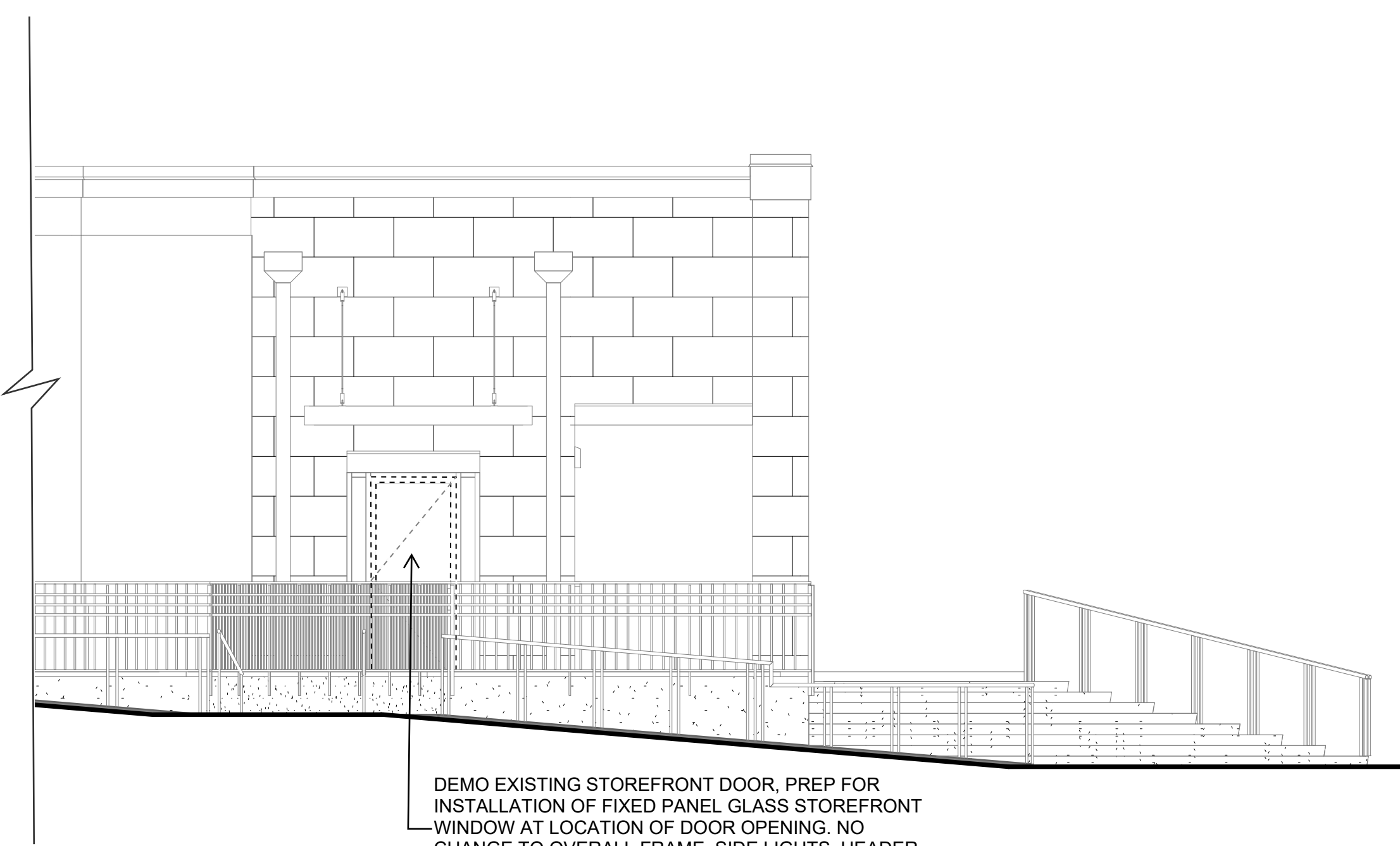
DEMO EXISTING SLIDING STOREFRONT WINDOWS, PREP FOR INSTALLATION OF FIXED PANEL GLASS STOREFRONT WINDOW. NO CHANGE TO SILL, HEADER, JAMB OR EXTERIOR FINISHES.

1
A3 EXTERIOR ELEVATION - DEMO WORK
SCALE: 1/4" = 1'-0"



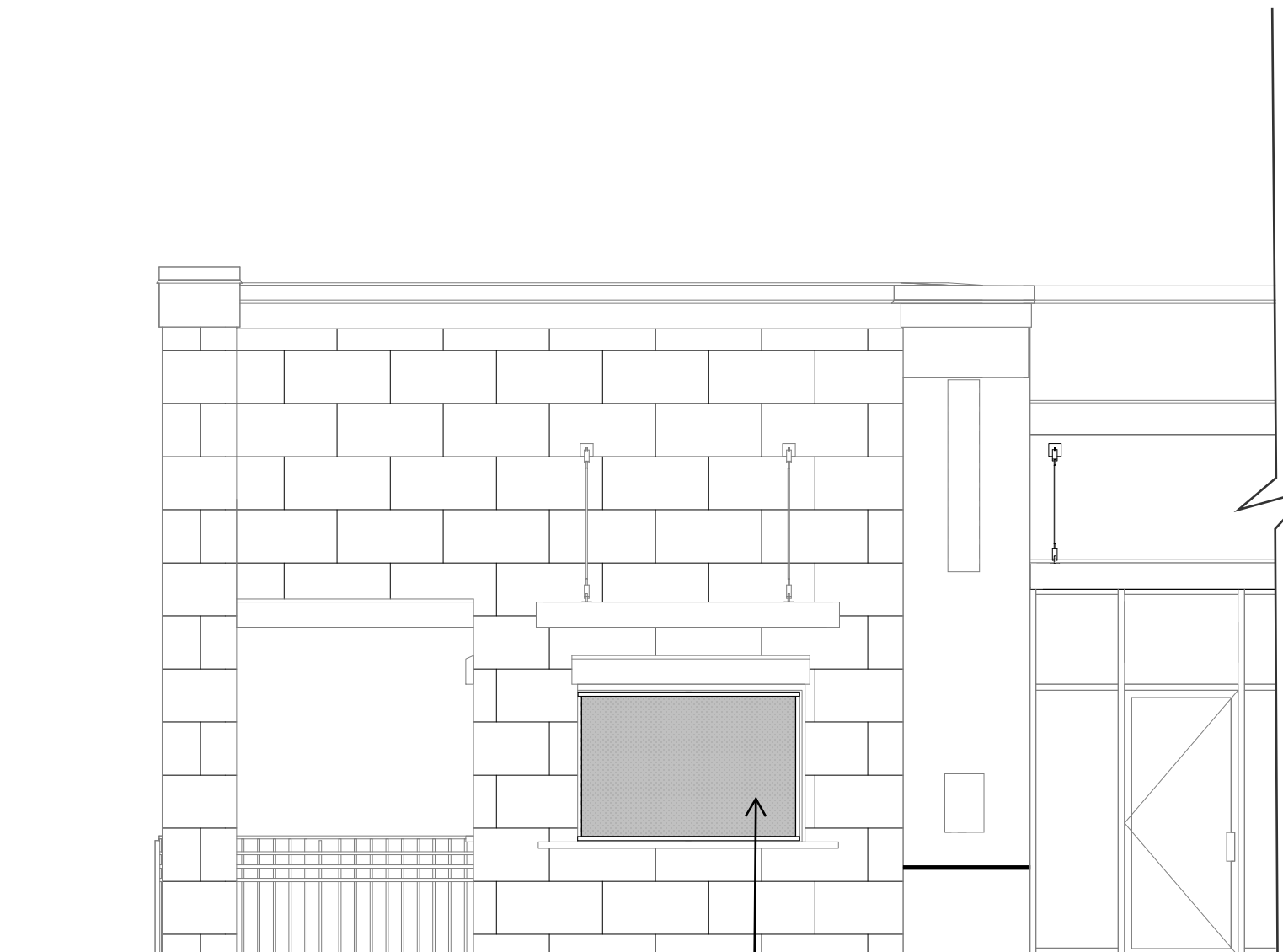
DEMO EXISTING SLIDING STOREFRONT WINDOWS, PREP FOR INSTALLATION OF FIXED PANEL GLASS STOREFRONT WINDOW. NO CHANGE TO SILL, HEADER, JAMB OR EXTERIOR FINISHES.

2
A3 EXTERIOR ELEVATION - DEMO WORK
SCALE: 1/4" = 1'-0"



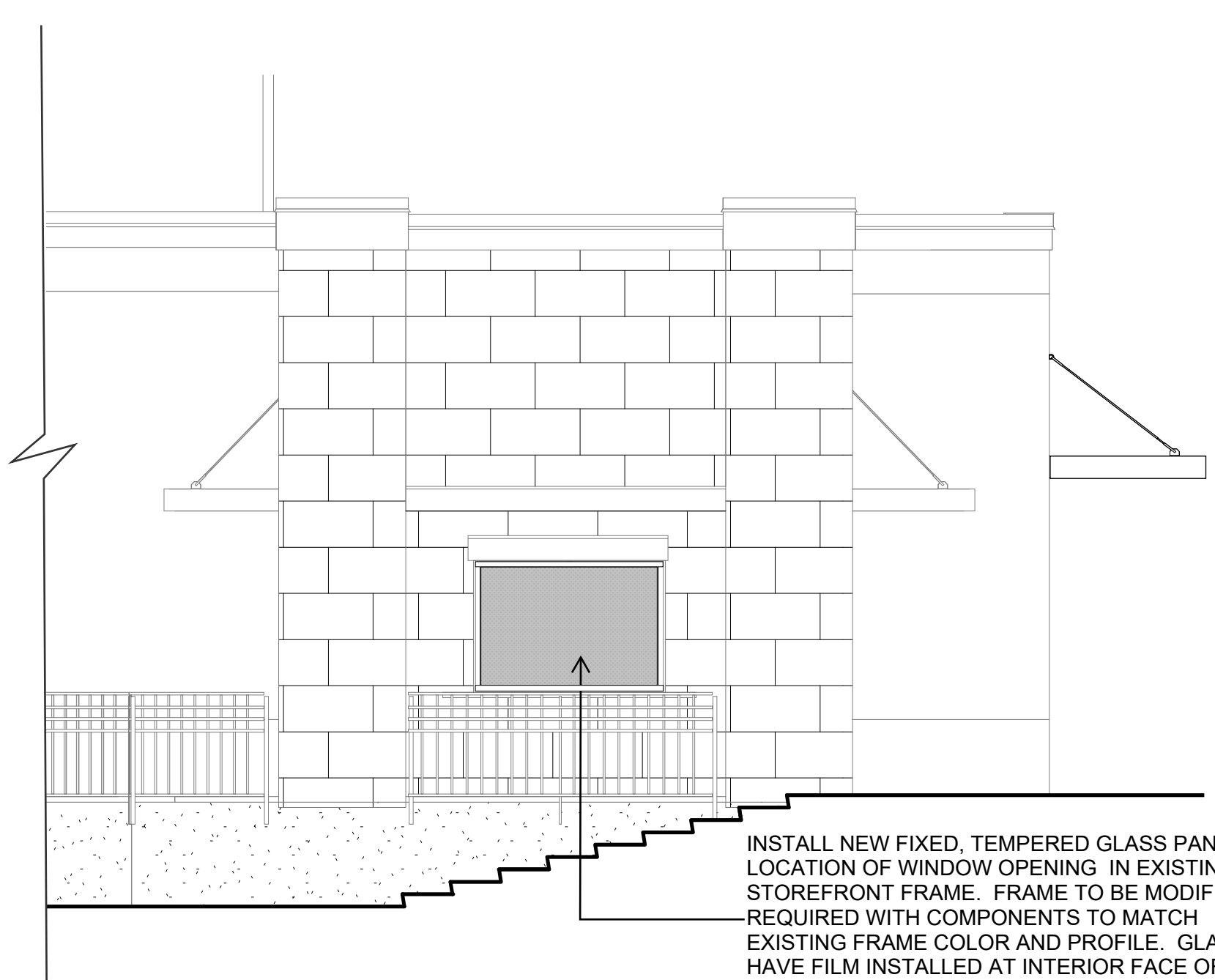
DEMO EXISTING STOREFRONT DOOR, PREP FOR INSTALLATION OF FIXED PANEL GLASS STOREFRONT WINDOW AT LOCATION OF DOOR OPENING. NO CHANGE TO OVERALL FRAME, SIDE LIGHTS, HEADER, JAMB OR EXTERIOR FINISHES.

3
A3 EXTERIOR ELEVATION - DEMO WORK
SCALE: 1/4" = 1'-0"



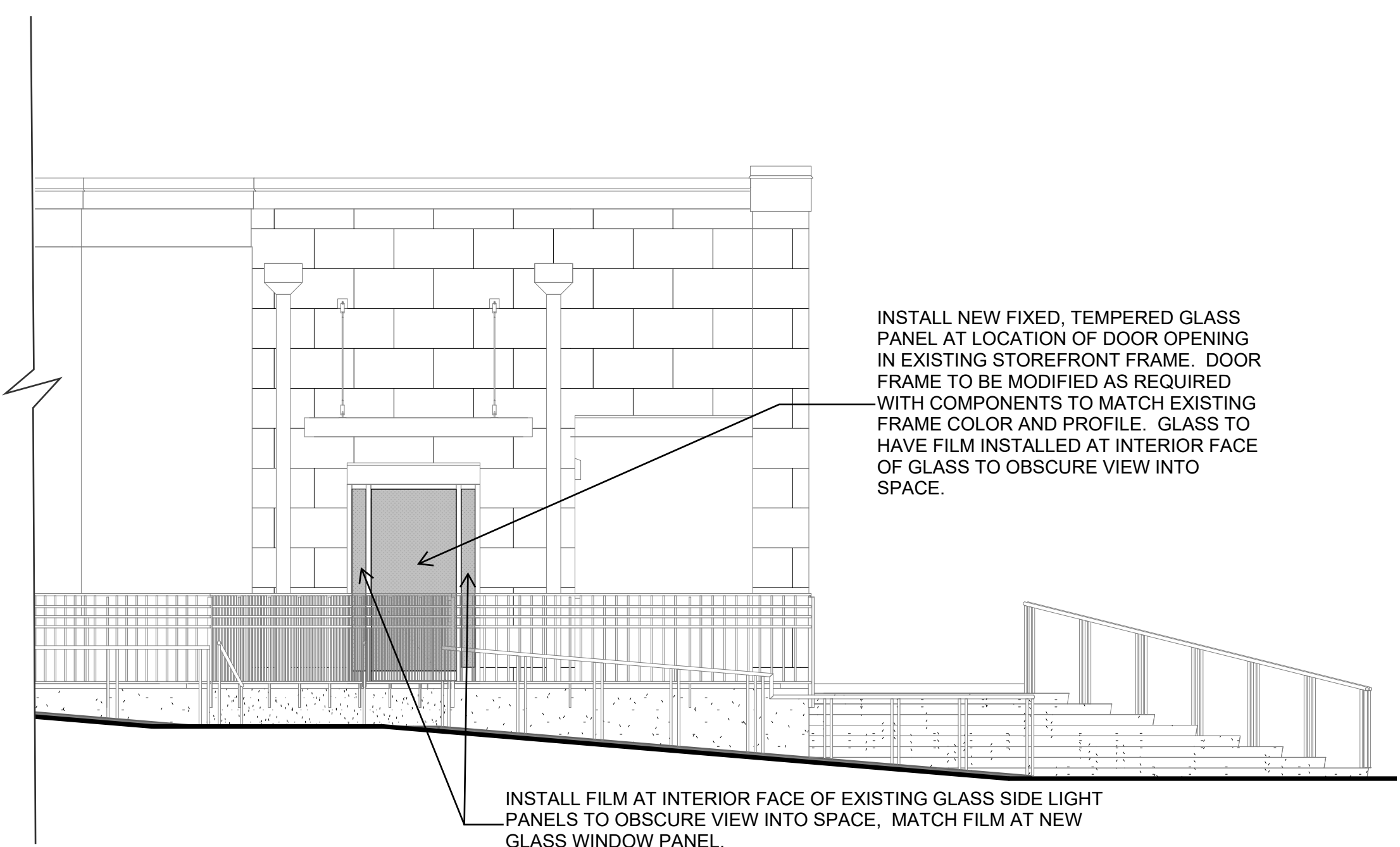
INSTALL NEW FIXED, TEMPERED GLASS PANEL AT LOCATION OF WINDOW OPENING IN EXISTING STOREFRONT FRAME. FRAME TO BE MODIFIED AS REQUIRED WITH COMPONENTS TO MATCH EXISTING FRAME COLOR AND PROFILE. GLASS TO HAVE FILM INSTALLED AT INTERIOR FACE OF GLASS TO OBSCURE VIEW INTO SPACE.

4
A2 EXTERIOR ELEVATION - NEW WORK
SCALE: 1/4" = 1'-0"



INSTALL NEW FIXED, TEMPERED GLASS PANEL AT LOCATION OF WINDOW OPENING IN EXISTING STOREFRONT FRAME. FRAME TO BE MODIFIED AS REQUIRED WITH COMPONENTS TO MATCH EXISTING FRAME COLOR AND PROFILE. GLASS TO HAVE FILM INSTALLED AT INTERIOR FACE OF GLASS TO OBSCURE VIEW INTO SPACE.

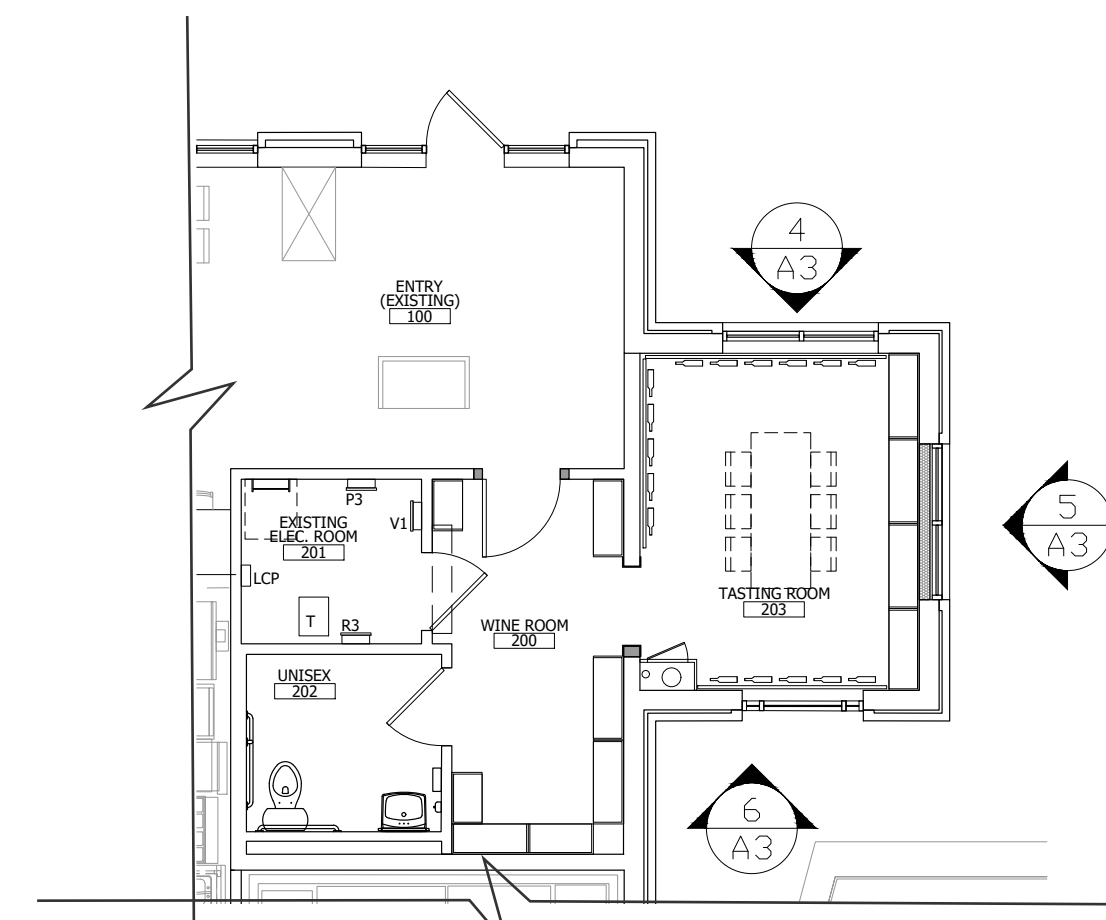
5
A2 EXTERIOR ELEVATION - NEW WORK
SCALE: 1/4" = 1'-0"



INSTALL NEW FIXED, TEMPERED GLASS PANEL AT LOCATION OF DOOR OPENING IN EXISTING STOREFRONT FRAME. DOOR FRAME TO BE MODIFIED AS REQUIRED WITH COMPONENTS TO MATCH EXISTING FRAME COLOR AND PROFILE. GLASS TO HAVE FILM INSTALLED AT INTERIOR FACE OF GLASS TO OBSCURE VIEW INTO SPACE.

INSTALL FILM AT INTERIOR FACE OF EXISTING GLASS SIDE LIGHT PANELS TO OBSCURE VIEW INTO SPACE. MATCH FILM AT NEW GLASS WINDOW PANEL.

6
A2 EXTERIOR ELEVATION - NEW WORK
SCALE: 1/4" = 1'-0"



KEY PLAN
SCALE: NTS

LIVE



LIVE

elliott da

C
▲
M
P









LIVE

